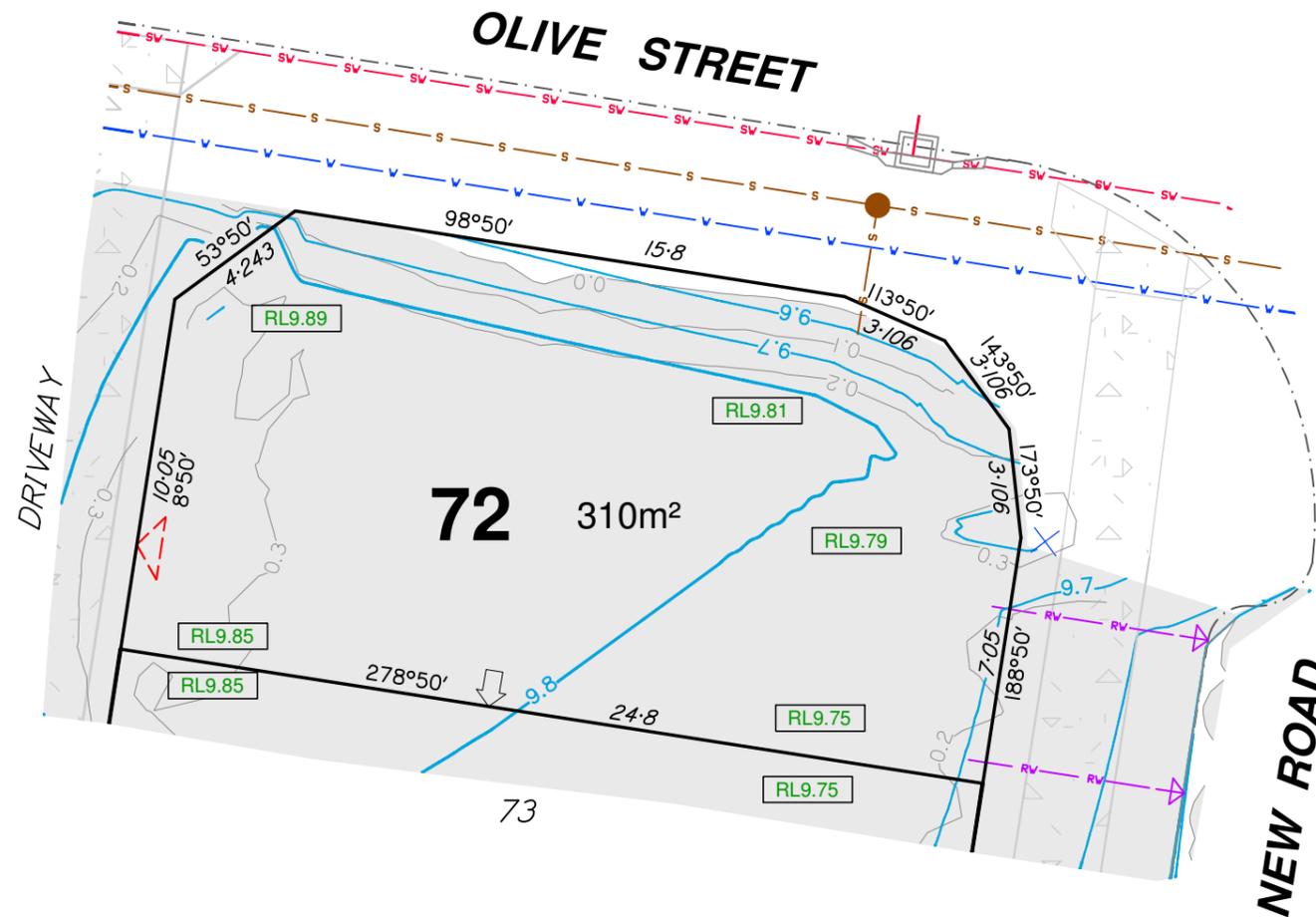


# DISCLOSURE PLAN

For Proposed Lot 72  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL9.75 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

**PRELIMINARY**

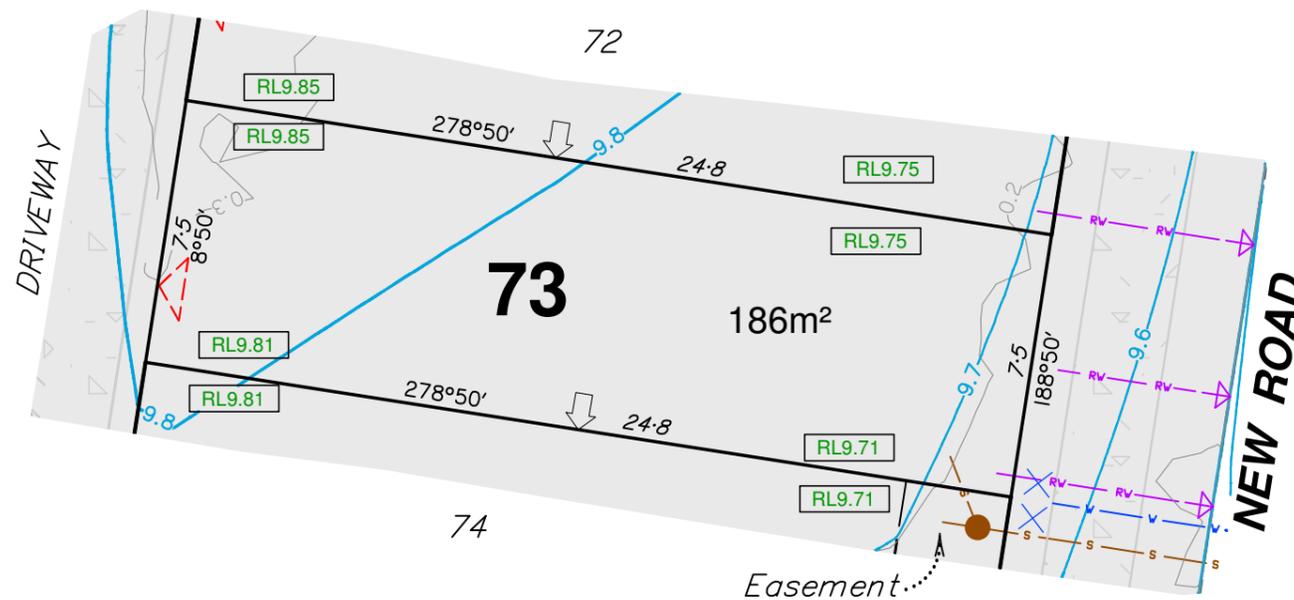
DATE DRAWN 27-02-2020      DRAWING NO. SS3787-05-01-72      VERSION A

# DISCLOSURE PLAN

For Proposed Lot 73  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole/Pit
  - Water/Water Meter
  - Roofwater
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020  
DRAWING NO. SS3787-05-01-73  
VERSION A

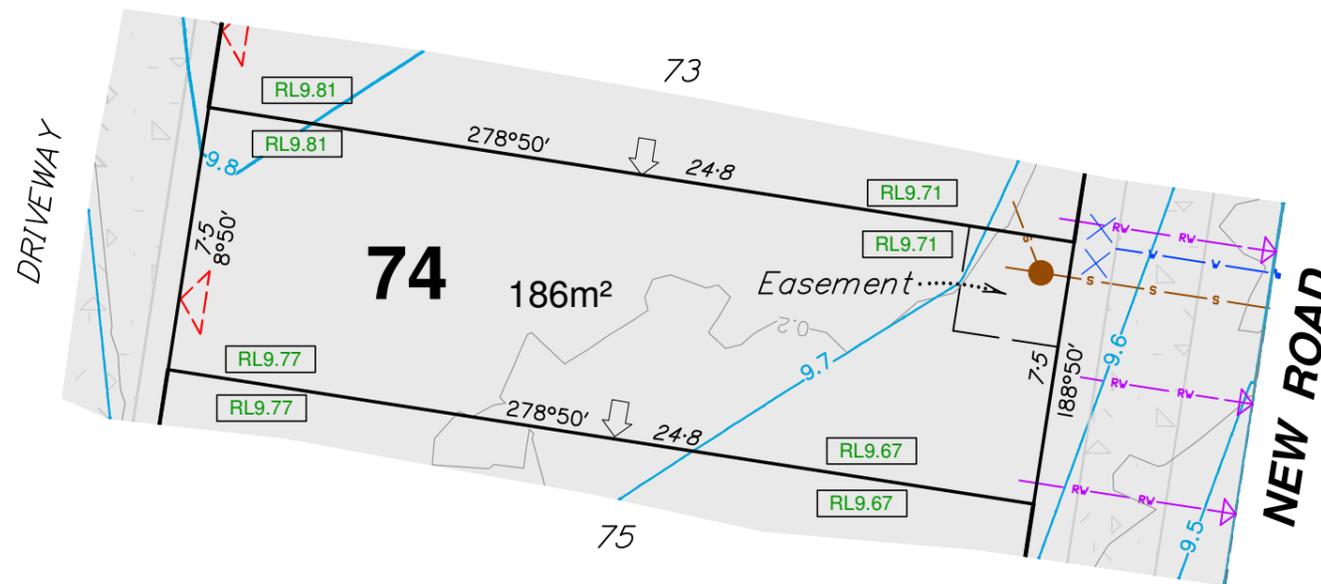
PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 74  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — ● Sewer/Sewer Manhole
  - sv — sv — ⊕ Stormwater/Stormwater Manhole/Pit
  - v — v — × Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - ▬▬▬▬▬▬ 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

PRELIMINARY

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-74 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 75  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
- rv — rv — Roofwater
- ↔ Kerb Adapter
- Area to be Filled
- RL9.77 Design Pad Level
- ↘ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village

GREEN

WOLTER

consulting group

■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN	DRAWING NO.	VERSION
27-02-2020	SS3787-05-01-75	A



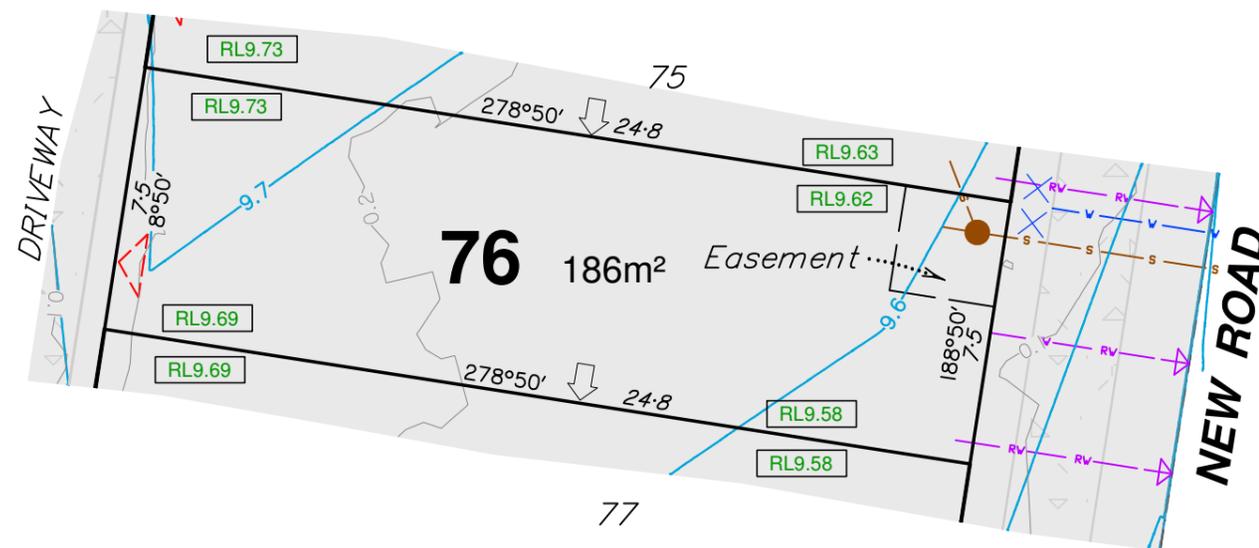
PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 76  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — ● Sewer/Sewer Manhole
  - sv — sv — ⊕ Stormwater/Stormwater Manhole/Pit
  - v — v — × Water/Water Meter
  -  Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL9.32 Design Pad Level
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - ▬▬▬▬▬▬ 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

PRELIMINARY

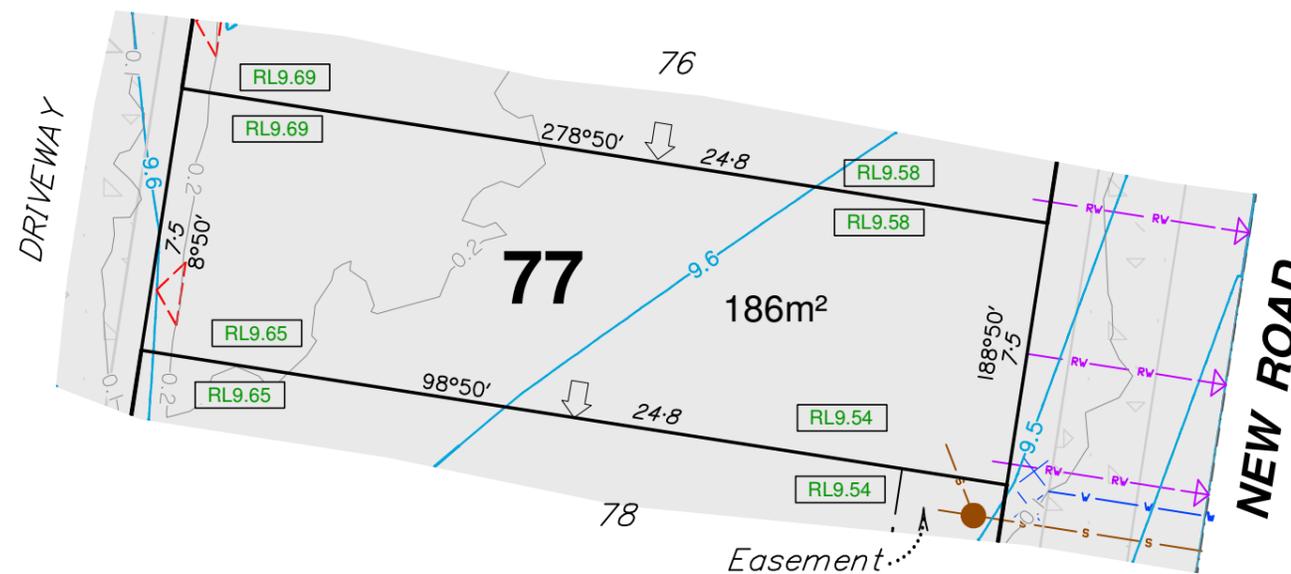
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-76 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 77  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole/Pit
  - Water/Water Meter
  - Roofwater
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

PRELIMINARY

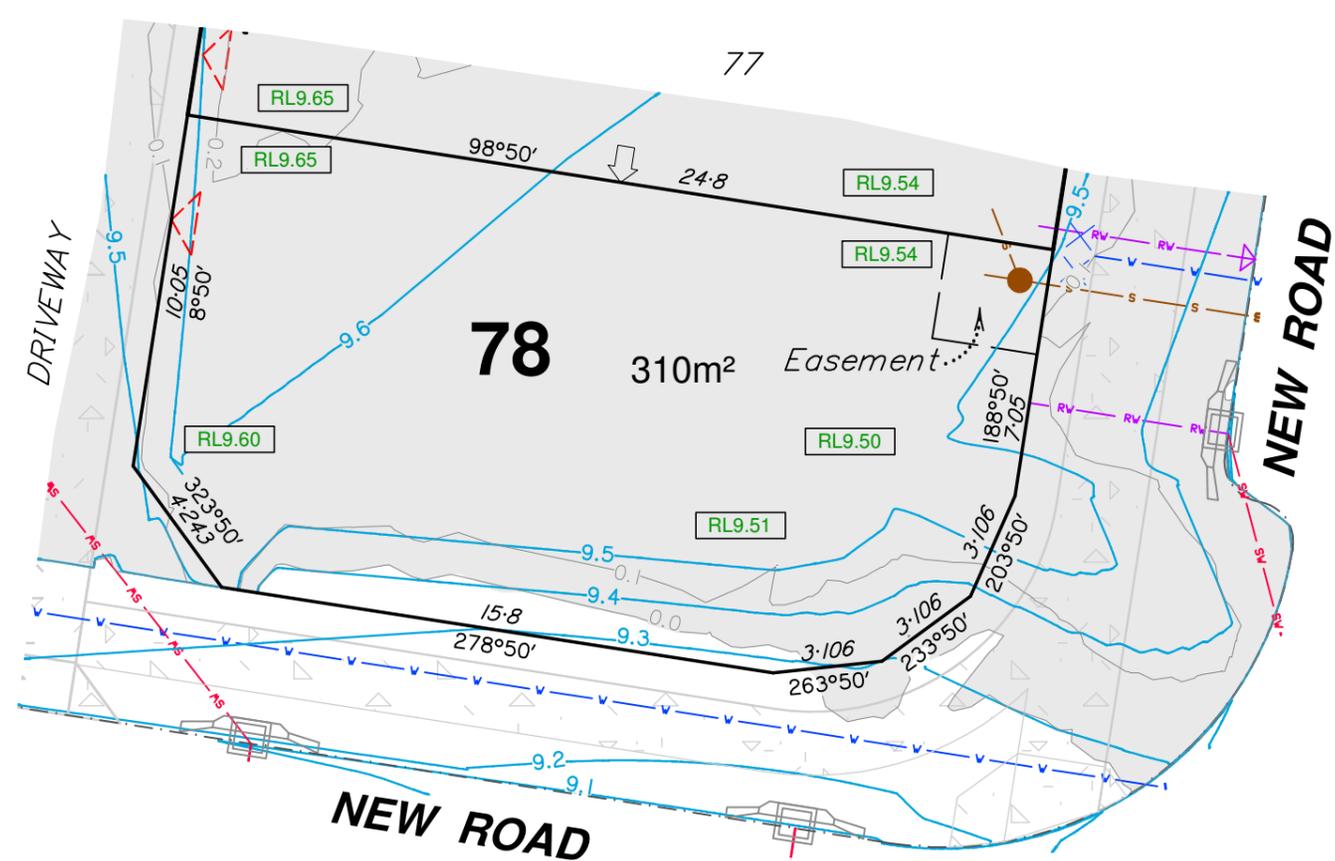
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-77 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 78  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — ● Sewer/Sewer Manhole
  - sv — sv — ⊕ Stormwater/Stormwater Manhole/Pit
  - v — v — × Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - ↗ — ↘ — Kerb Adapter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - ▬▬▬▬▬▬ 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

PRELIMINARY

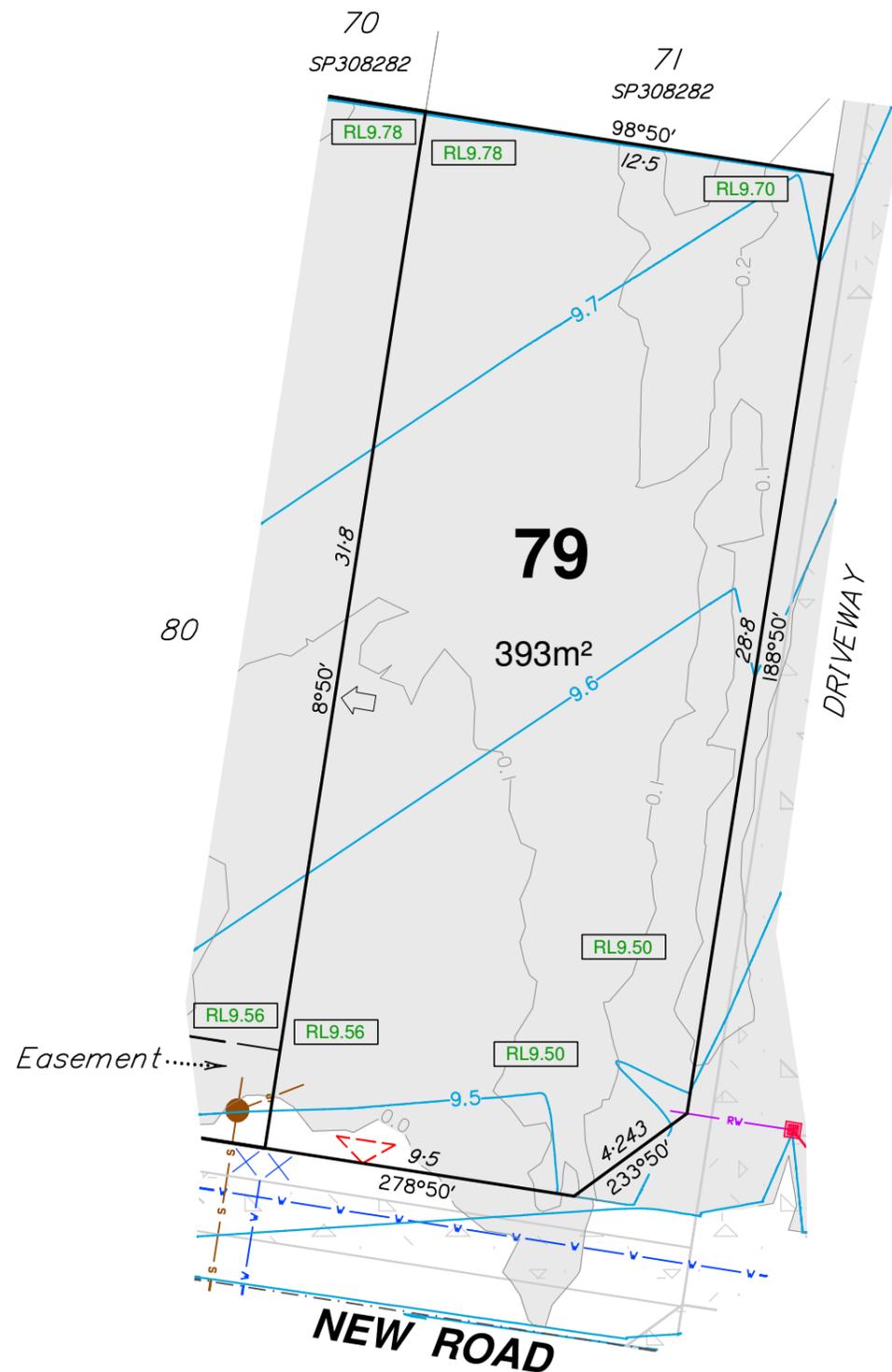
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-78 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 79  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL9.78 Design Pad Level
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

PRELIMINARY

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-79 VERSION A

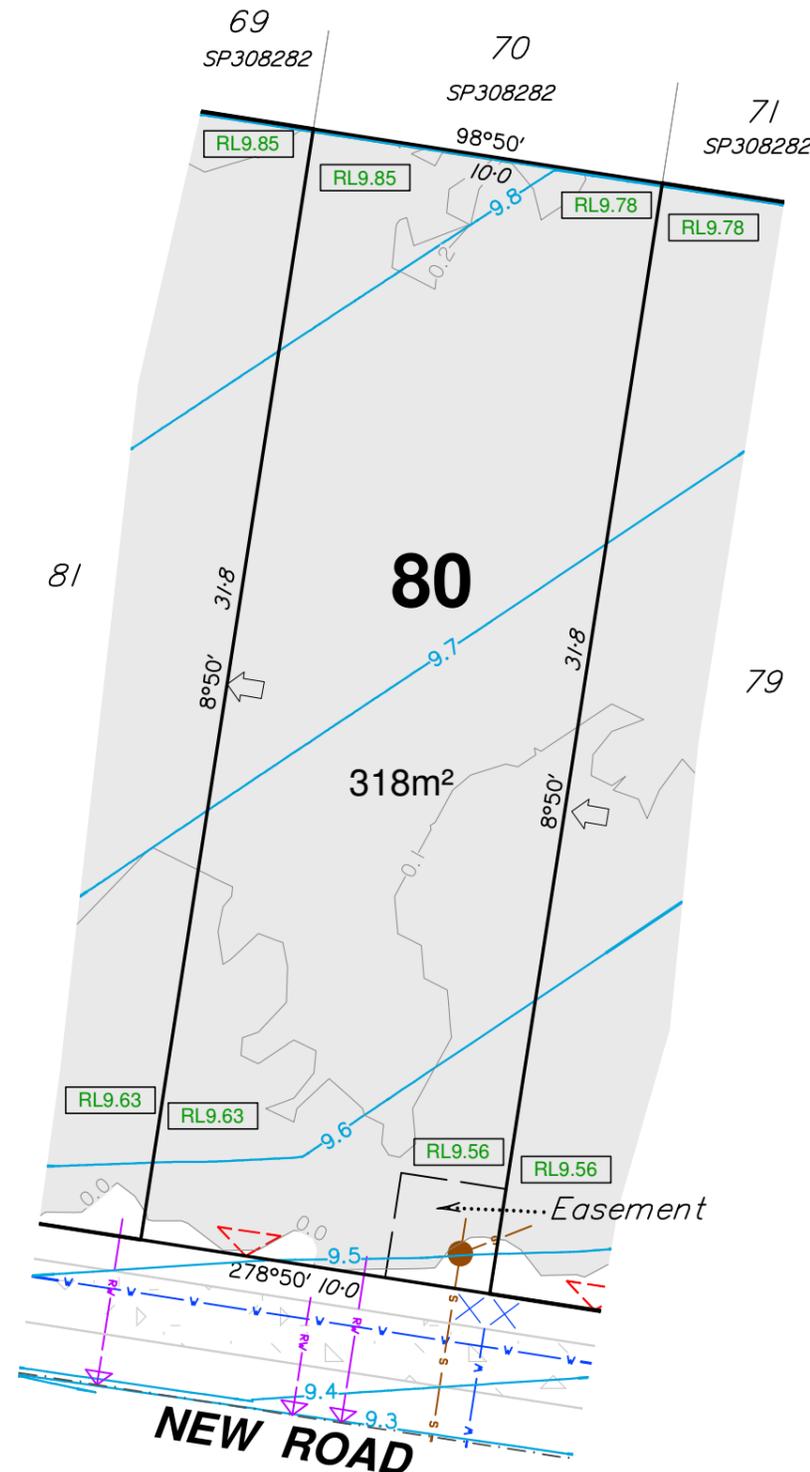
# DISCLOSURE PLAN

For Proposed Lot 80  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



PRELIMINARY



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA

Scale 1:200 @A3

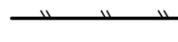
LEVEL DATUM AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-80 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 81  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  -  Stormwater Gully Trap
  - RV — RV — Roofwater
  -  Kerb Adapter
  -  Area to be Filled
  - RL57.32 Design Pad Level
  -  Proposed Driveway
  -  Zero Lot Line Boundary
  -  1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

 **WOLTER**  
consulting group

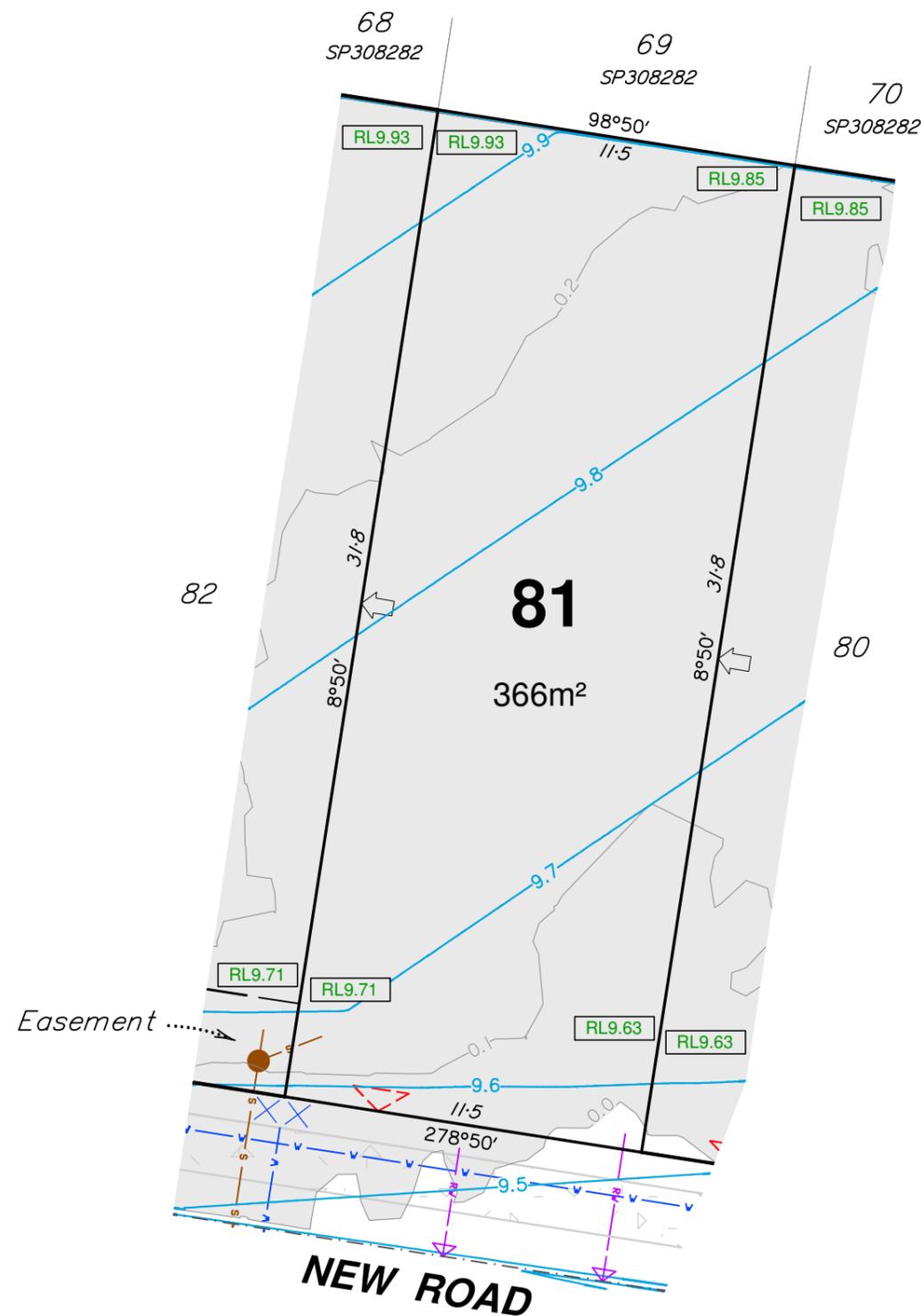
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN  
MGA

  
Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-81 VERSION A



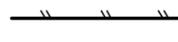
PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 82  
Village Green - Stage 5

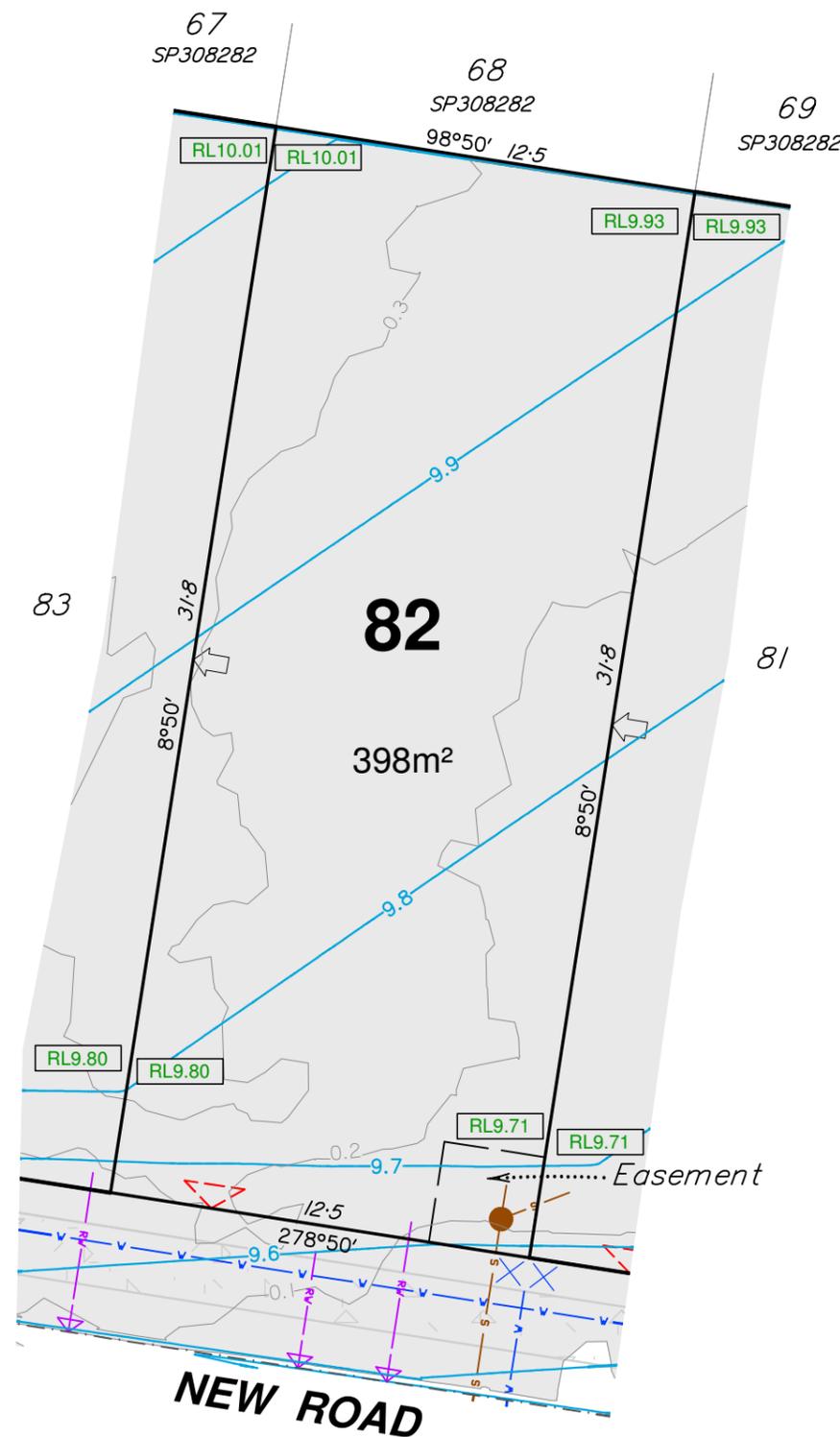
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# PRELIMINARY

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-82 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 83  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - rv — rv — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

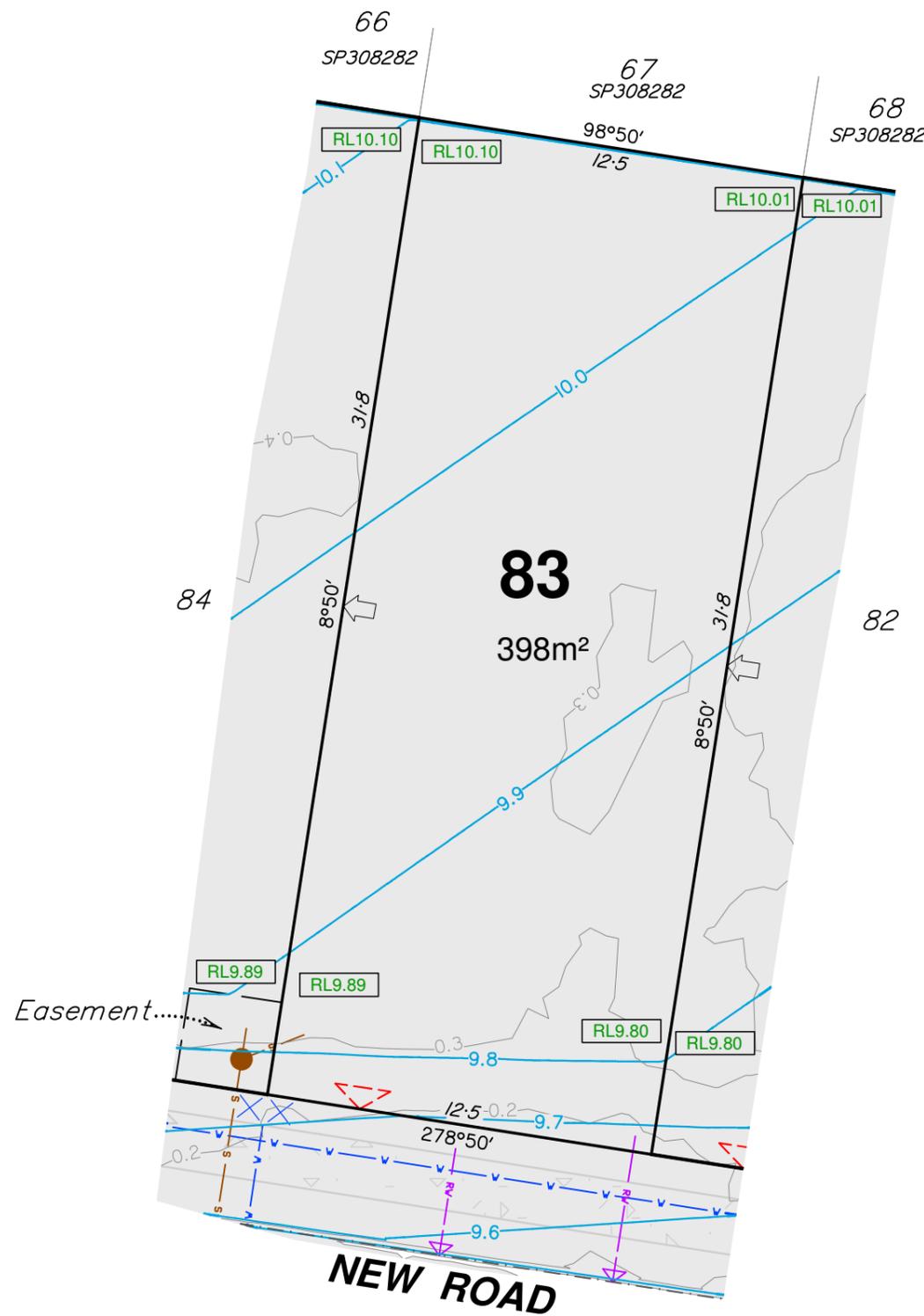
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-83 VERSION A



PRELIMINARY

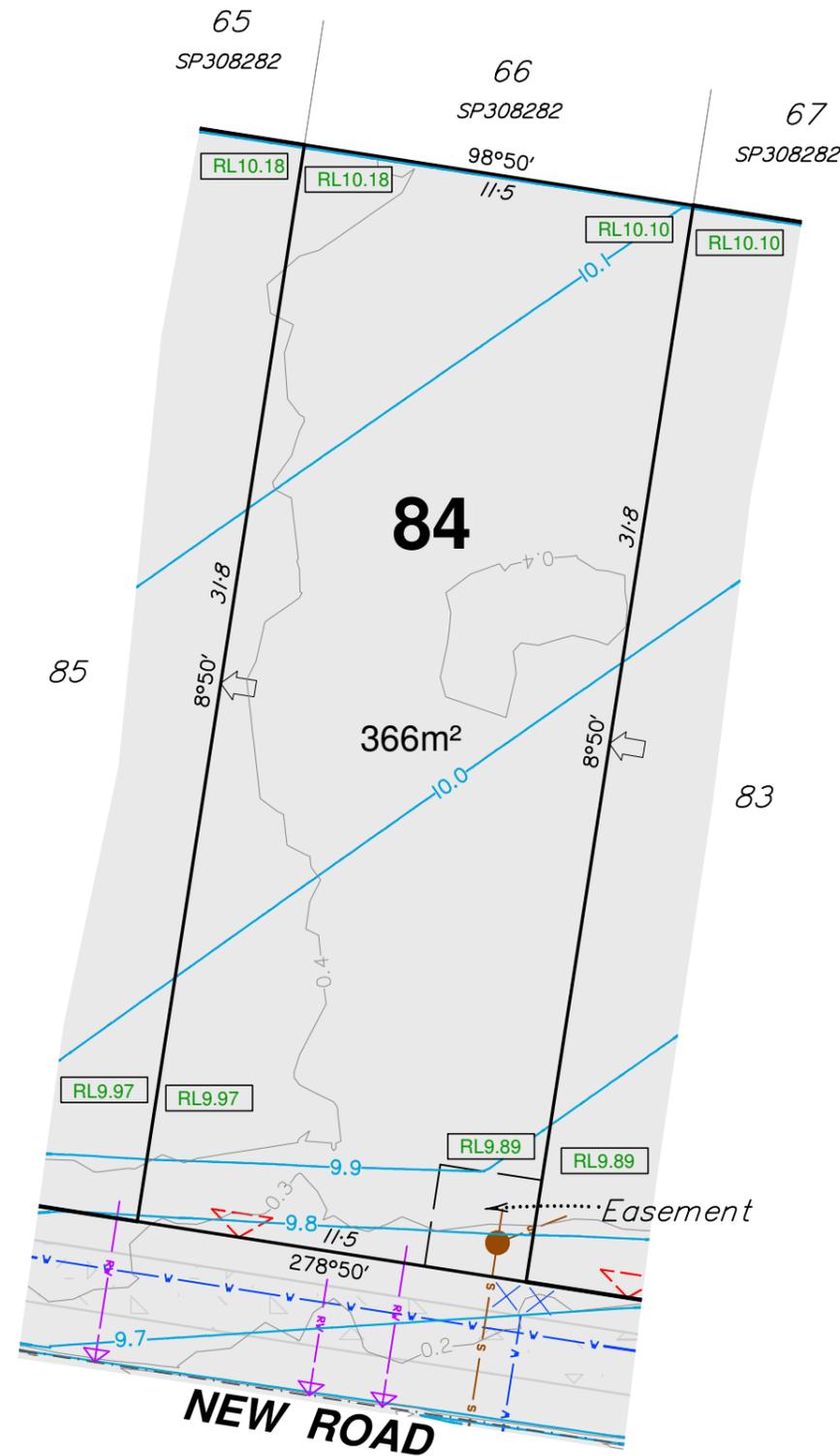
# DISCLOSURE PLAN

For Proposed Lot 84  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - rv — rv — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



PRELIMINARY

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-84 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 85  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

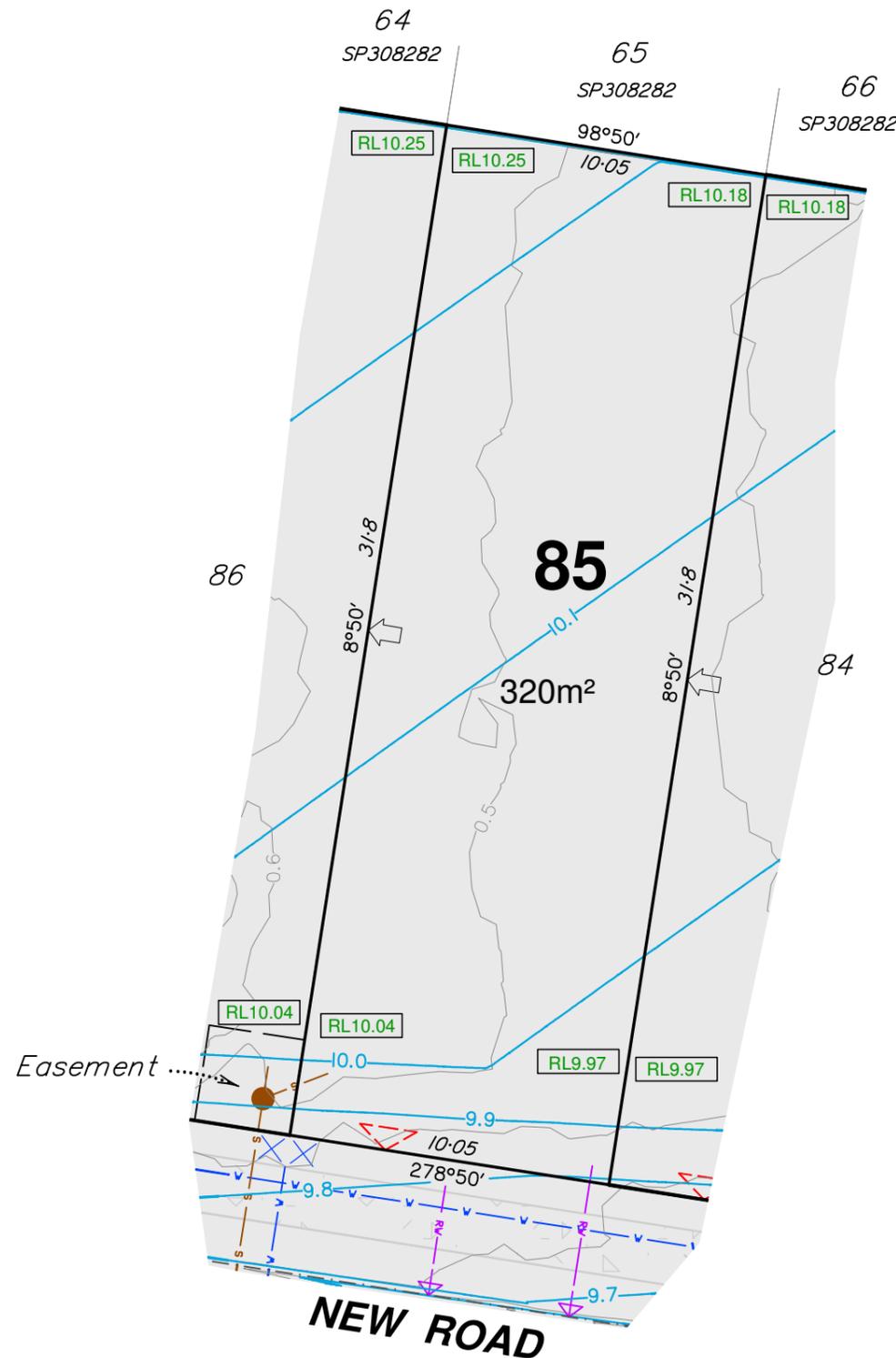
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-85 VERSION A



PRELIMINARY

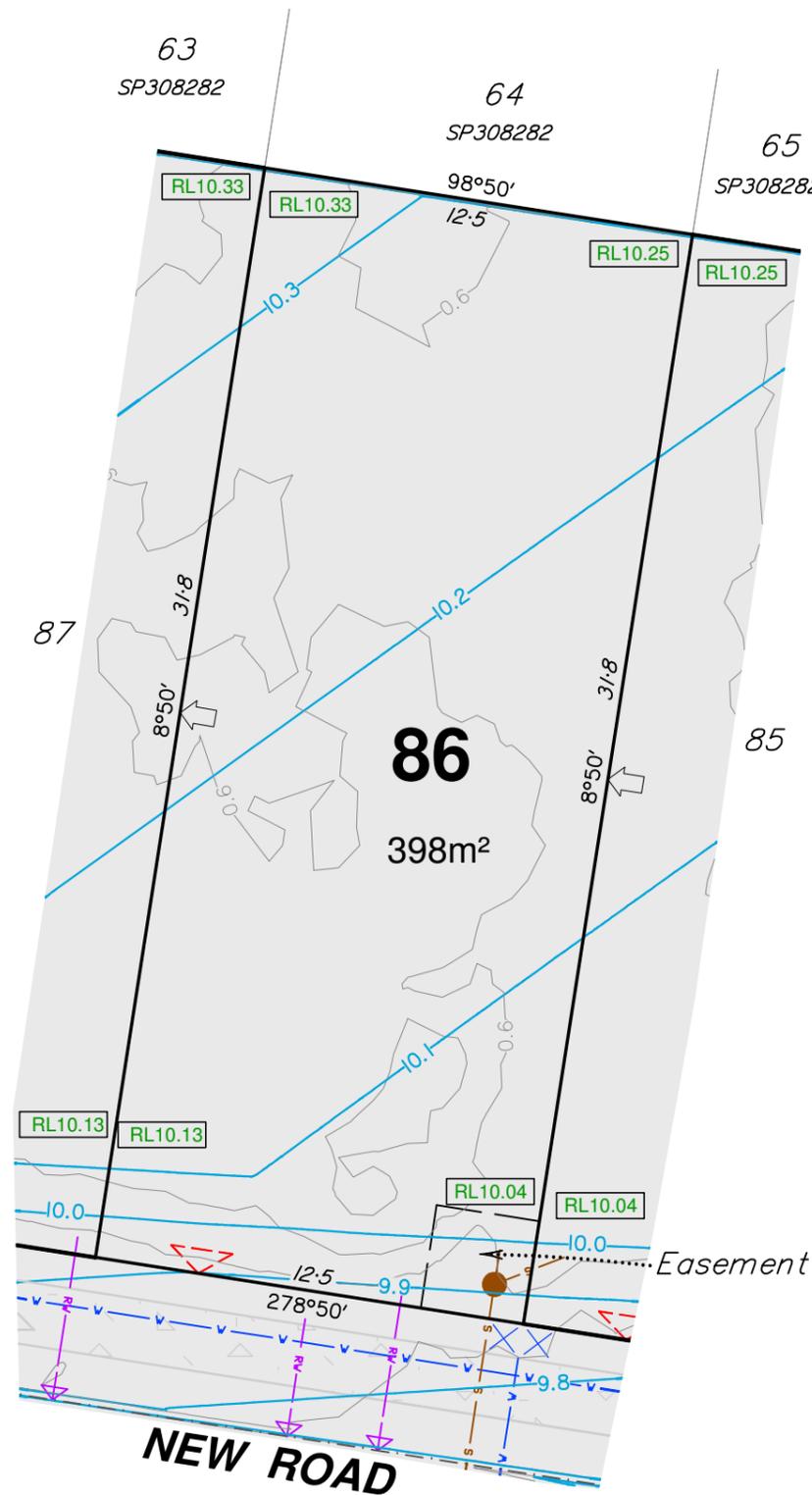
# DISCLOSURE PLAN

For Proposed Lot 86  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - rv — rv — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



PRELIMINARY



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA

Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-86 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 87  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

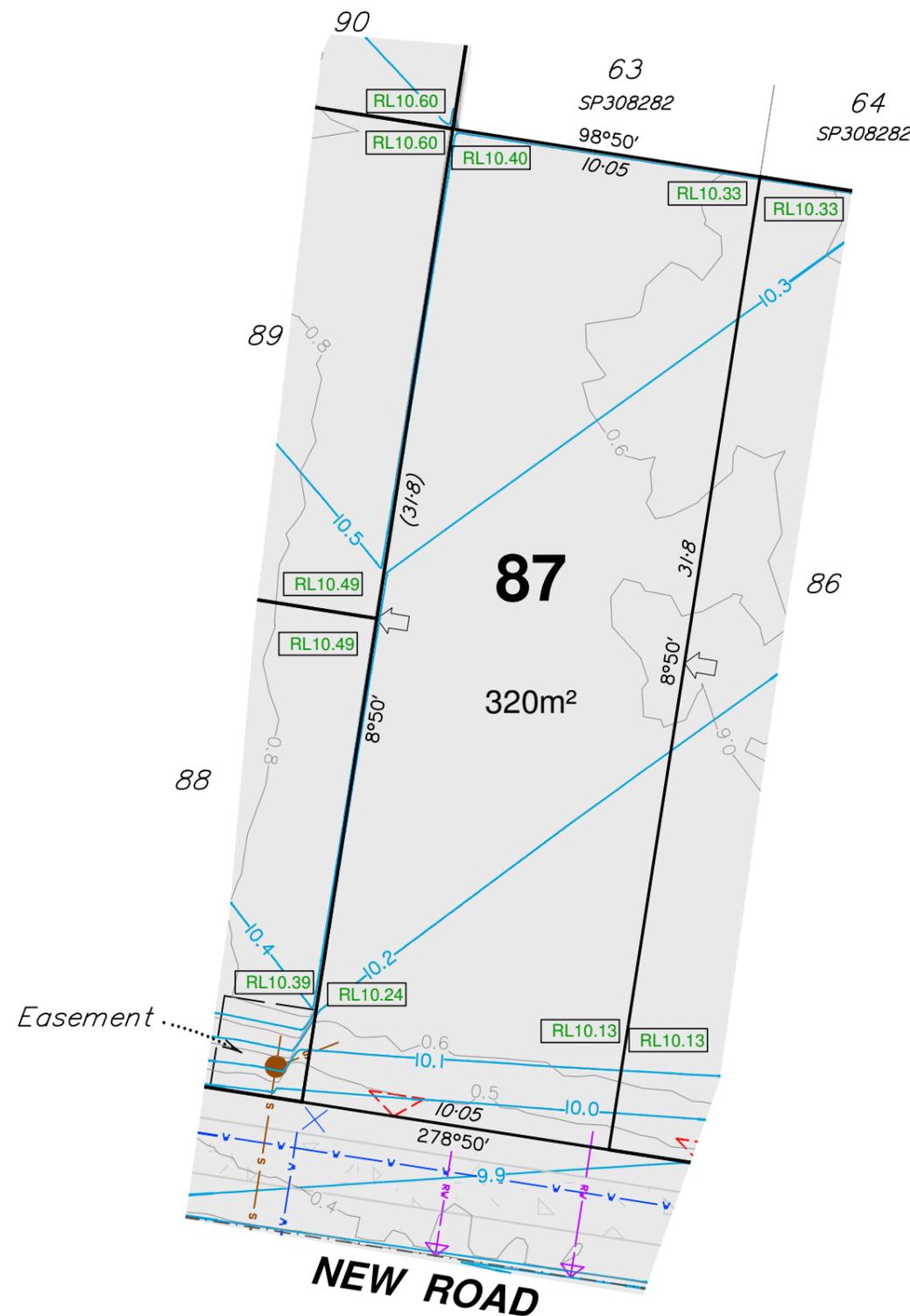
Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020      DRAWING NO. SS3787-05-01-87      VERSION A



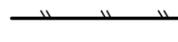
PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 88  
Village Green - Stage 5

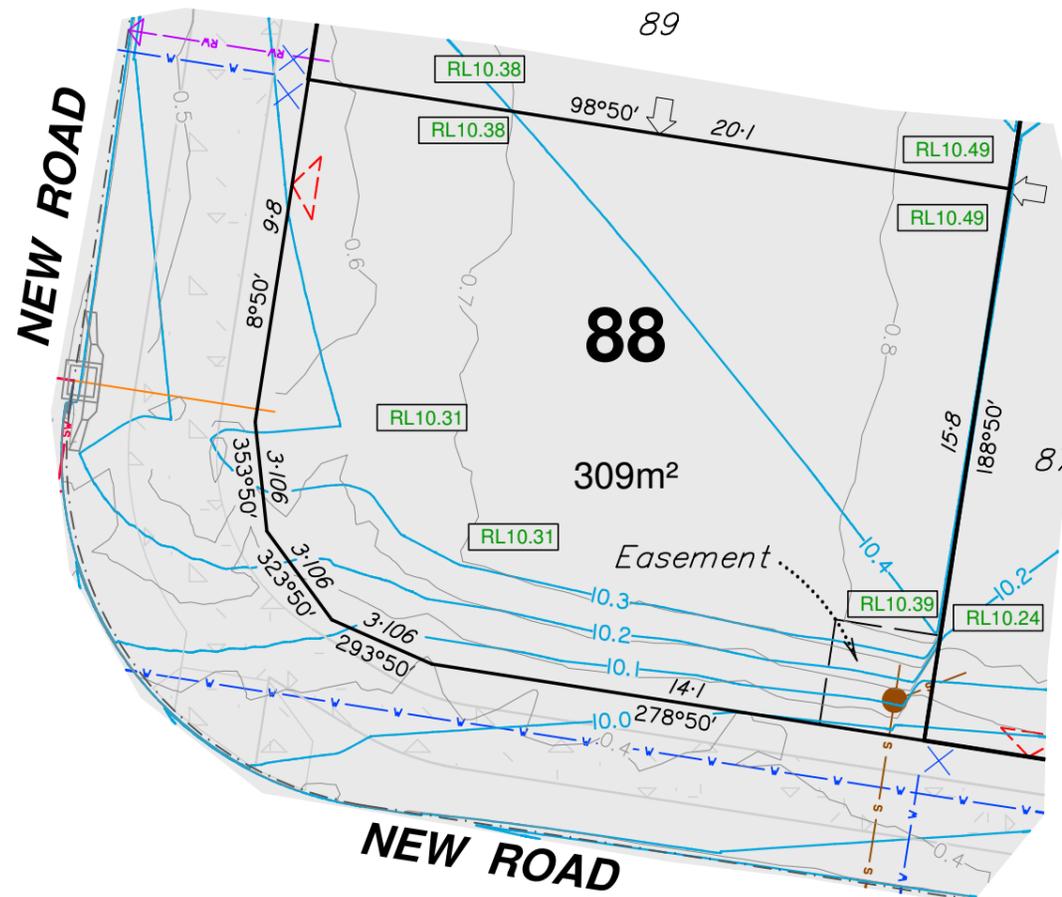
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



PRELIMINARY

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

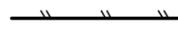
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-88 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 89  
Village Green - Stage 5

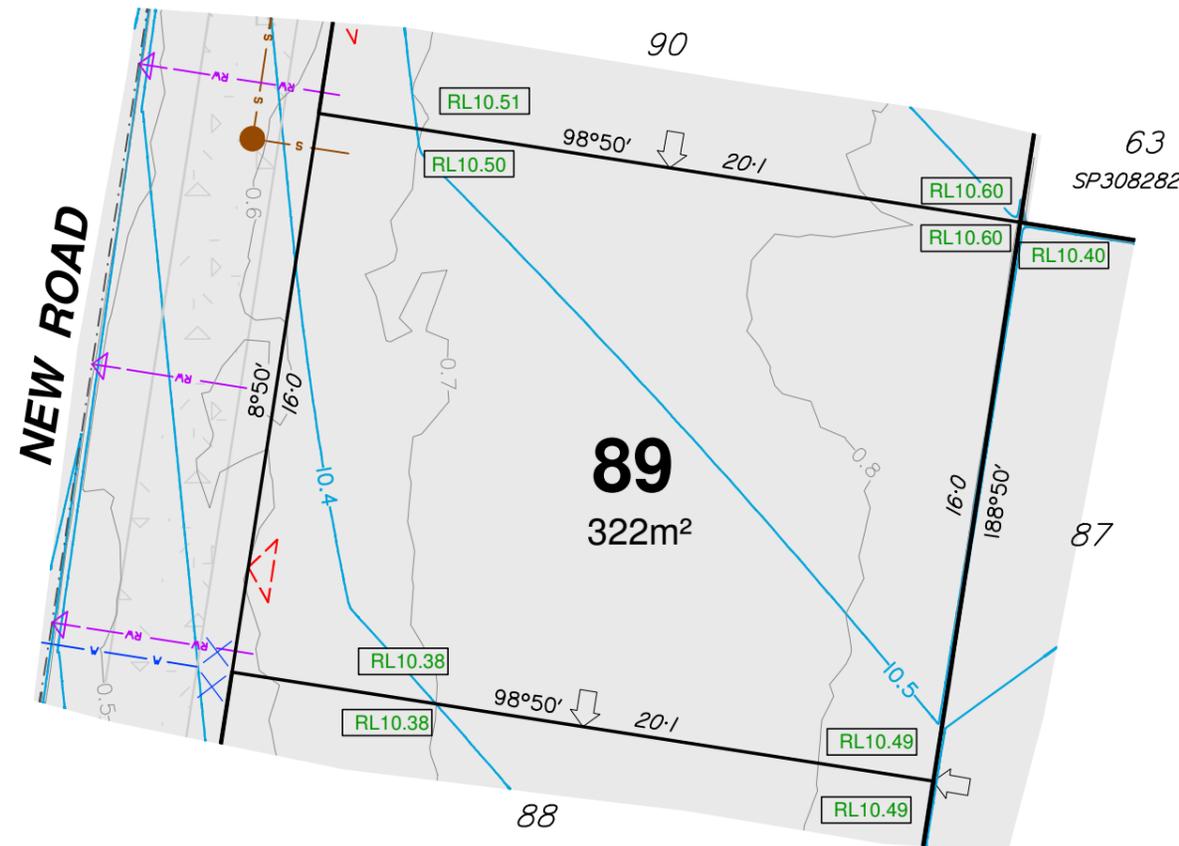
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# PRELIMINARY

**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

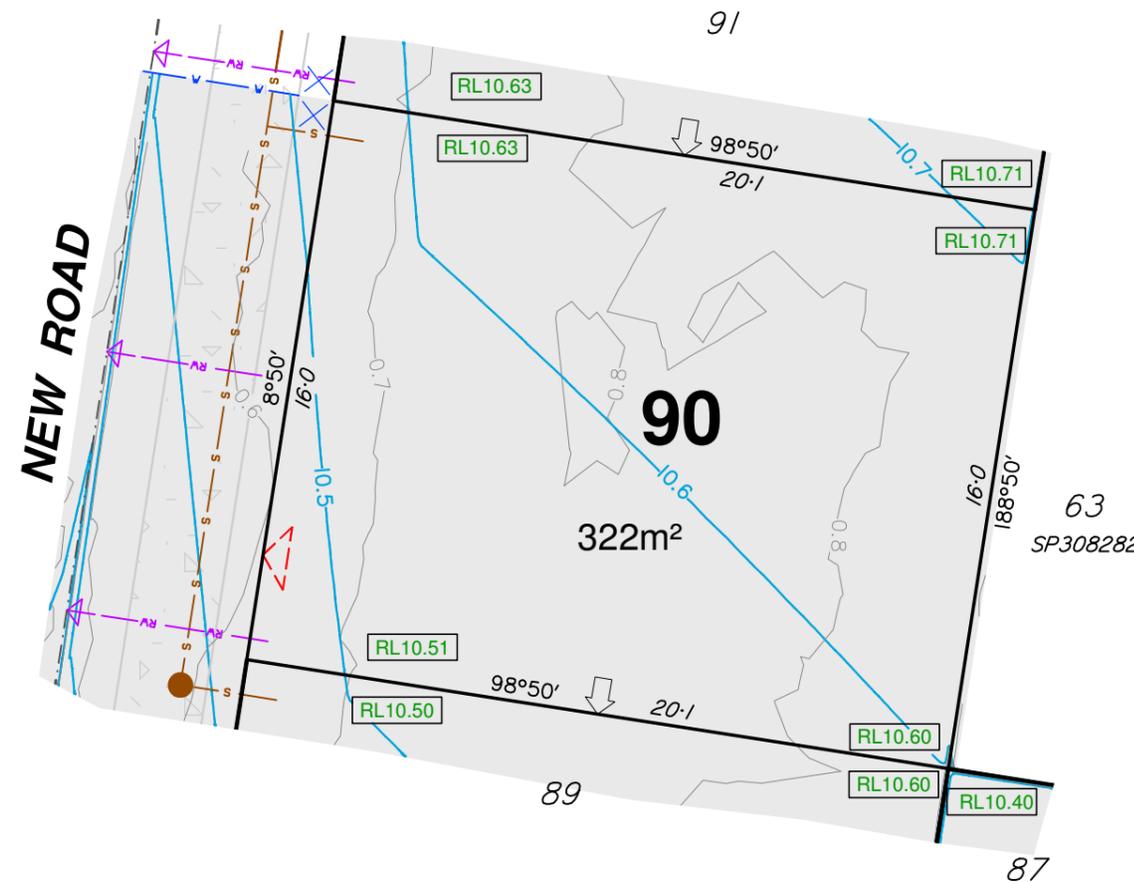
DATE DRAWN 27-02-2020	DRAWING NO. SS3787-05-01-89	VERSION A
--------------------------	--------------------------------	--------------

# DISCLOSURE PLAN

For Proposed Lot 90  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole/Pit
  - Water/Water Meter
  - Stormwater Gully Trap
  - Roofwater
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

PRELIMINARY

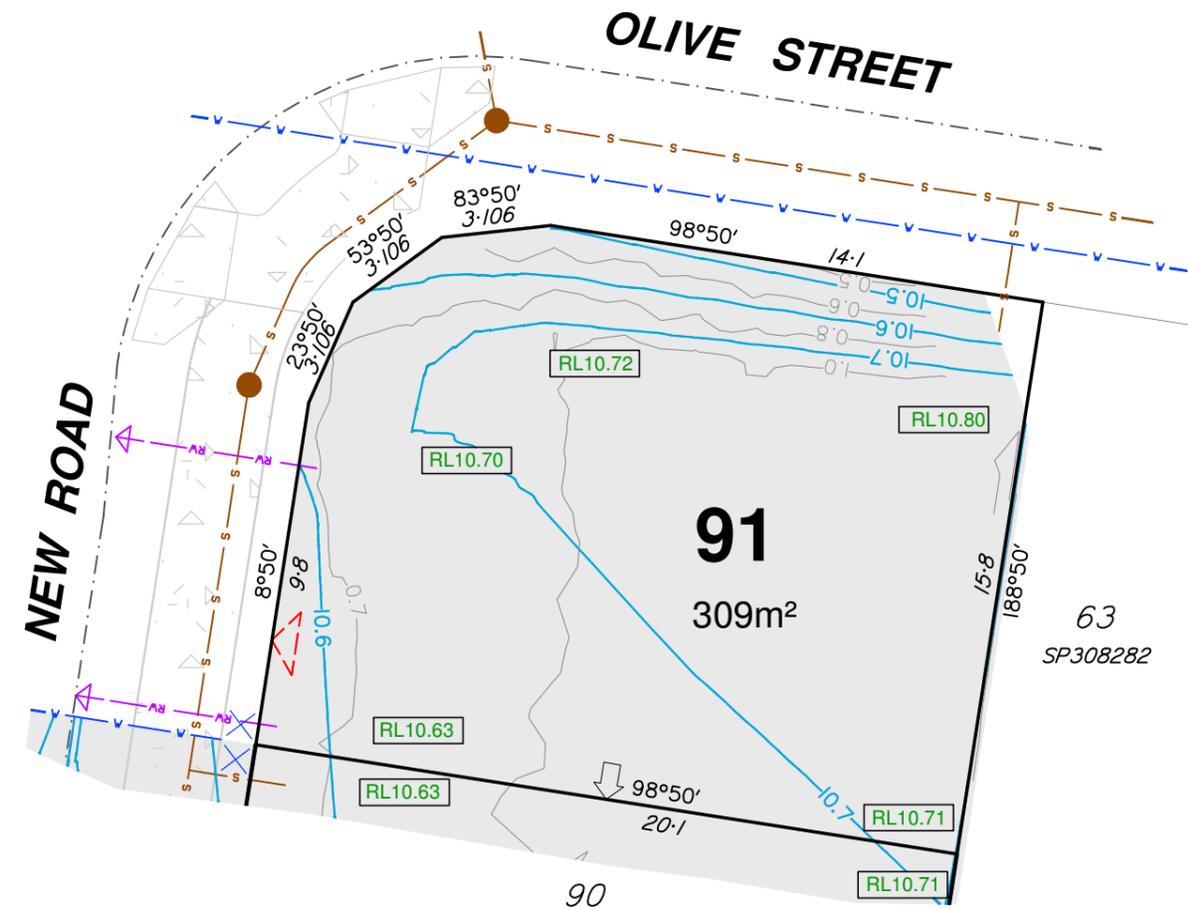
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-90 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 91  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020  
DRAWING NO. SS3787-05-01-91  
VERSION A

PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 92  
Village Green - Stage 5

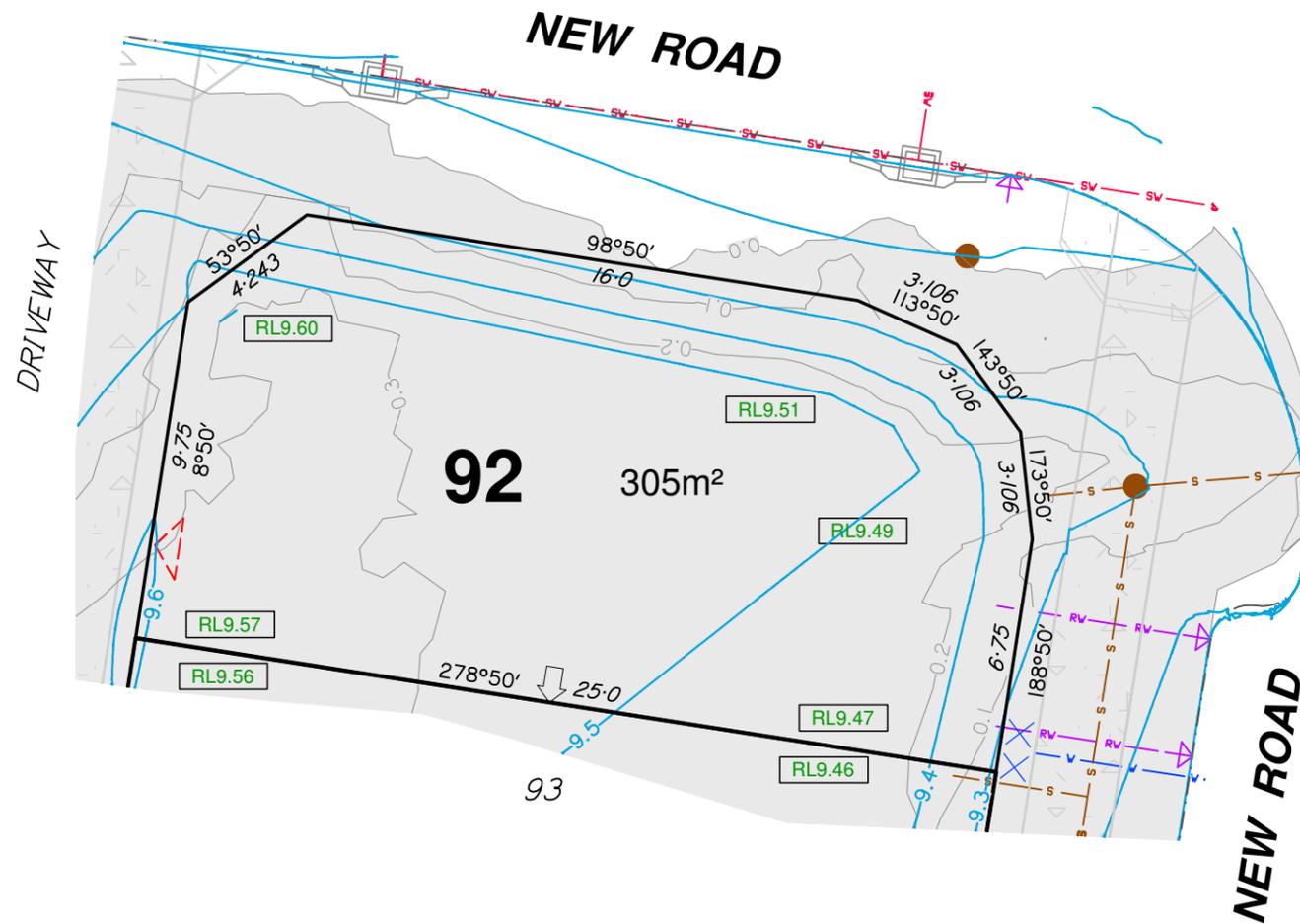
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
- Stormwater Gully Trap
- RV — RV — Roofwater
- Kerb Adapter
- Area to be Filled
- RL9.32 Design Pad Level
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 01-09-2020	DRAWING NO. SS3787-05-01-92	VERSION B
--------------------------	--------------------------------	--------------

# DISCLOSURE PLAN

For Proposed Lot 93  
Village Green - Stage 5

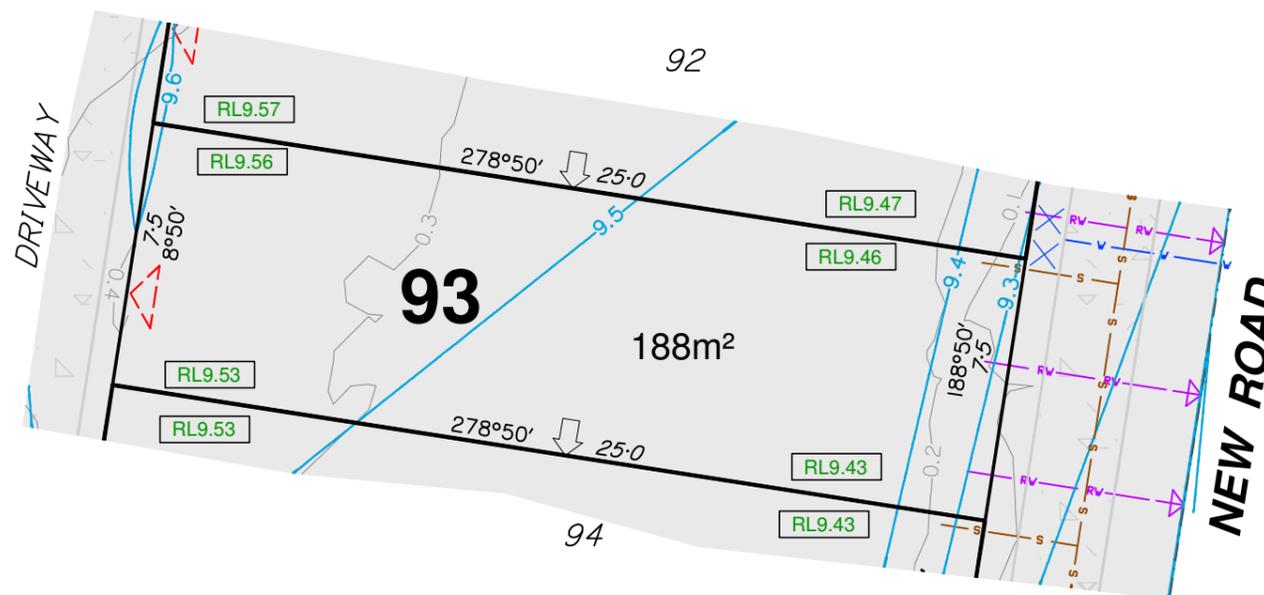
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
- RV — RV — Roofwater
- Kerb Adapter
- Area to be Filled
- RL9.32 Design Pad Level
- △ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

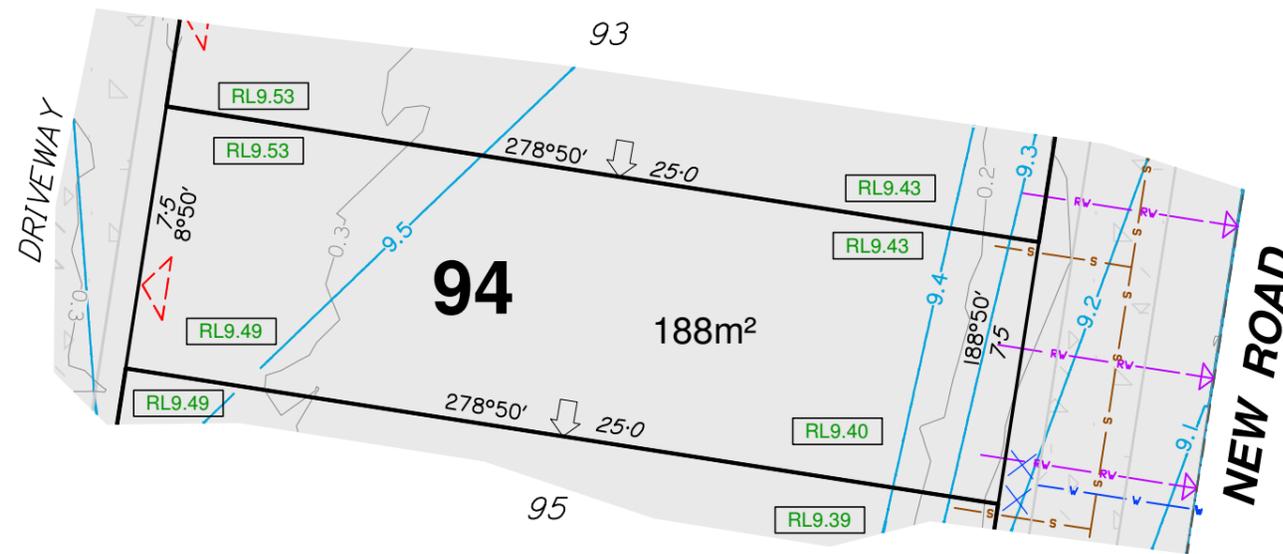
DATE DRAWN 01-09-2020 DRAWING NO. SS3787-05-01-93 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 94  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole/Pit
  - Water/Water Meter
  - Roofwater
  - Stormwater Gully Trap
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

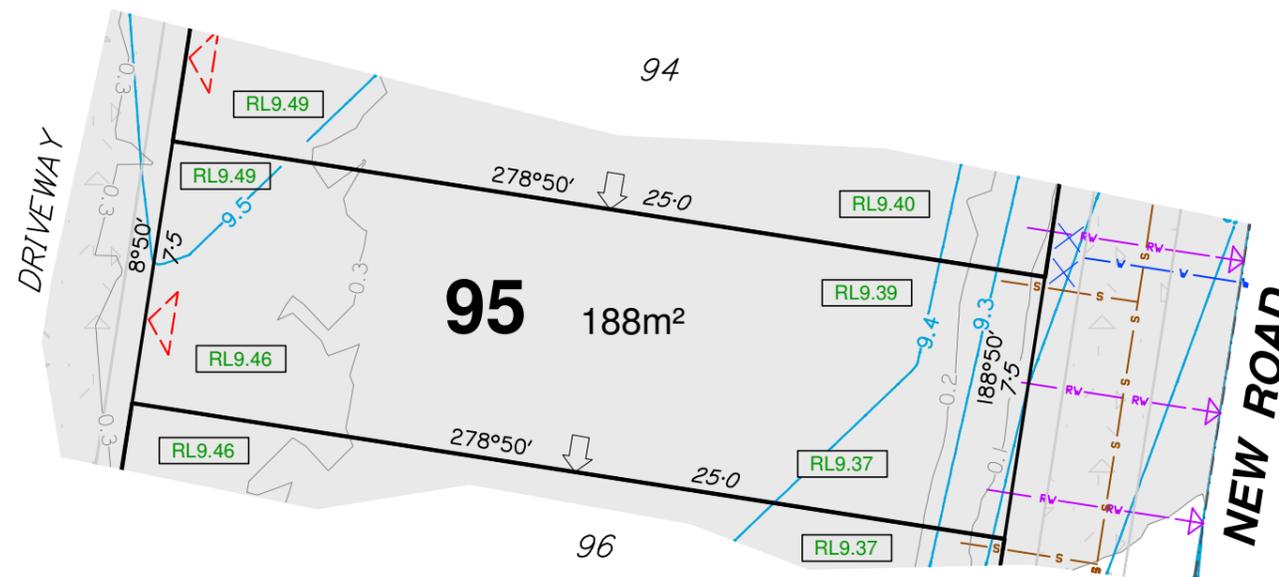
DATE DRAWN 01-09-2020 DRAWING NO. SS3787-05-01-94 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 95  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — ● Sewer/Sewer Manhole
  - sv — sv — ⊕ Stormwater/Stormwater Manhole/Pit
  - v — v — × Water/Water Meter
  -  Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL9.32 Design Pad Level
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - ▬▬▬▬▬▬ 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

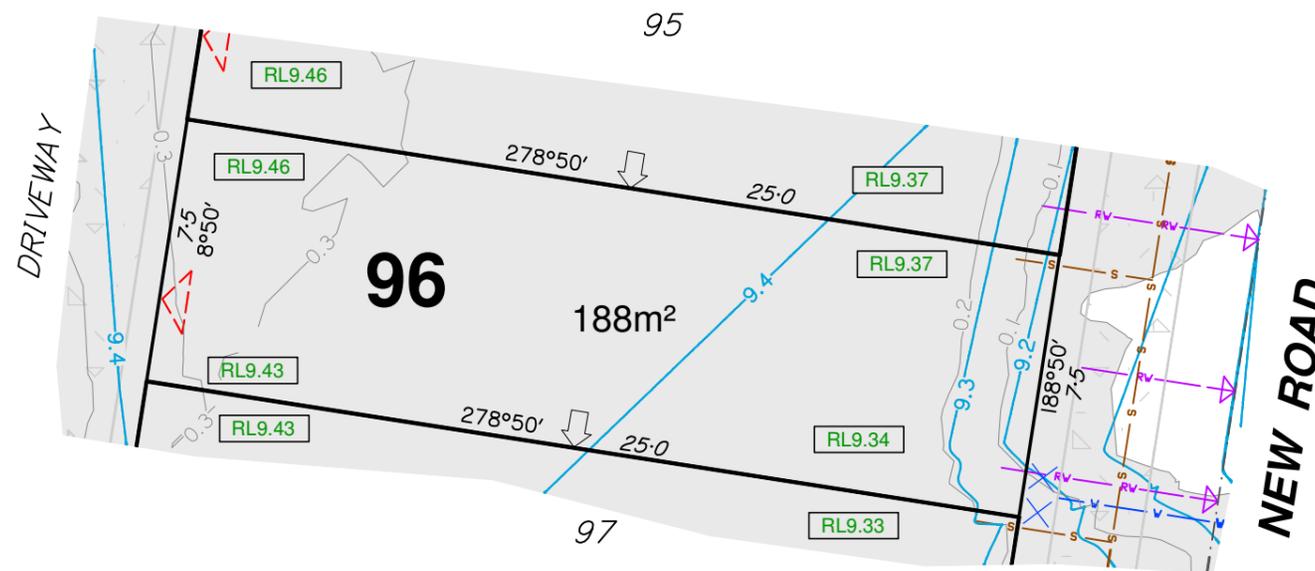
DATE DRAWN 01-09-2020 DRAWING NO. SS3787-05-01-95 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 96  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — ● Sewer/Sewer Manhole
  - sv — sv — ⊕ Stormwater/Stormwater Manhole/Pit
  - v — v — × Water/Water Meter
  -  Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - / — / — / 1.8m High Acoustic Fence (Installed by Developer)



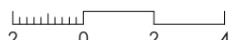
- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 01-09-2020	DRAWING NO. SS3787-05-01-96	VERSION B
--------------------------	--------------------------------	--------------

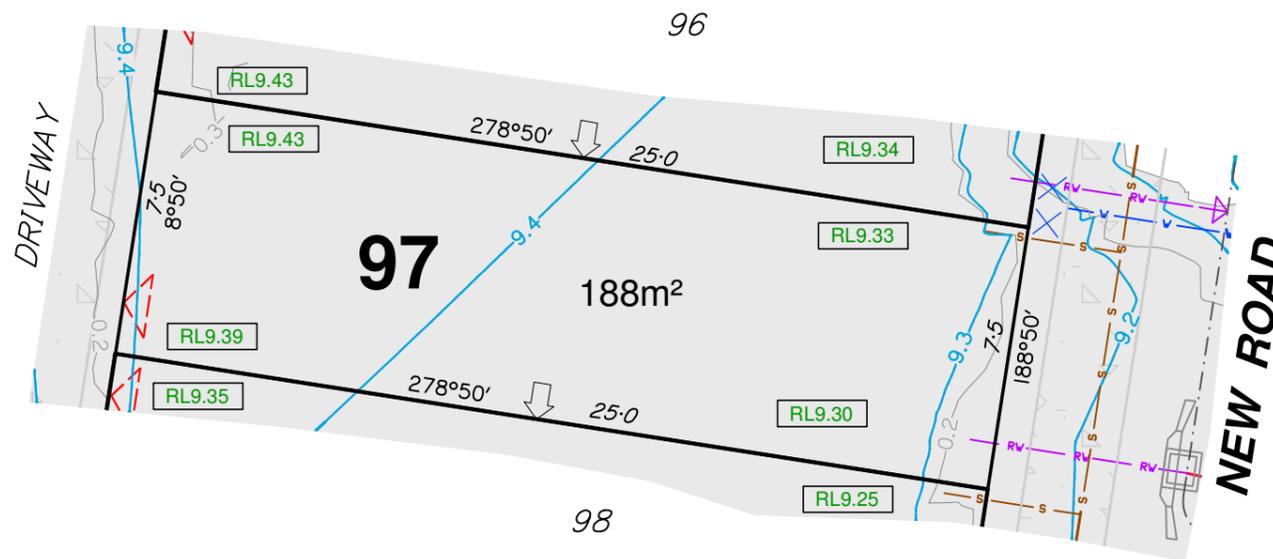
# DISCLOSURE PLAN

For Proposed Lot 97  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
- Stormwater Gully Trap
- RV — RV — Roofwater
- Kerb Adapter
- Area to be Filled
- RL9.32 Design Pad Level
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Acoustic Fence (Installed by Developer)



### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

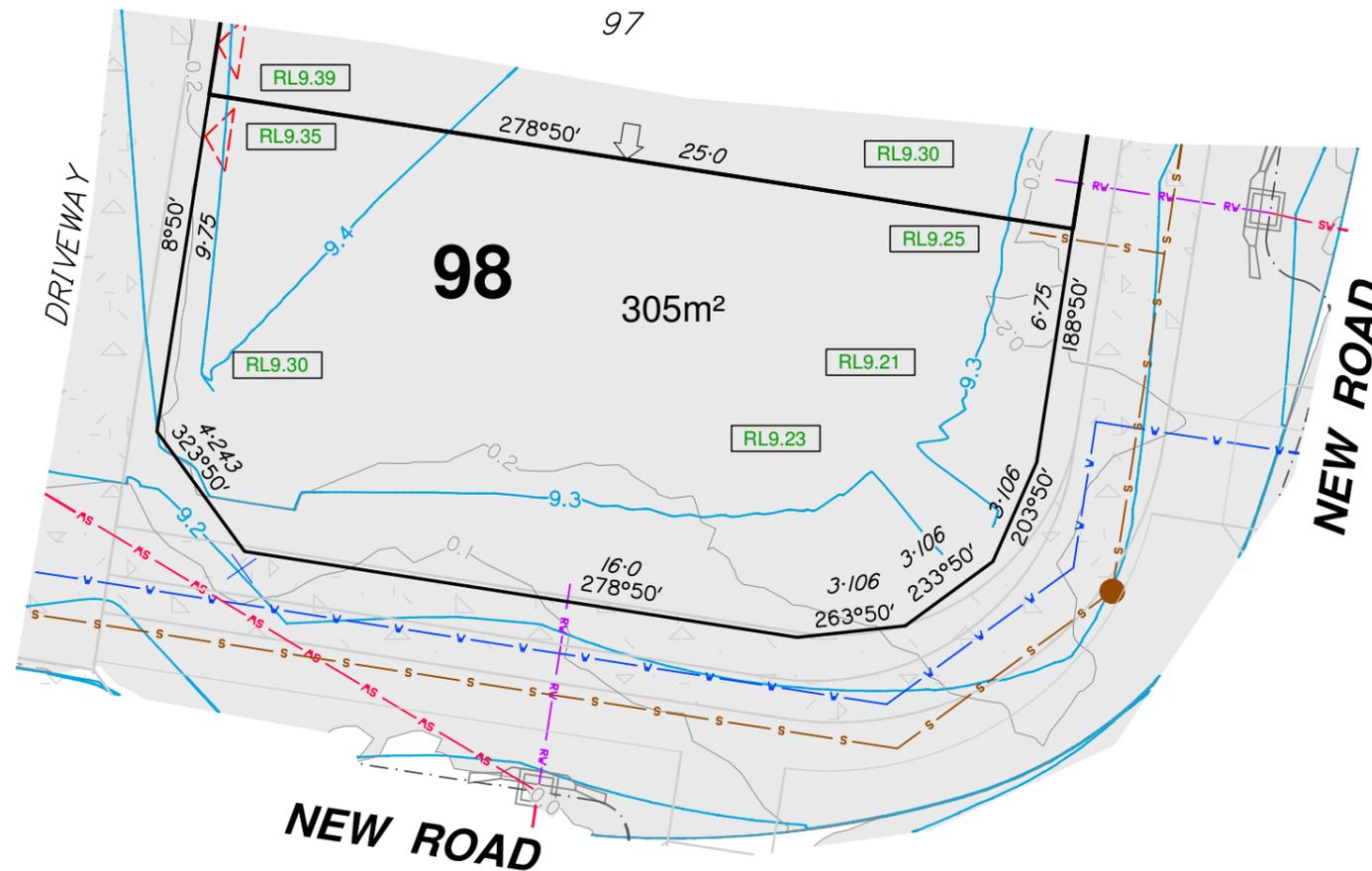
DATE DRAWN 01-09-2020 DRAWING NO. SS3787-05-01-97 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 98  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 01-09-2020 DRAWING NO. SS3787-05-01-98 VERSION B

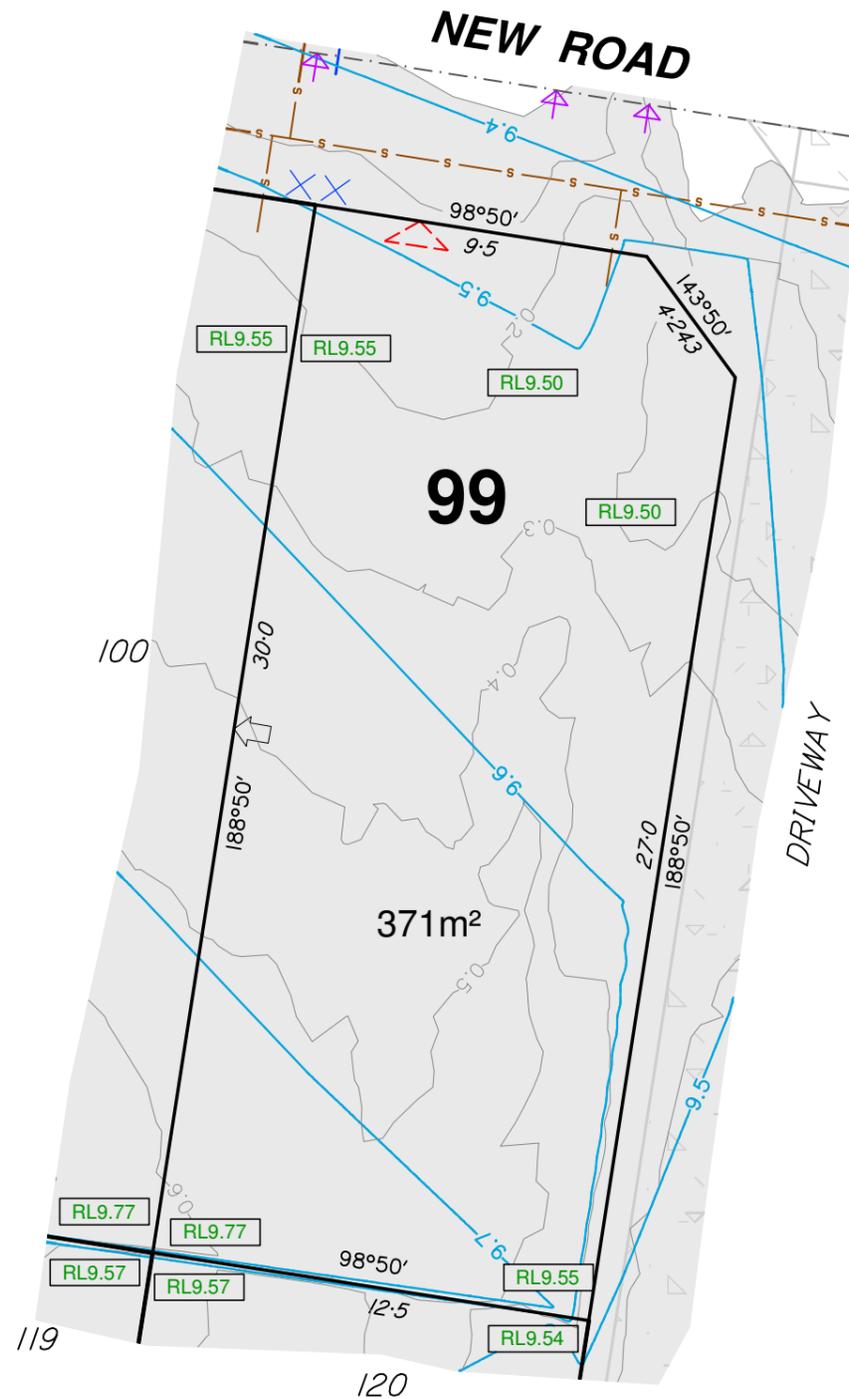
# DISCLOSURE PLAN

For Proposed Lot 99  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



PRELIMINARY

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

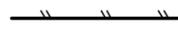
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-99 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 100  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

 **WOLTER**  
consulting group

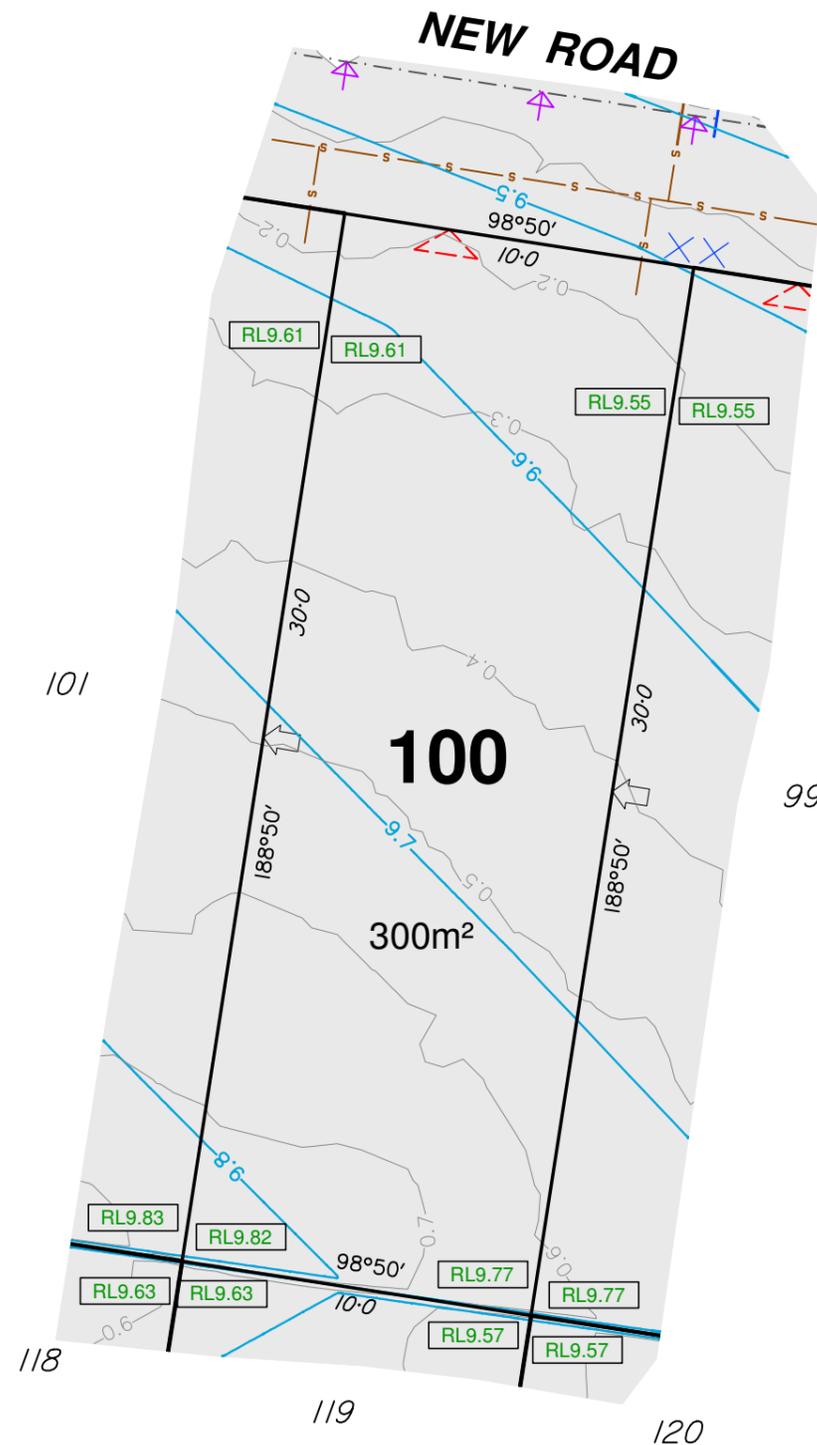
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN  
MGA

  
Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-100 VERSION A



PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 101  
Village Green - Stage 5

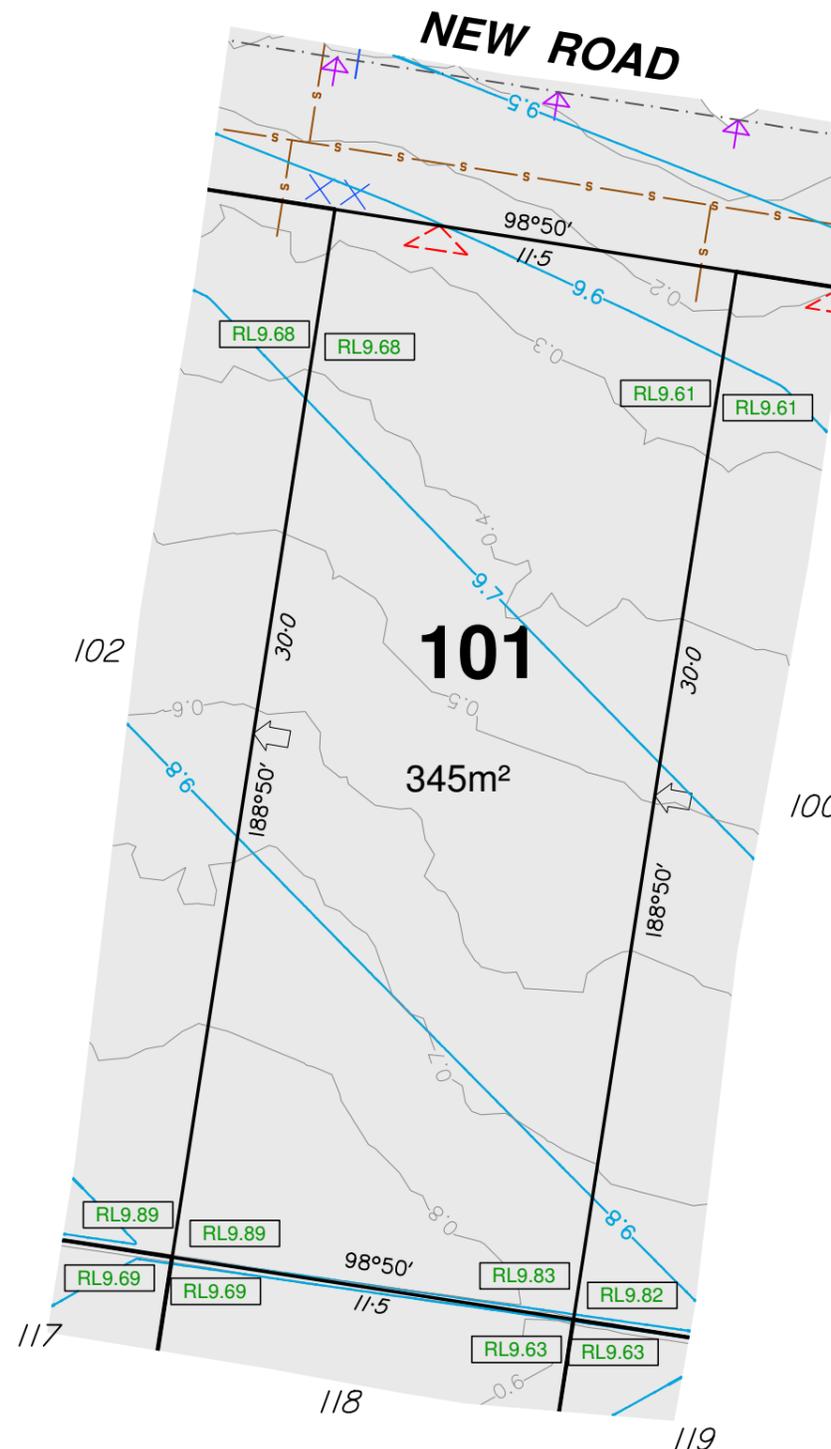
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
- RL57.32 Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# PRELIMINARY

**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020	DRAWING NO. SS3787-05-01-101	VERSION A
--------------------------	---------------------------------	--------------

# DISCLOSURE PLAN

For Proposed Lot 102  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
- Stormwater Gully Trap
- RV — RV — Roofwater
- Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

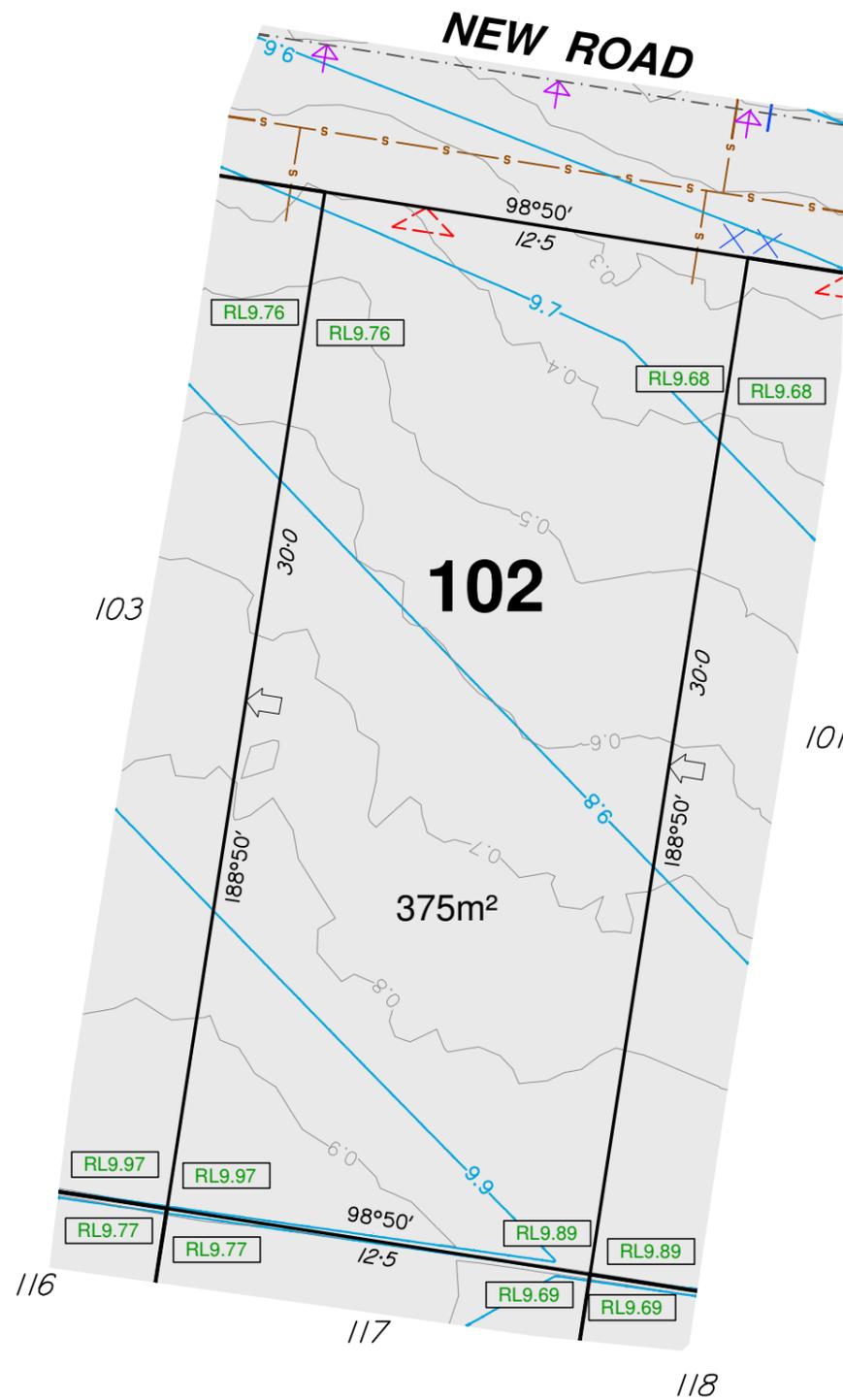
Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020      DRAWING NO. SS3787-05-01-102      VERSION A



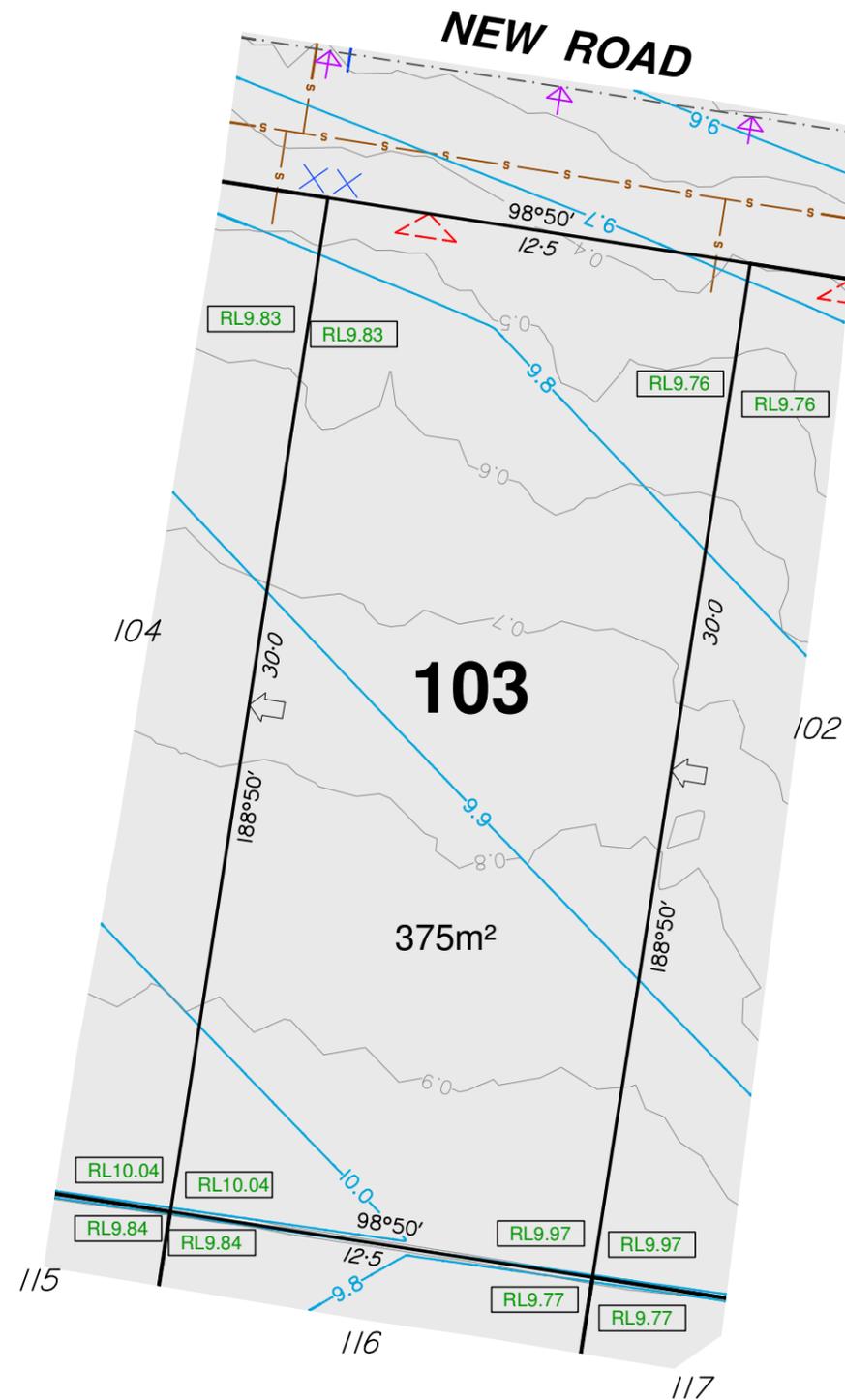
PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 103  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - Kerb Line
  - s - s Sewer/Sewer Manhole
  - sv - sv Stormwater/Stormwater Manhole/Pit
  - v - v Water/Water Meter
  - Stormwater Gully Trap
  - RV - RV Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

PRELIMINARY

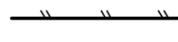
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-103 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 104  
Village Green - Stage 5

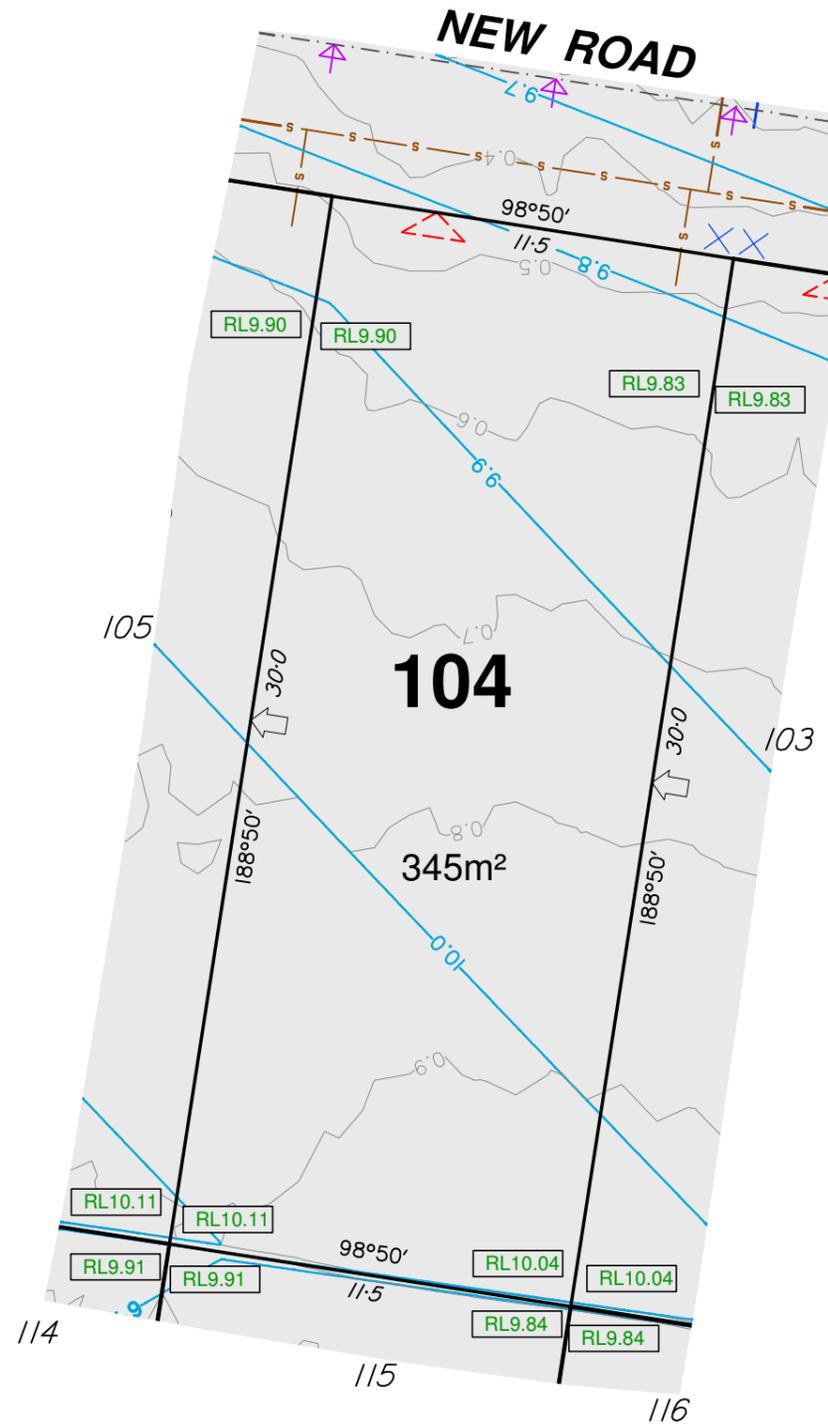
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



PRELIMINARY

**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

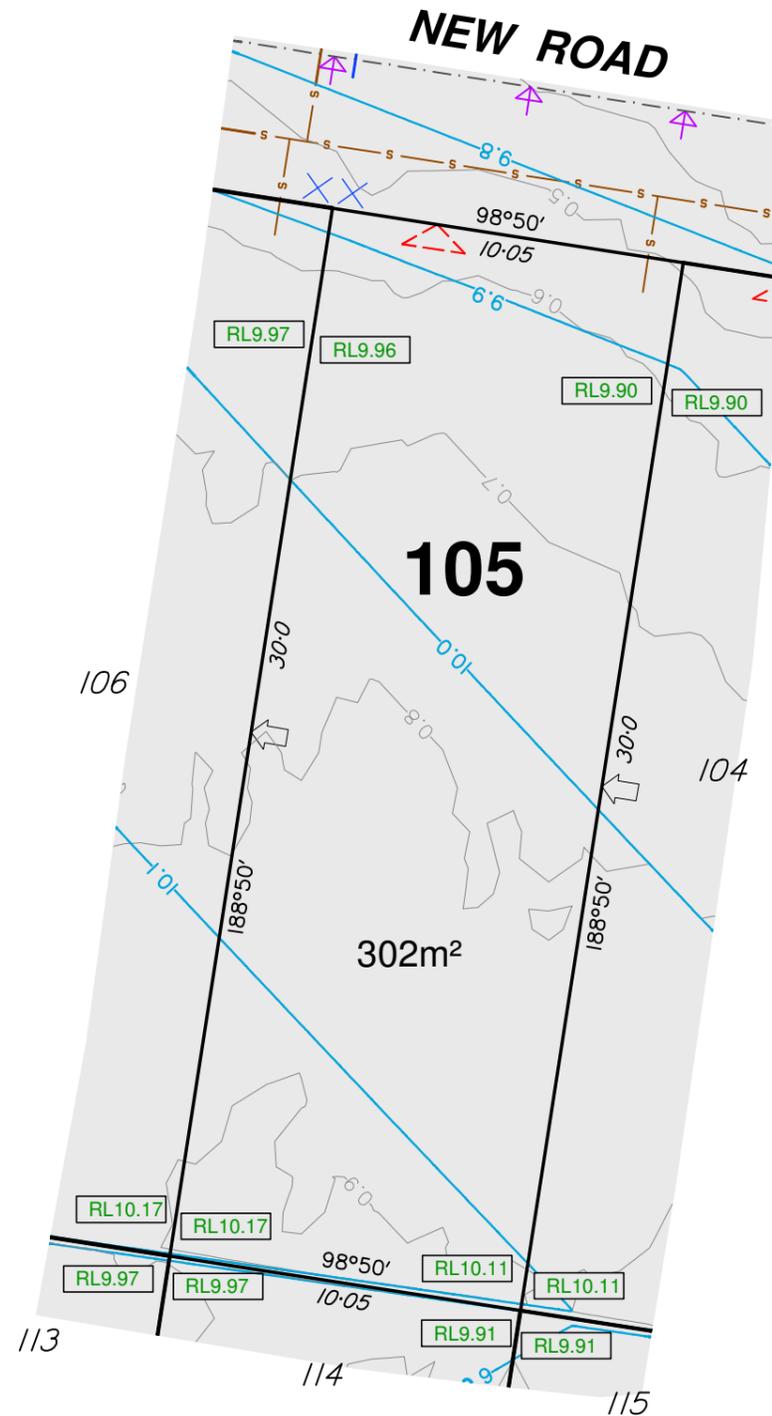
DATE DRAWN 27-02-2020	DRAWING NO. SS3787-05-01-104	VERSION A
--------------------------	---------------------------------	--------------

# DISCLOSURE PLAN

For Proposed Lot 105  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-105 VERSION A

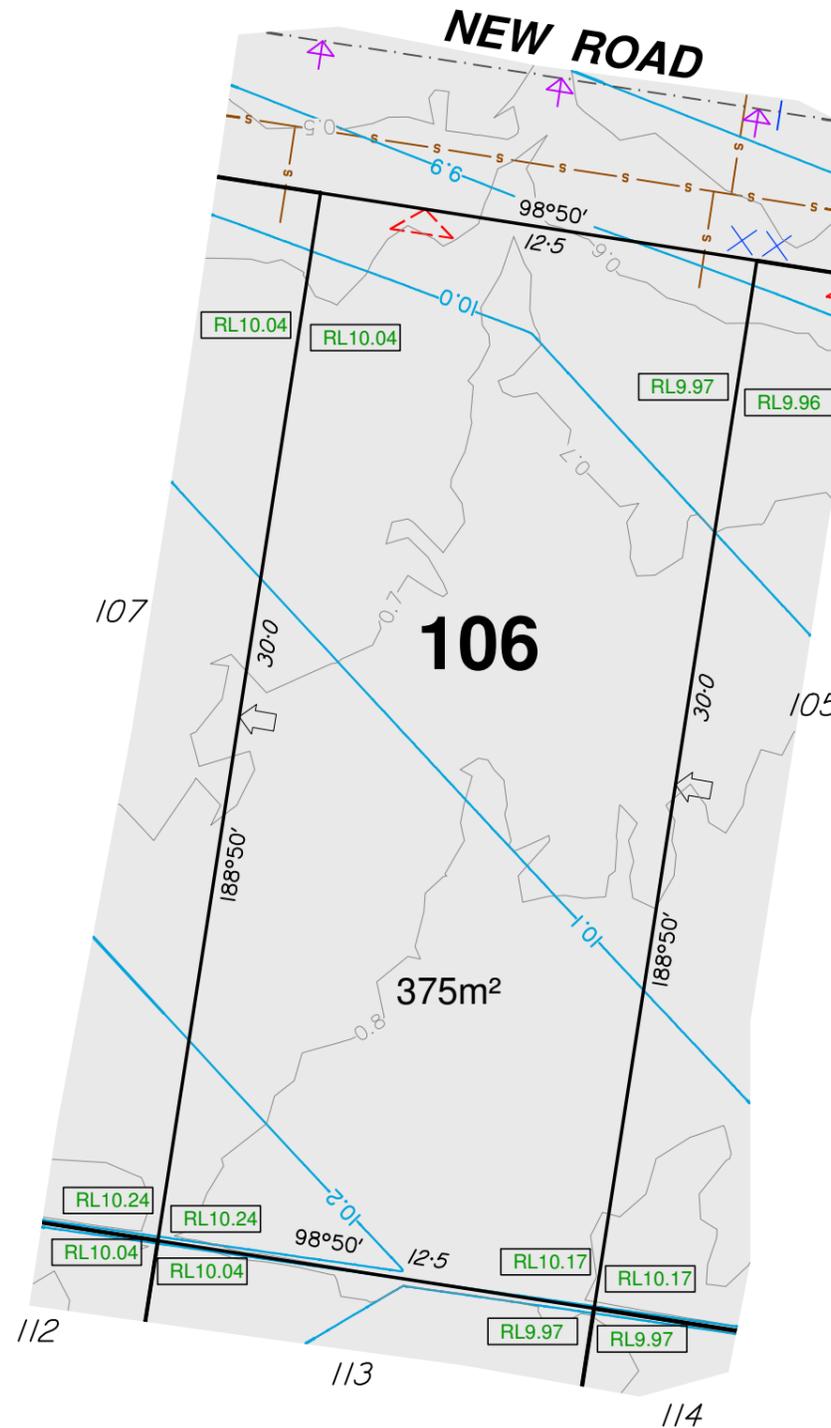
PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 106  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - Kerb Line
  - s - s Sewer/Sewer Manhole
  - sv - sv Stormwater/Stormwater Manhole/Pit
  - v - v Water/Water Meter
  - Stormwater Gully Trap
  - RV - RV Roofwater
  - Kerb Adapter
  - RL57.32 Area to be Filled  
Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

**PRELIMINARY**

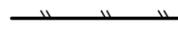
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-106 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 107  
Village Green - Stage 5

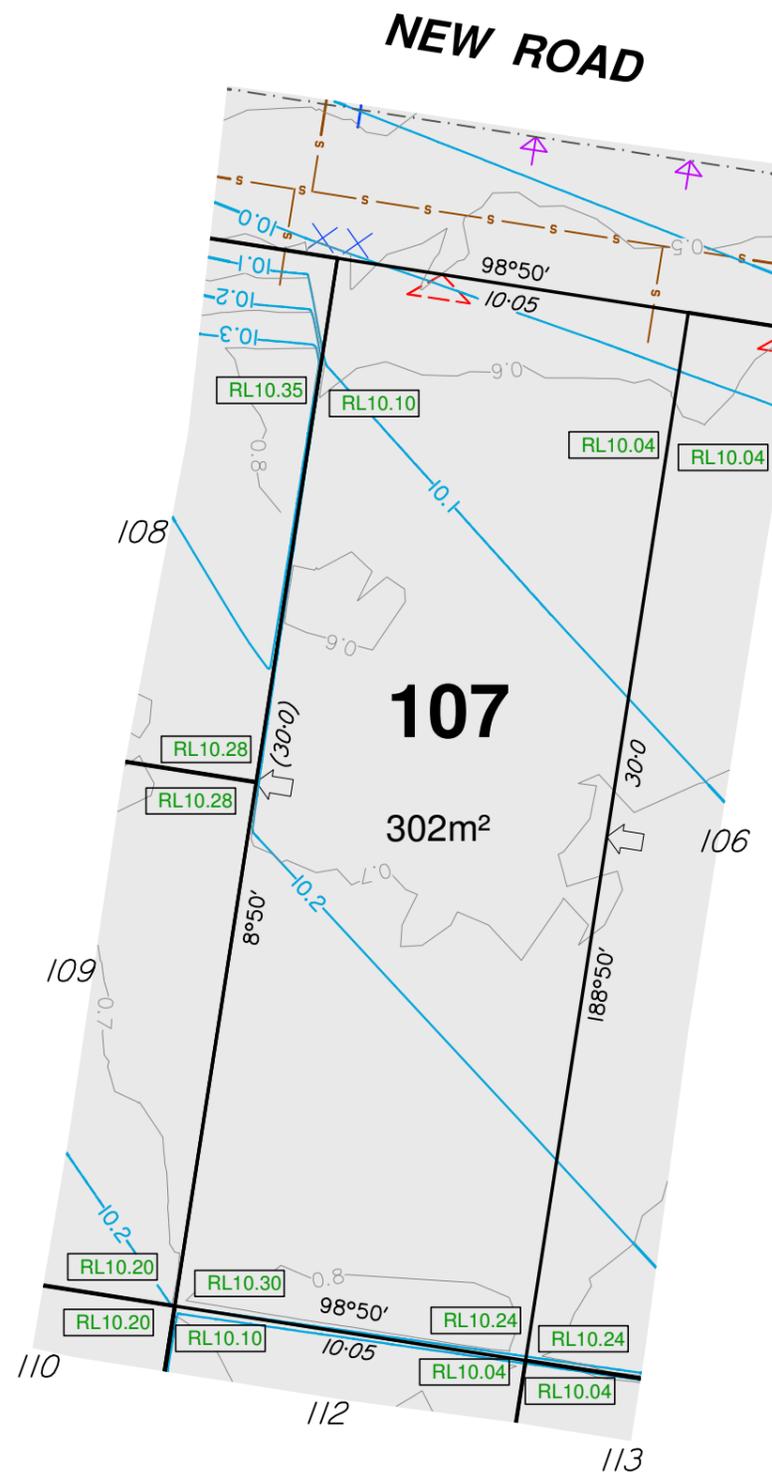
Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# PRELIMINARY



Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 27-02-2020	DRAWING NO. SS3787-05-01-107	VERSION A
--------------------------	---------------------------------	--------------

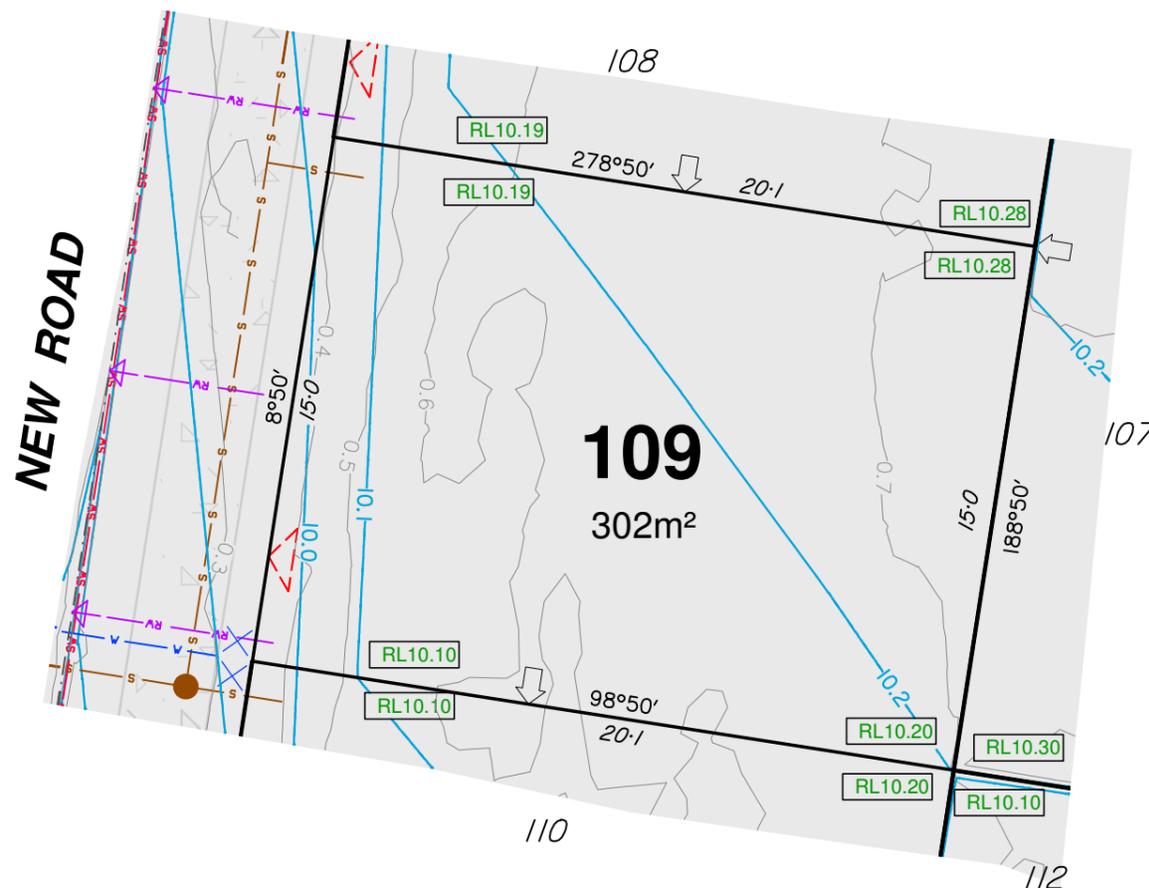


# DISCLOSURE PLAN

For Proposed Lot 109  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - RL57.32 Area to be Filled  
Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

**PRELIMINARY**

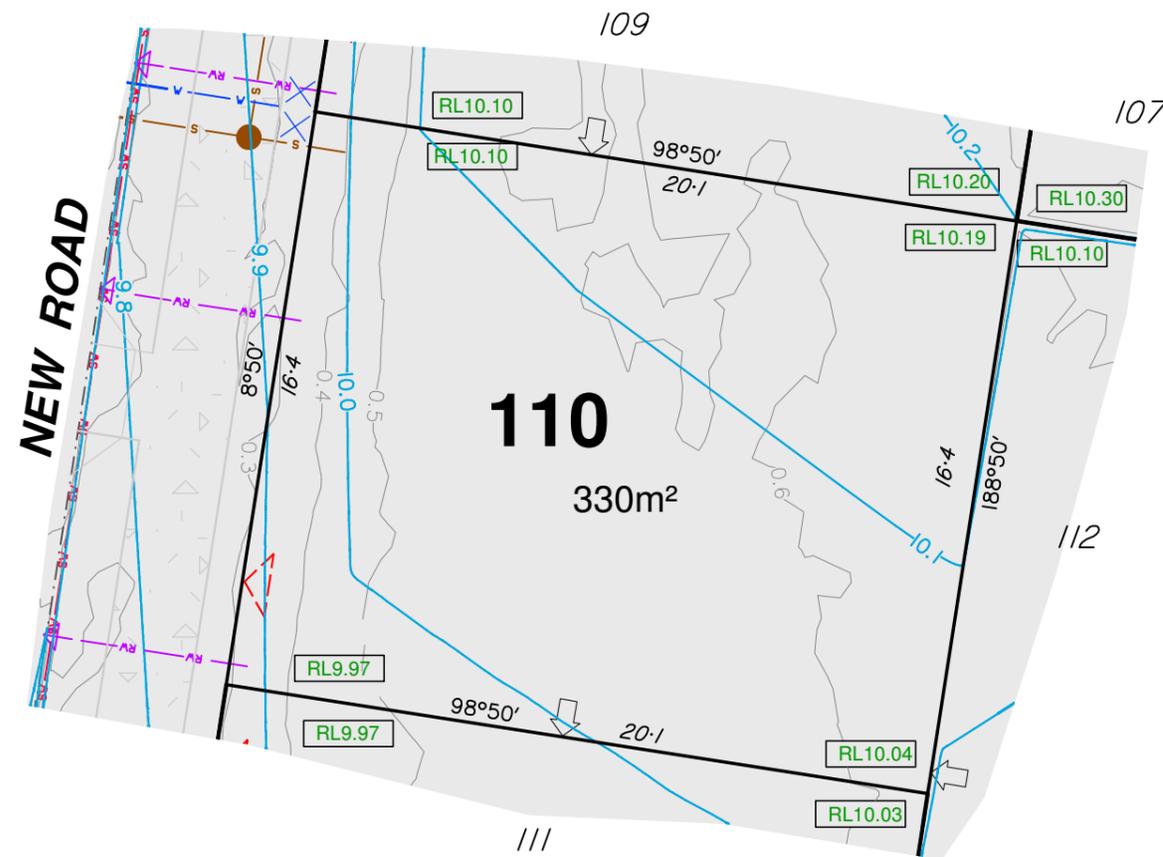
DATE DRAWN 27-02-2020 DRAWING NO. SS3787-05-01-109 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 110  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

**PRELIMINARY**

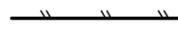
DATE DRAWN 23-07-2020 DRAWING NO. SS3787-05-01-110 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 111  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole/Pit
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

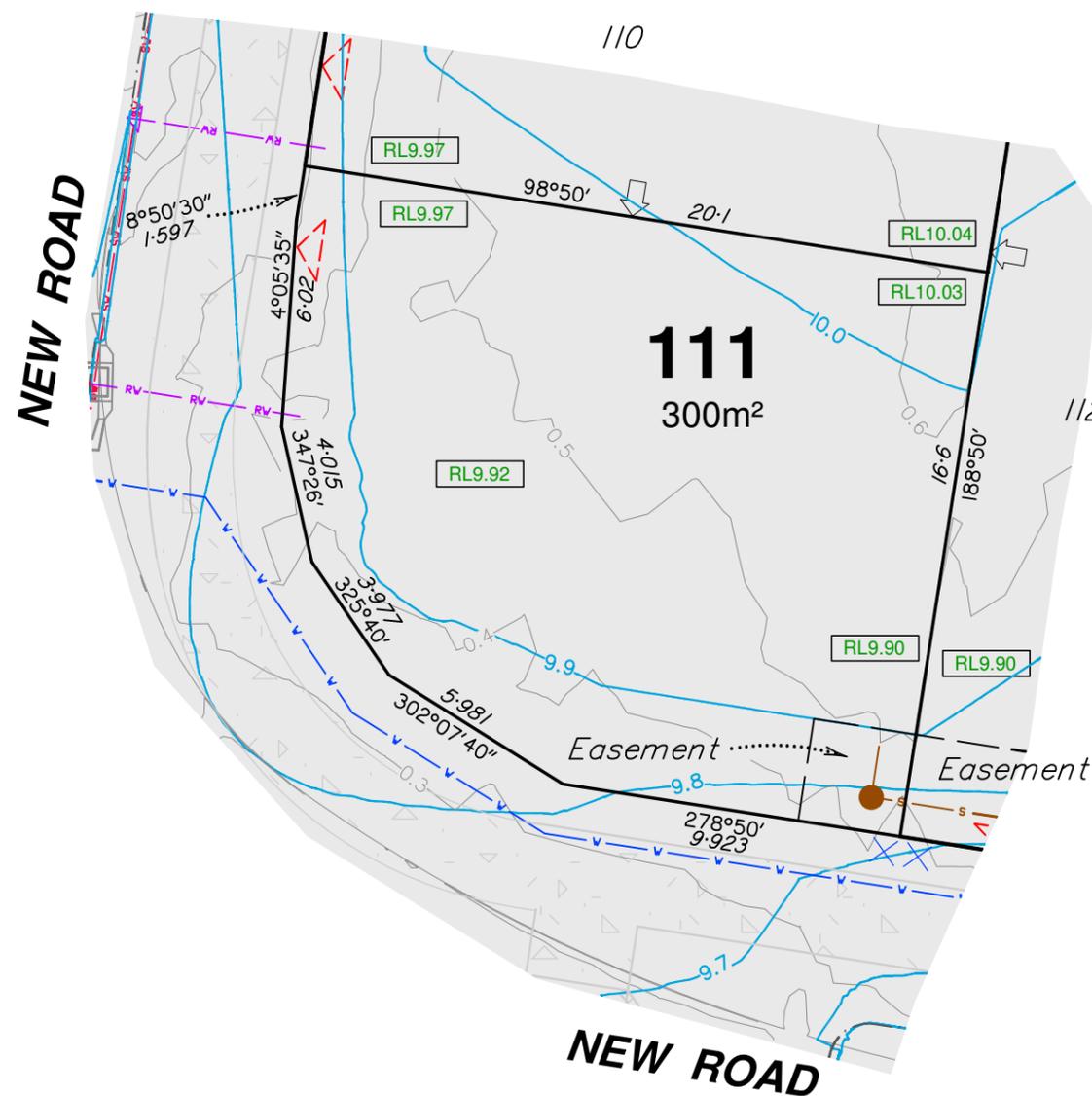
Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 25-08-2020 DRAWING NO. SS3787-05-01-111 VERSION C



PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 112  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

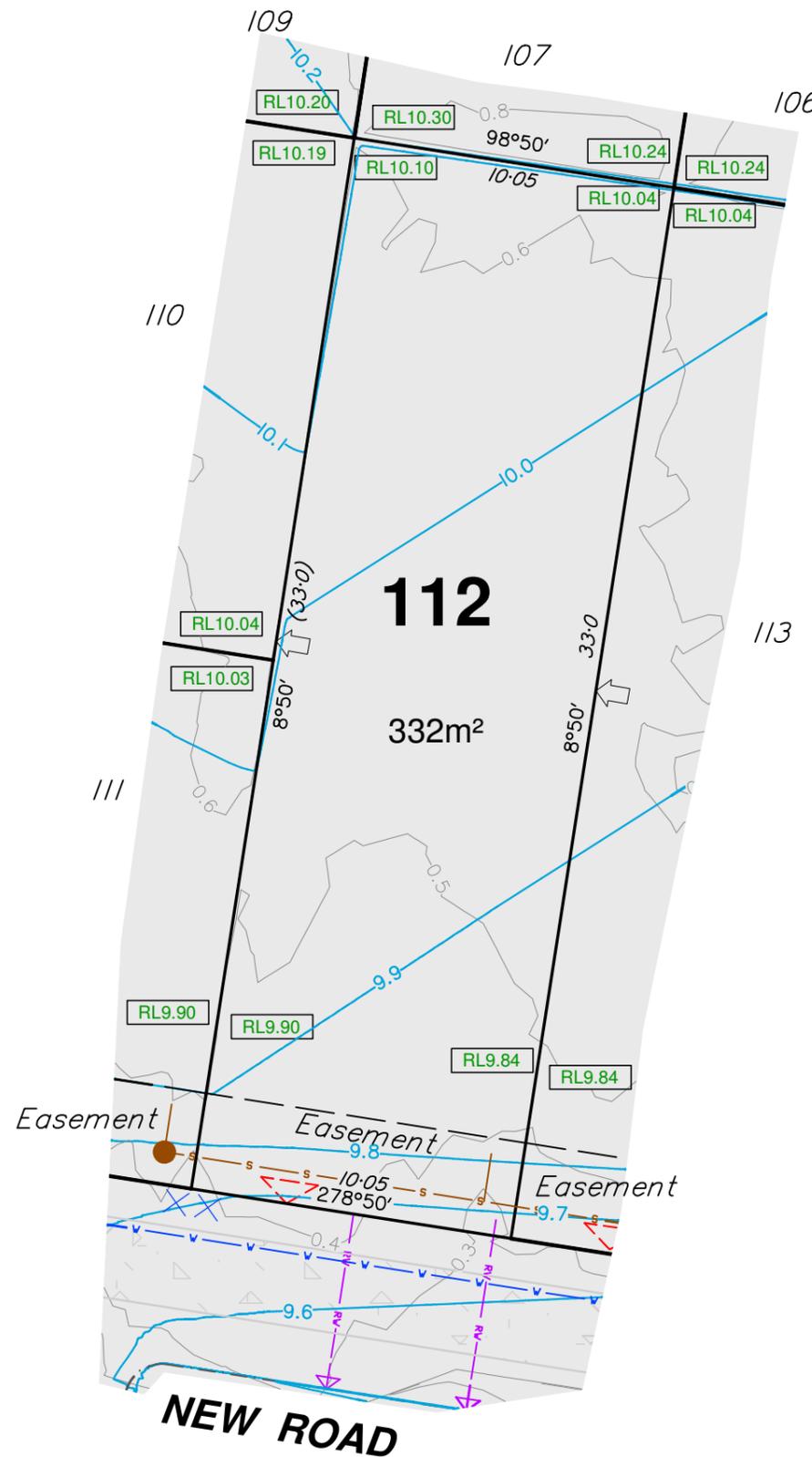
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 25-08-2020      DRAWING NO. SS3787-05-01-112      VERSION C



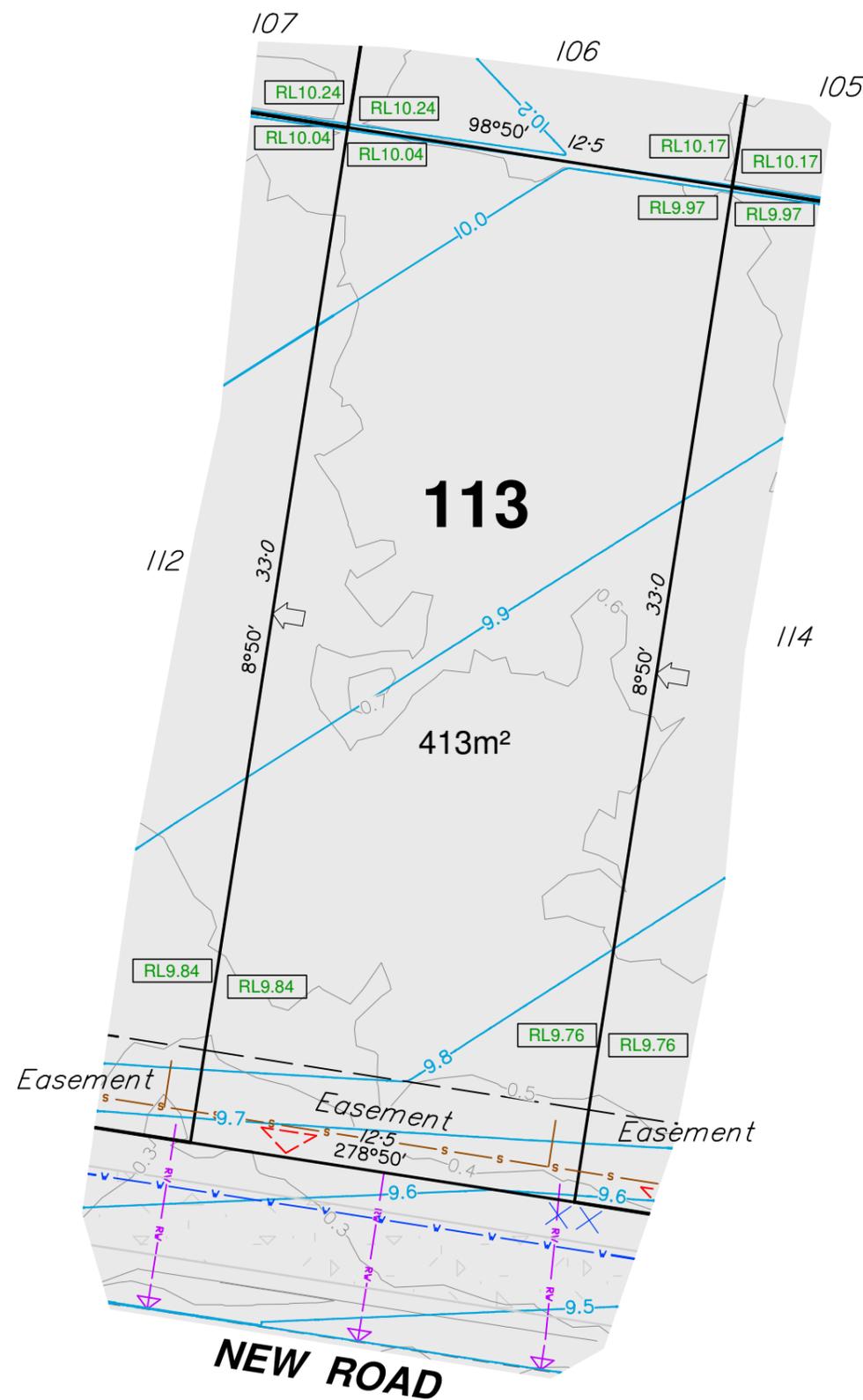
PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 113  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole/Pit
  - Water/Water Meter
  - Stormwater Gully Trap
  - Roofwater
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

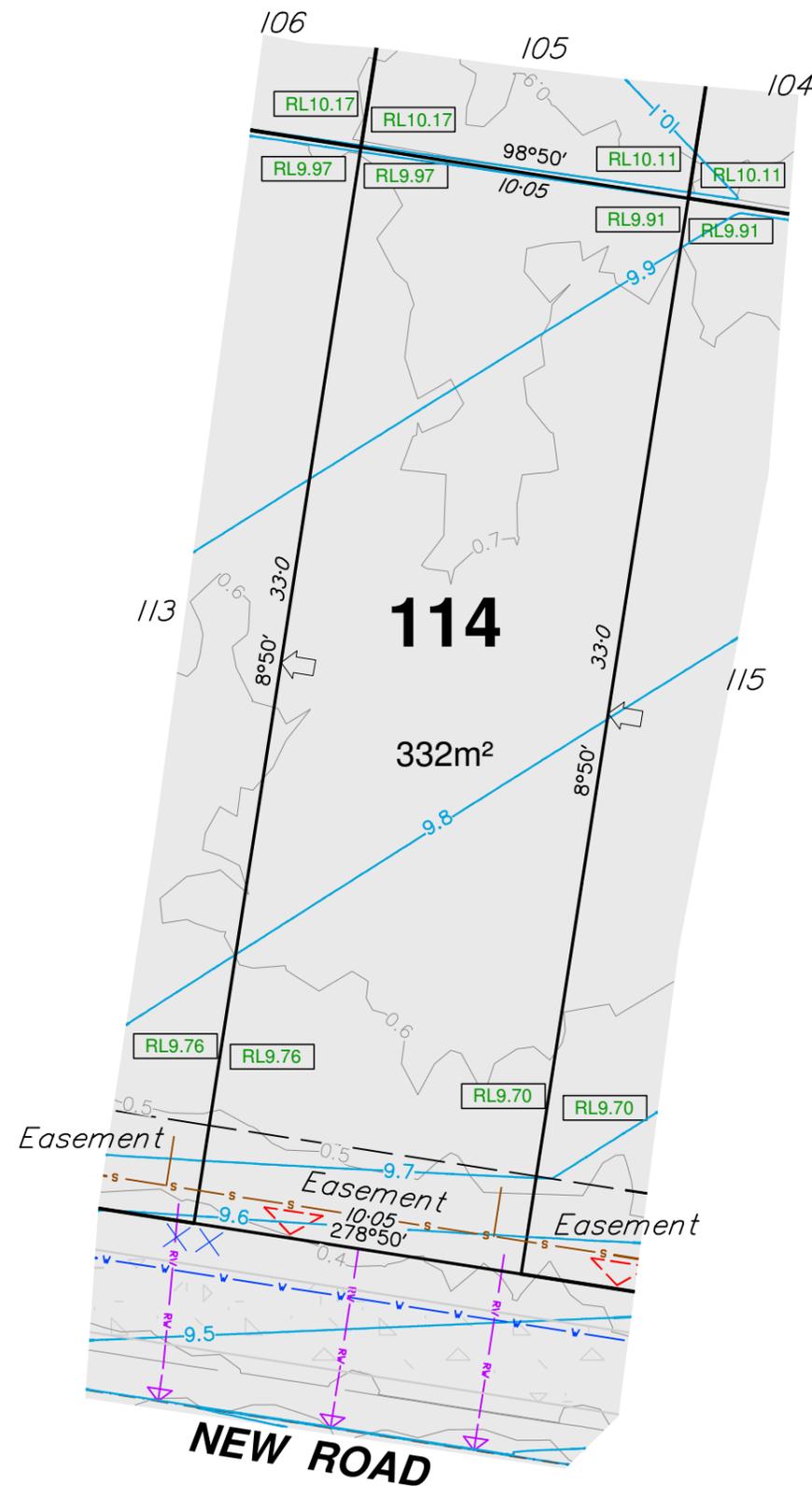
DATE DRAWN 01-09-2020 DRAWING NO. SS3787-05-01-113 VERSION D

# DISCLOSURE PLAN

For Proposed Lot 114  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - - - Kerb Line
  - s — s Sewer/Sewer Manhole
  - sv — sv Stormwater/Stormwater Manhole/Pit
  - v — v Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

**PRELIMINARY**

DATE DRAWN 25-08-2020 DRAWING NO. SS3787-05-01-114 VERSION C

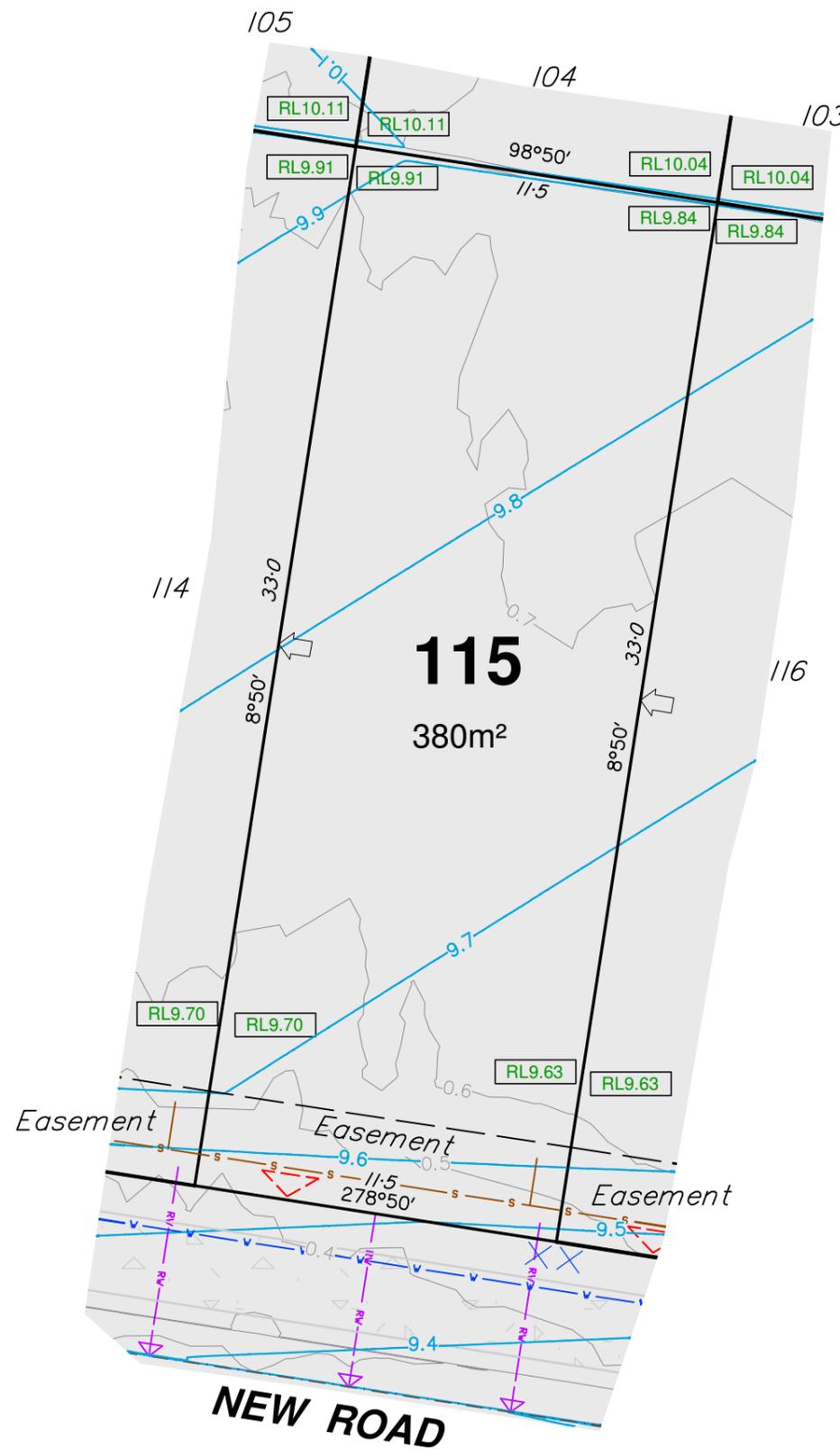
# DISCLOSURE PLAN

For Proposed Lot 115  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



**village**  
GREEN

**WOLTER**  
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 01-09-2020 DRAWING NO. SS3787-05-01-115 VERSION D

# DISCLOSURE PLAN

For Proposed Lot 116  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

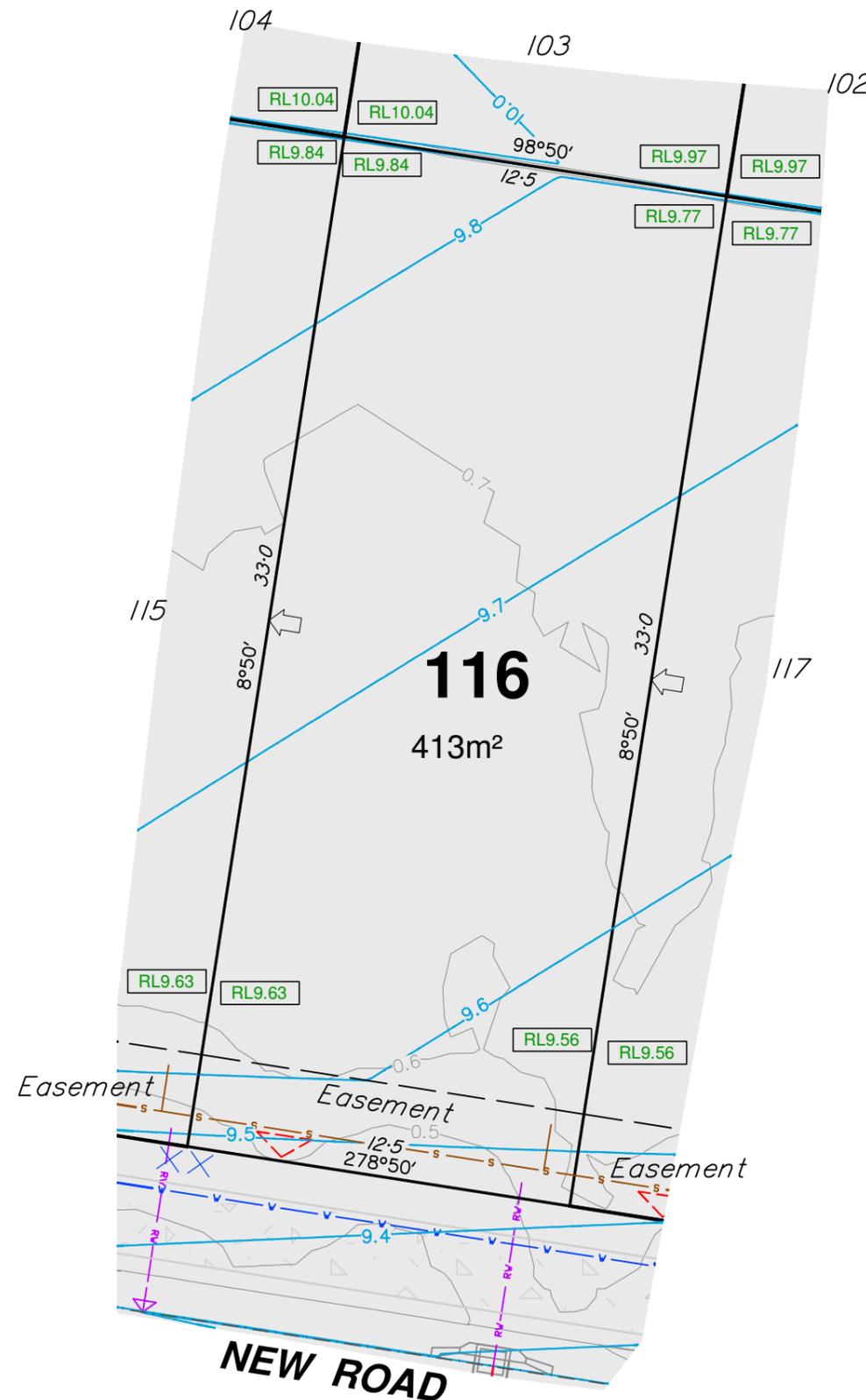
Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 25-08-2020      DRAWING NO. SS3787-05-01-116      VERSION C



PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 117  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - - - - - Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - RL57.32 Area to be Filled
  - RL9.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

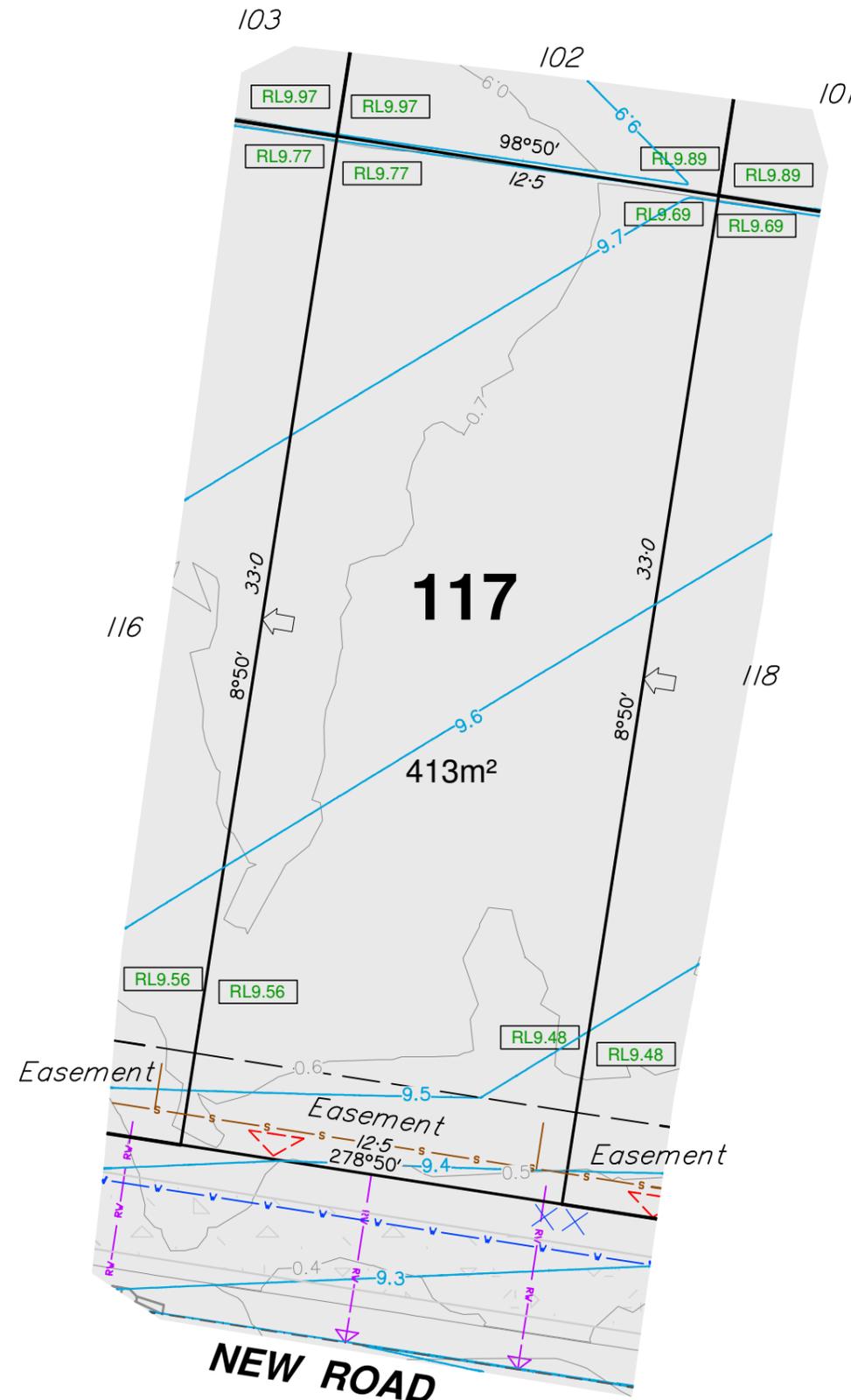
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 25-08-2020 DRAWING NO. SS3787-05-01-117 VERSION C



PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 118  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - RV — RV — Roofwater
  - Kerb Adapter
  - RL57.32 Area to be Filled
  - RL9.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

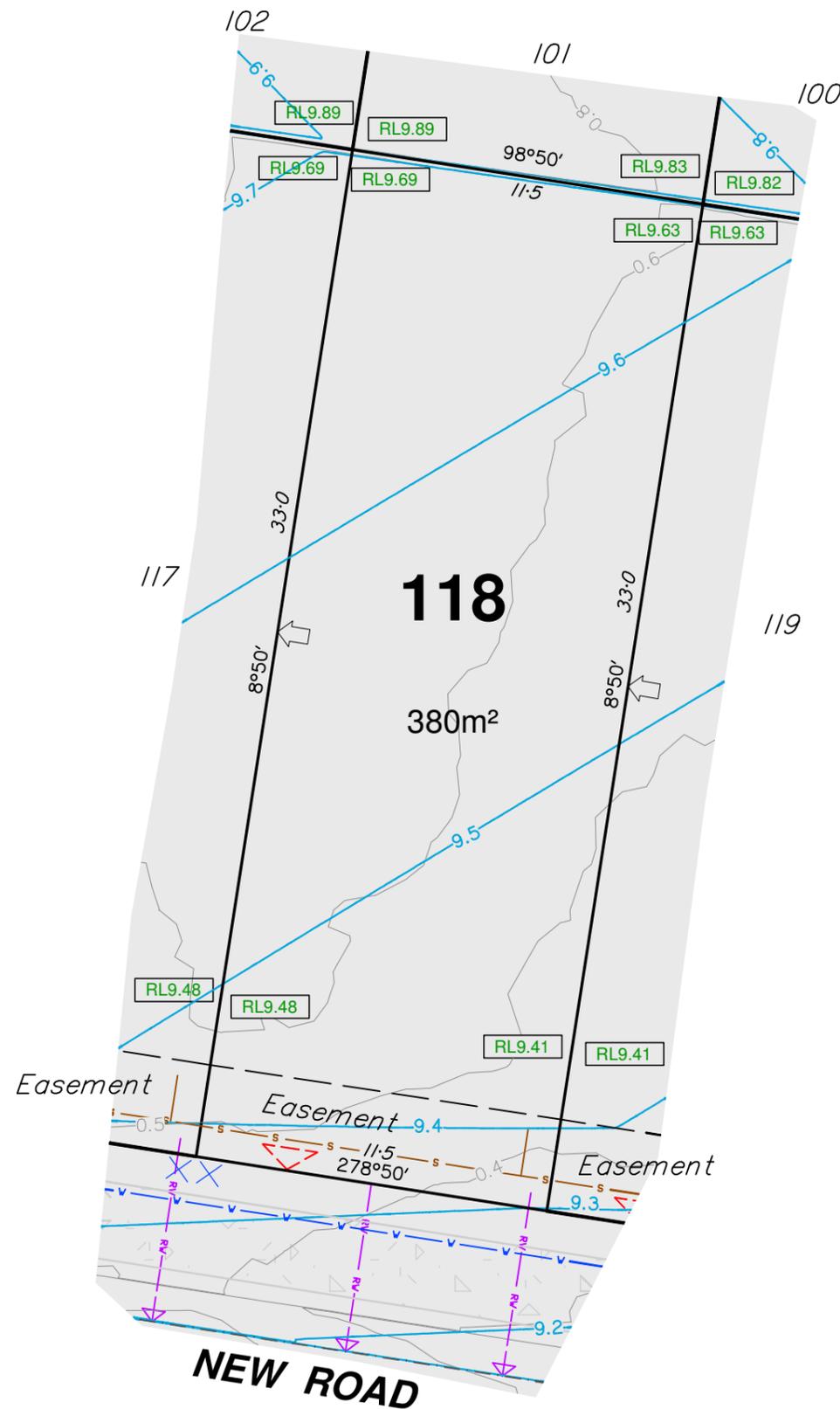
Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 25-08-2020 DRAWING NO. SS3787-05-01-118 VERSION C



PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 119  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole/Pit
  - Water/Water Meter
  - Stormwater Gully Trap
  - Roofwater
  - Kerb Adapter
  - Area to be Filled
  - Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

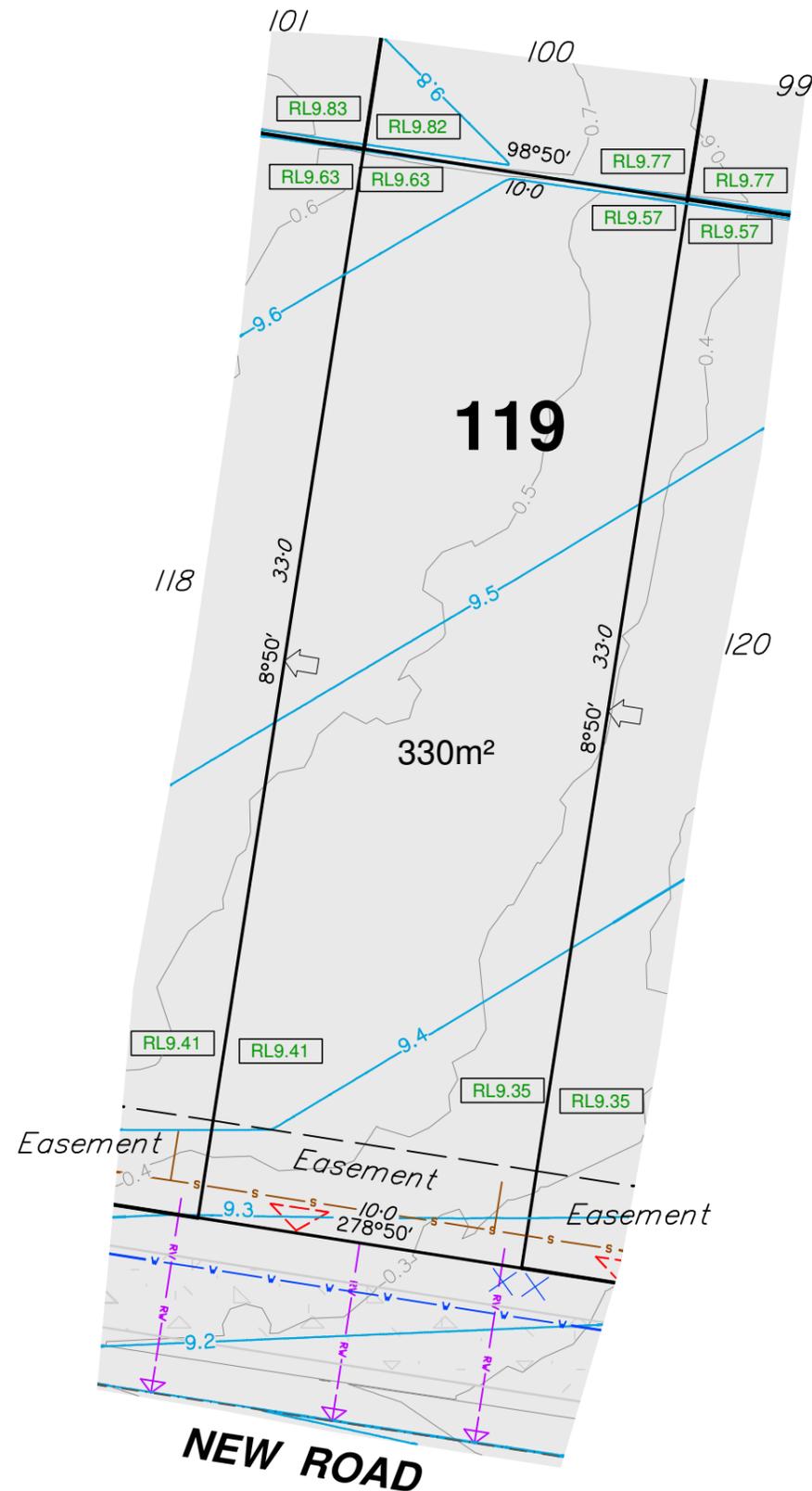
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 25-08-2020 DRAWING NO. SS3787-05-01-119 VERSION C



PRELIMINARY

# DISCLOSURE PLAN

For Proposed Lot 120  
Village Green - Stage 5

Currently Described As  
RPD: Part of Lot 1 on SP288657  
Locality: Palmview  
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.1m Interval)
  - — — — — Easement Boundary
  - · — · — · — Kerb Line
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole/Pit
  - v — v — Water/Water Meter
  - Stormwater Gully Trap
  - rv — rv — Roofwater
  - Kerb Adapter
  - RL57.32 Area to be Filled
  - RL9.32 Design Pad Level
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Acoustic Fence (installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

**village**  
GREEN

**WOLTER**  
consulting group

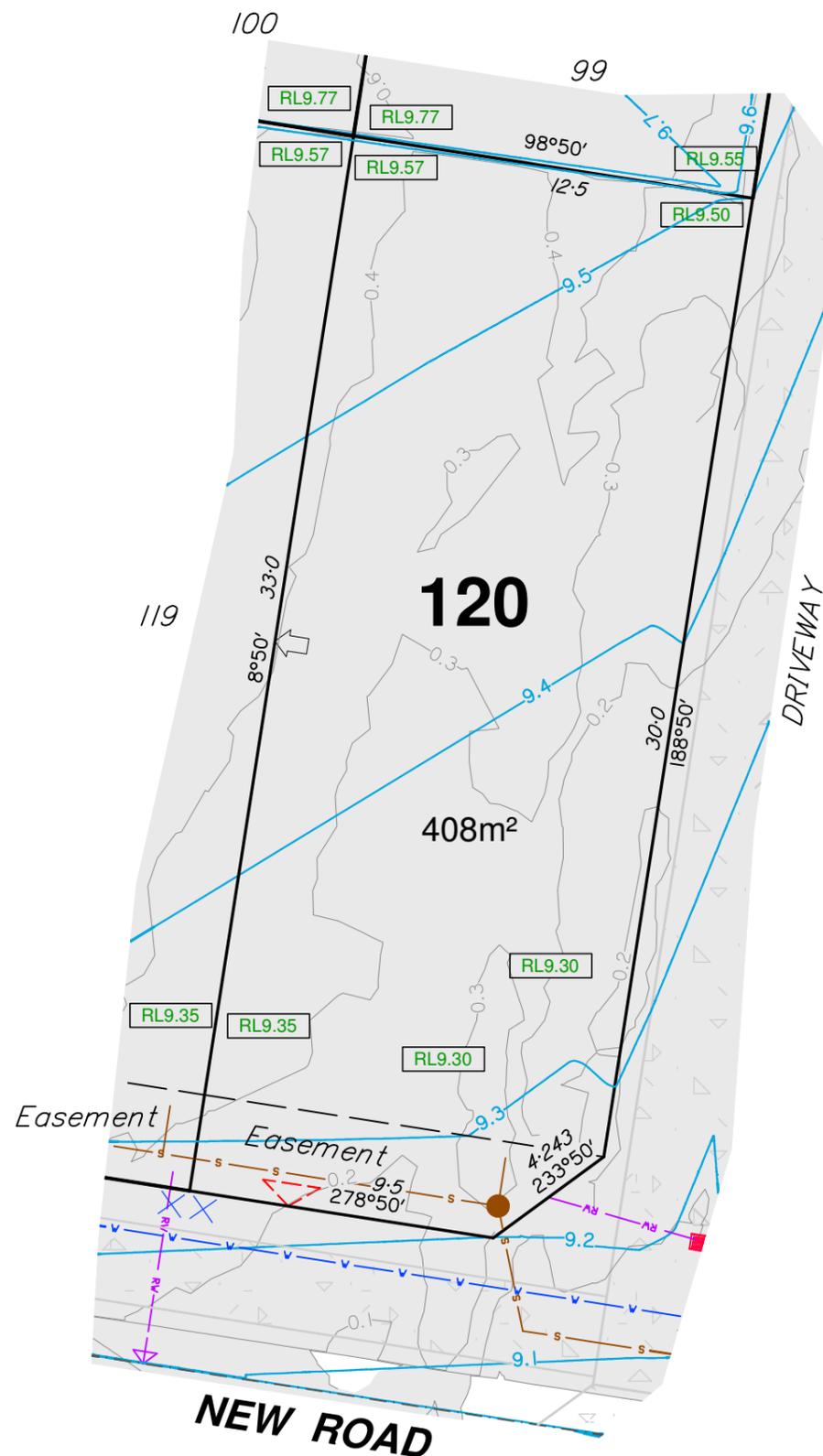
Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 25-08-2020      DRAWING NO. SS3787-05-01-120      VERSION C



**PRELIMINARY**