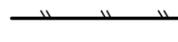


DISCLOSURE PLAN

For Proposed Lot 1
Village Green - Stage 1

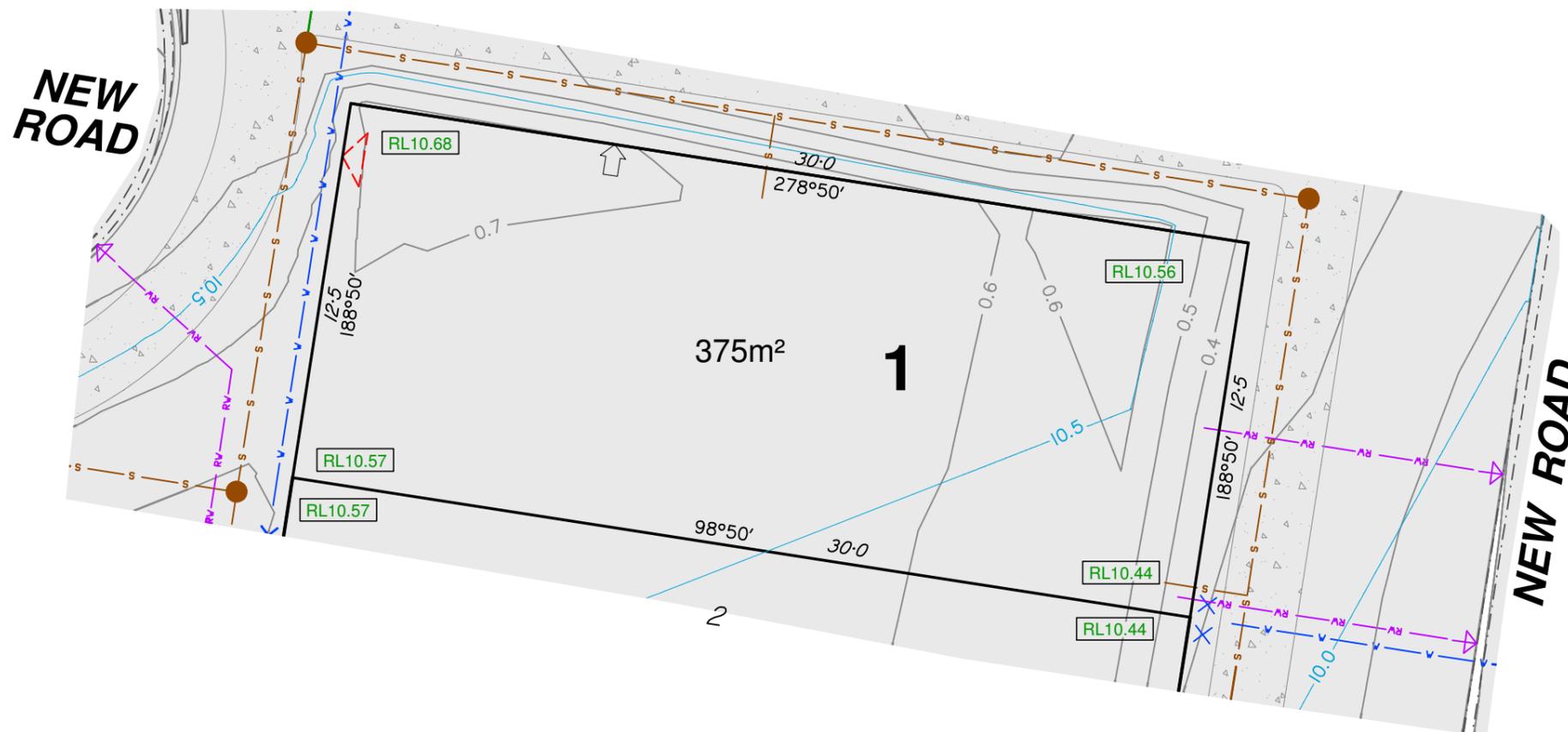
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

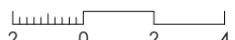


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  Urban Design
  Landscape
  Environment
  Surveying

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MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-1 VERSION C

DISCLOSURE PLAN

For Proposed Lot 2
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
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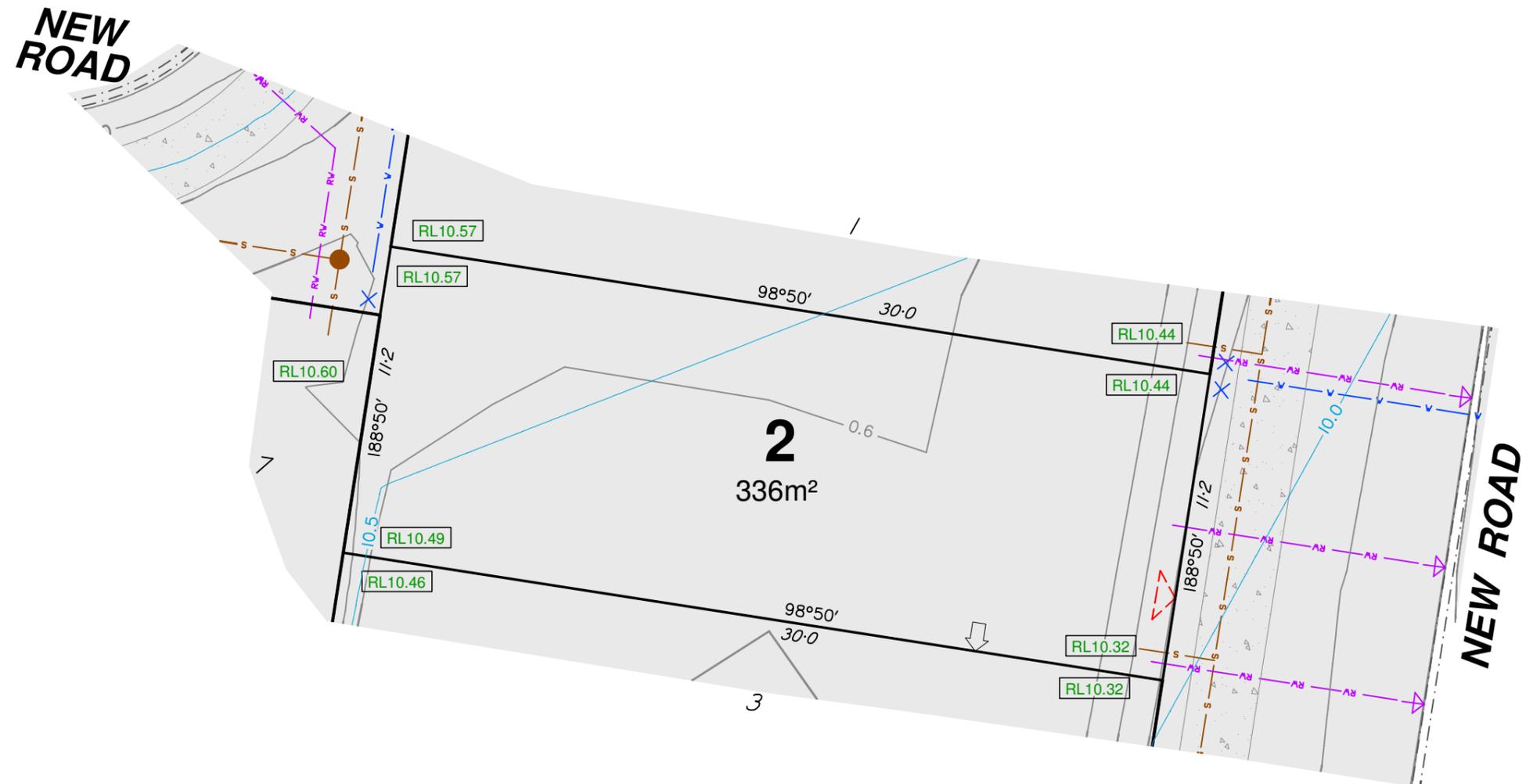
Planning
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 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-2 VERSION C

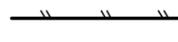


DISCLOSURE PLAN

For Proposed Lot 3
Village Green - Stage 1

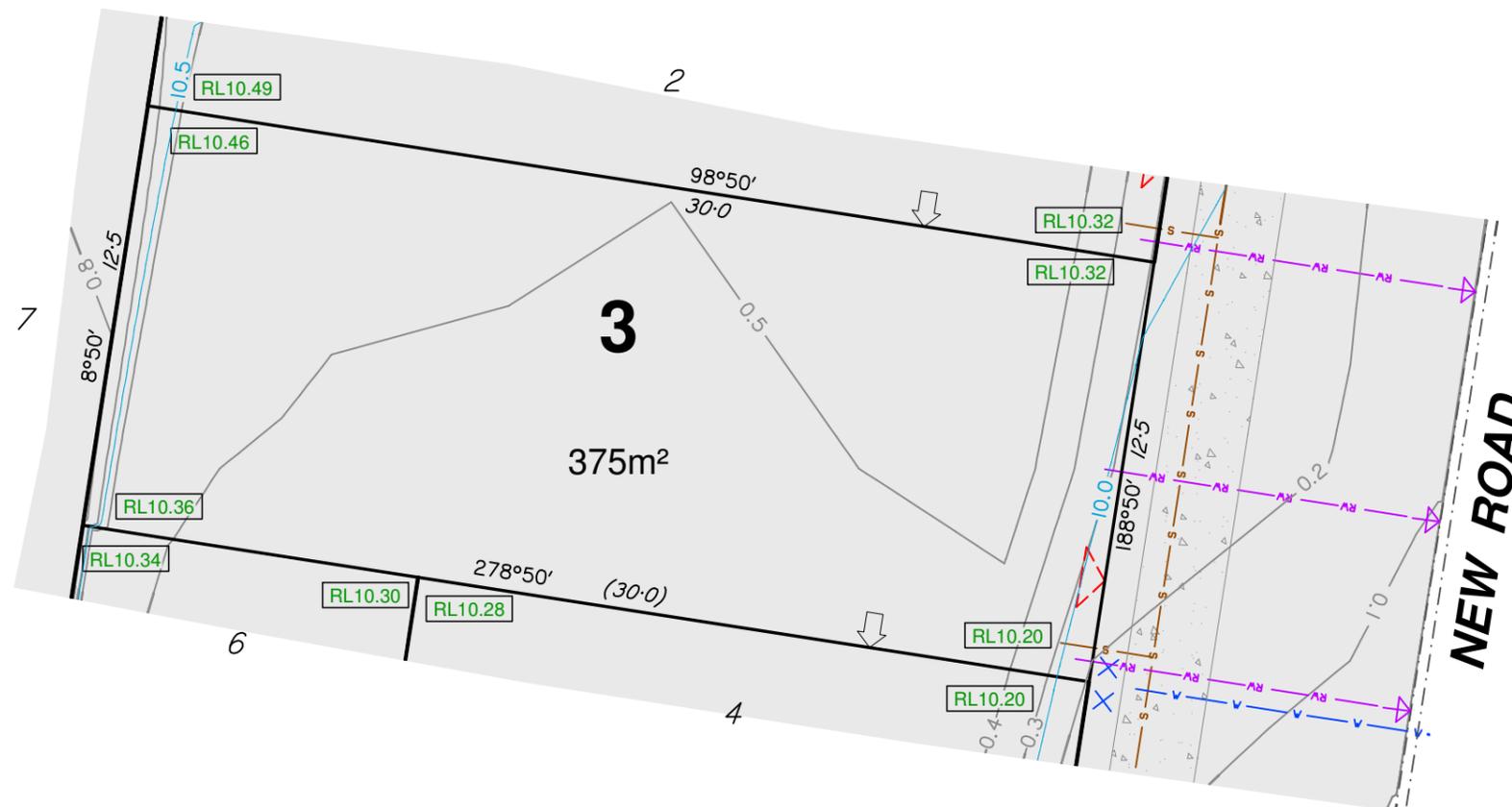
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

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LEVEL DATUM
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DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-3 VERSION C

DISCLOSURE PLAN

For Proposed Lot 4
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
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- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

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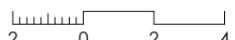
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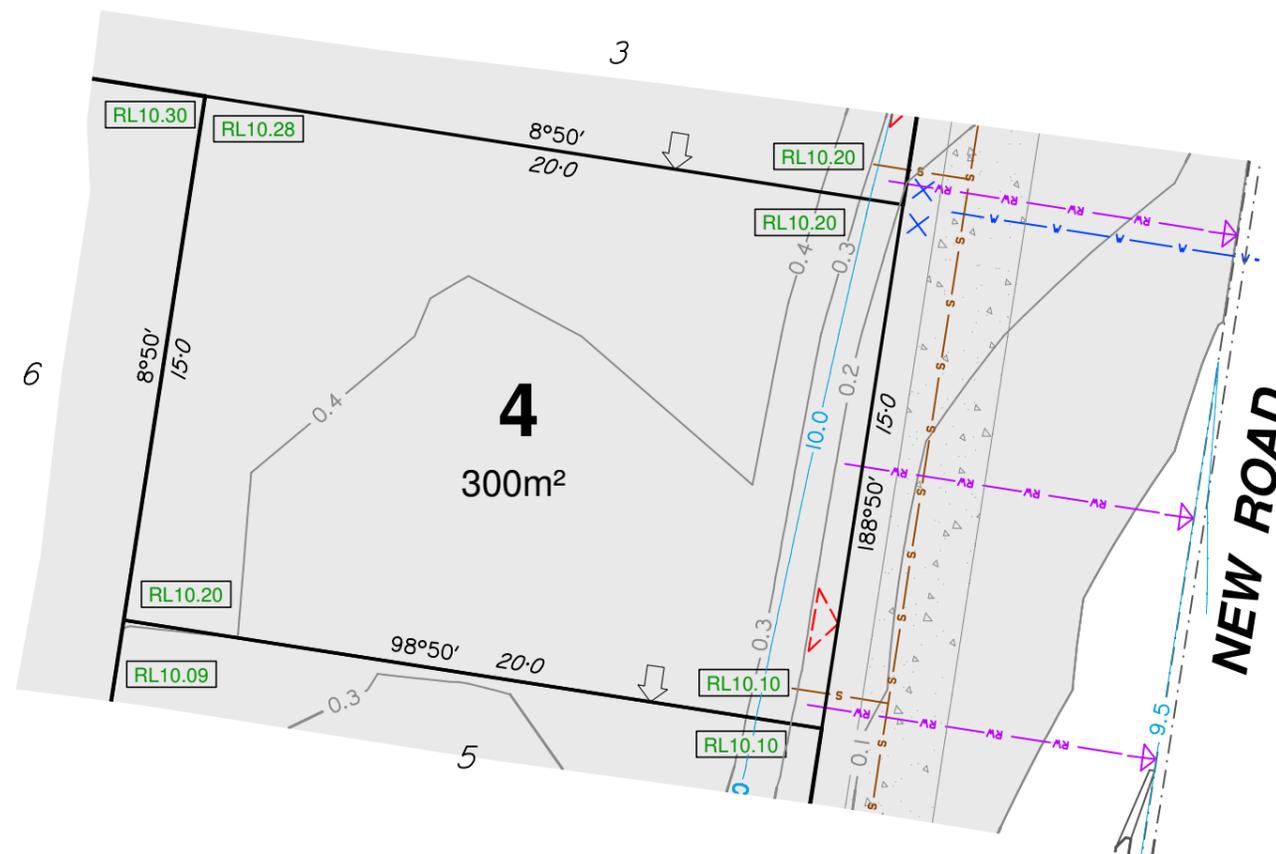
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-4 | VERSION C |
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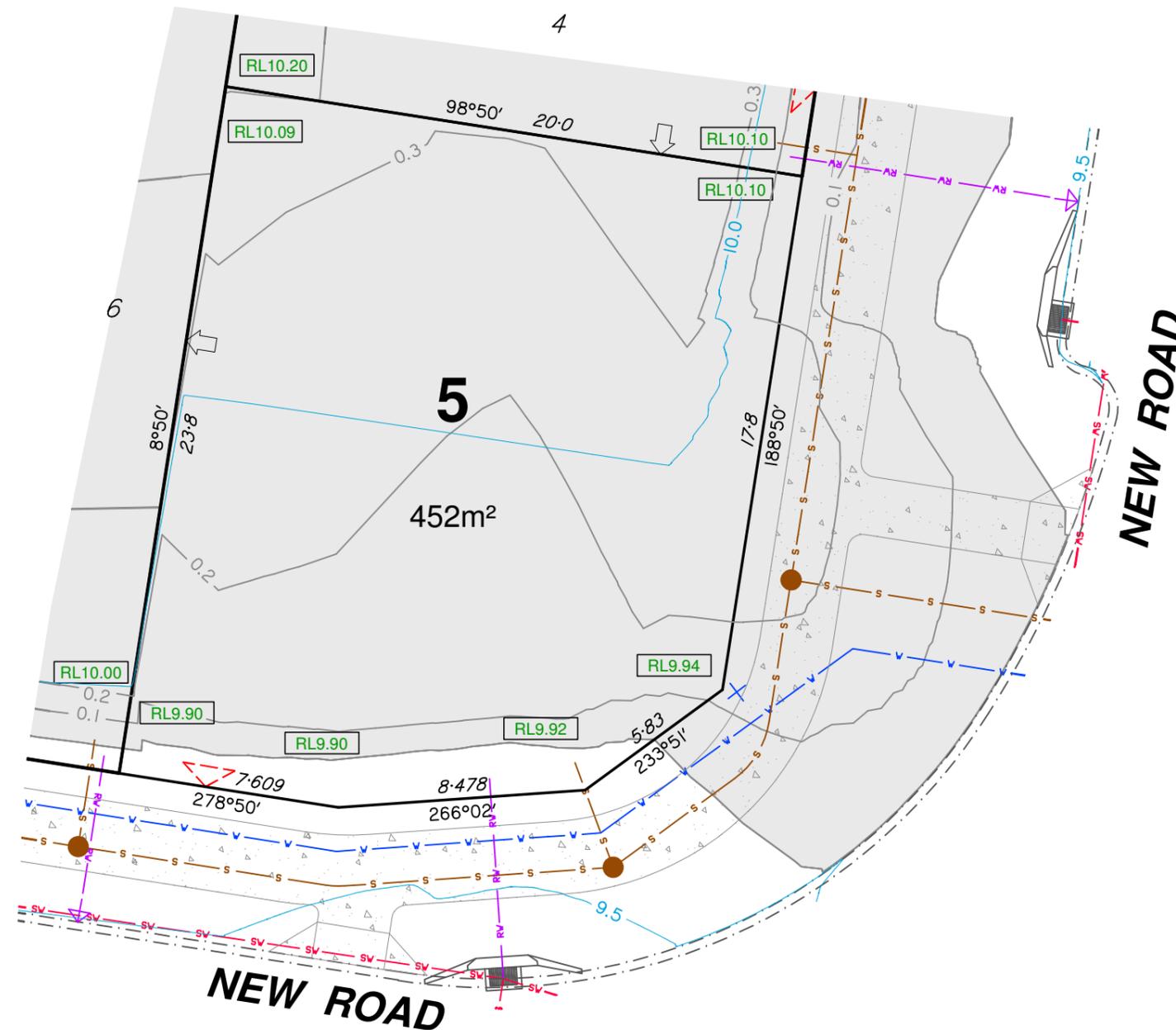


DISCLOSURE PLAN

For Proposed Lot 5
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.5m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 - v — v Water/Water Meter
 - Stormwater Gully Trap
 - rv — rv Roofwater
 - Kerb Adapter
 - RL57.32 Area to be Filled
 - RL57.32 Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (installed by Developer)



- Notes:**
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-5 VERSION C

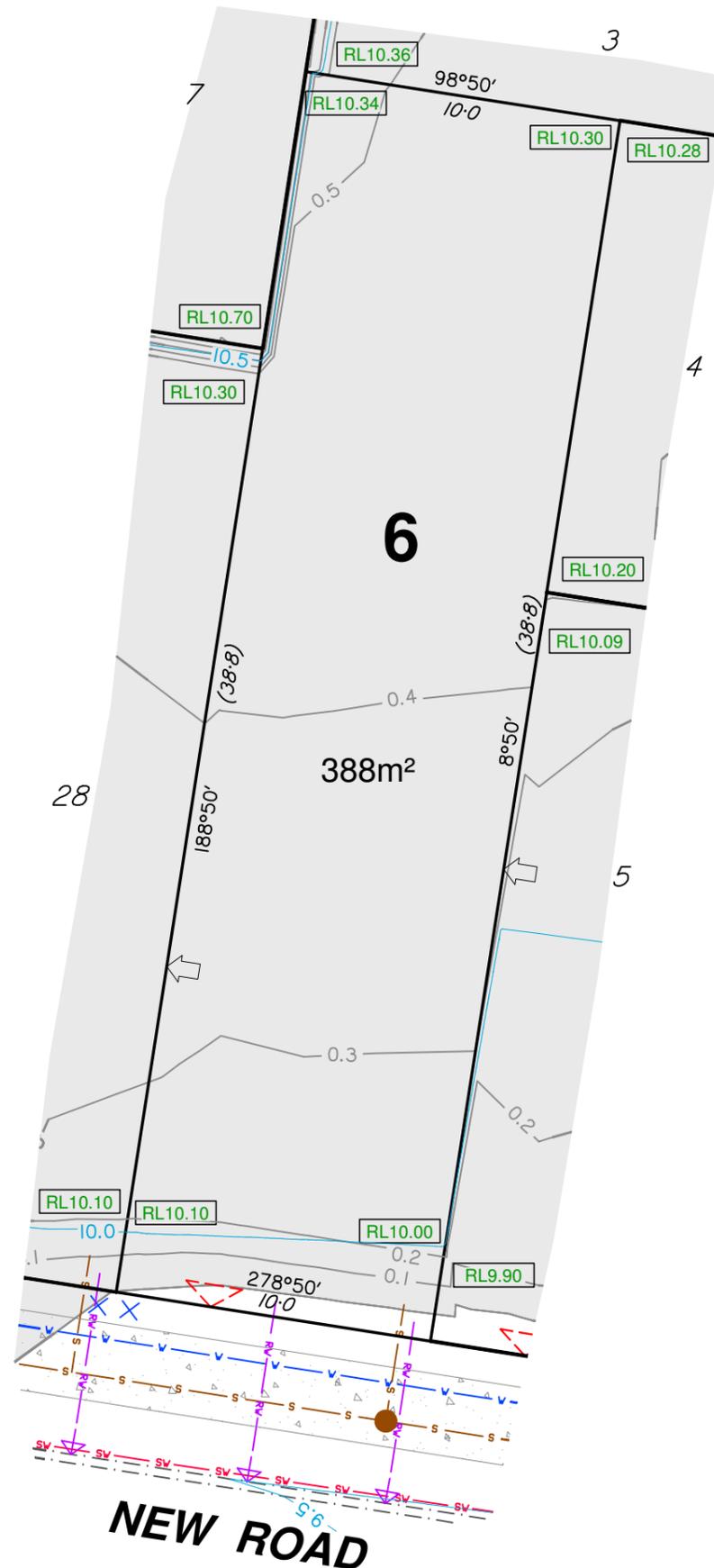
DISCLOSURE PLAN

For Proposed Lot 6
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
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 - Sewer/Sewer Manhole
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 - Roofwater
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 - Design Pad Level
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 - 1.8m High Acoustic Fence (installed by Developer)

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HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-6 VERSION C

DISCLOSURE PLAN

For Proposed Lot 7
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
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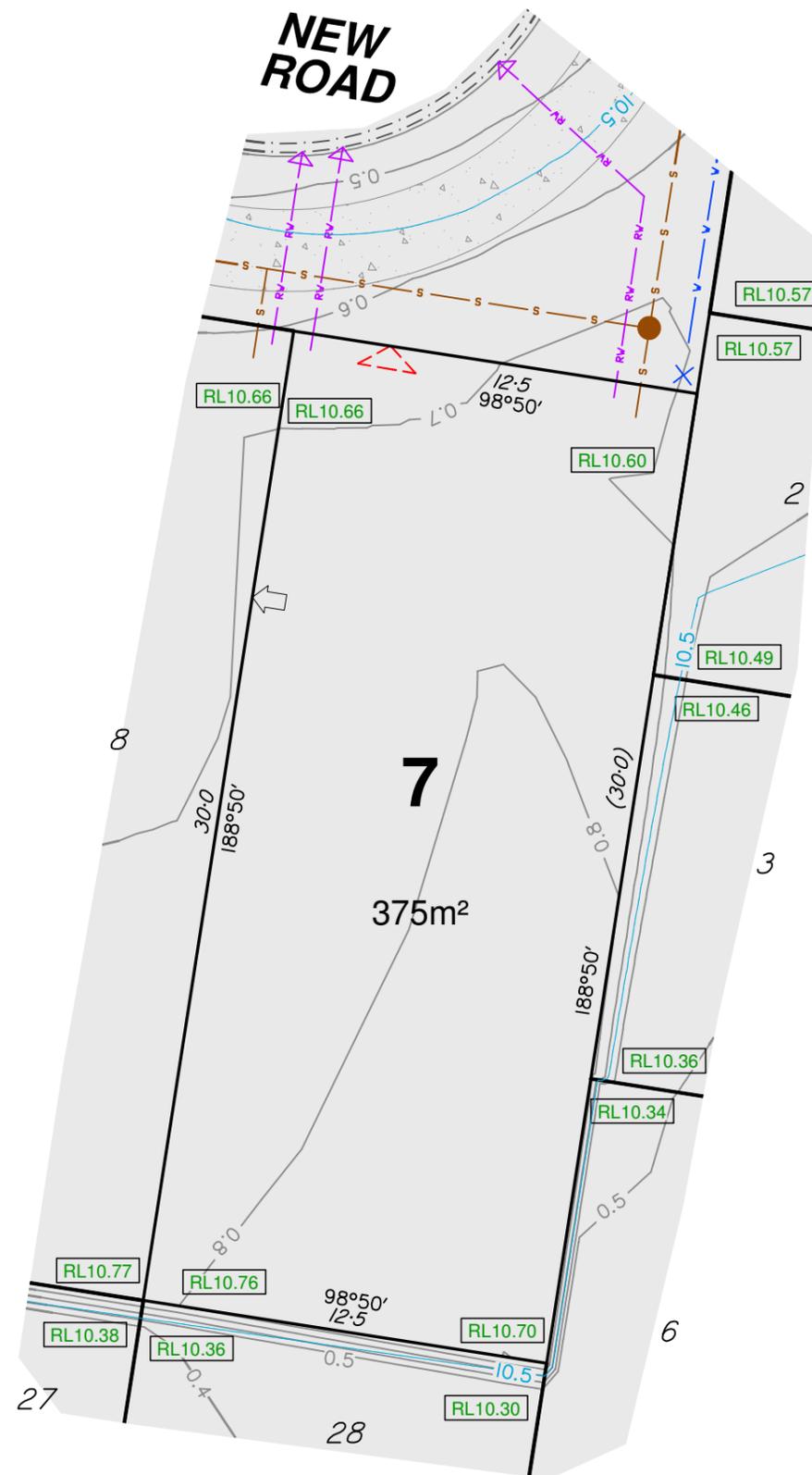
Planning
 Urban Design
 Landscape
 Environment
 Surveying

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MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-7 VERSION C

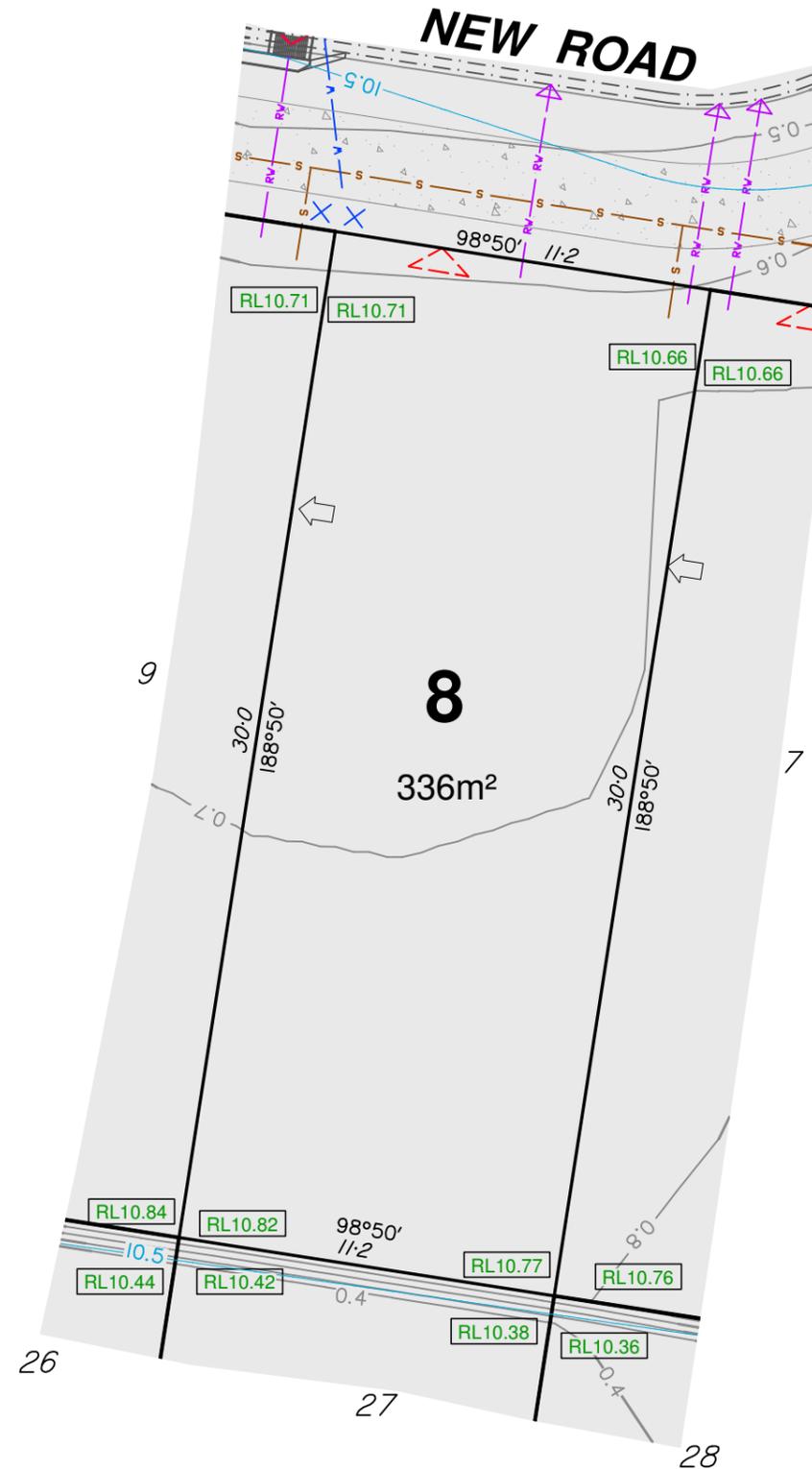


DISCLOSURE PLAN

For Proposed Lot 8
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- Finished Surface Contours (0.5m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
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LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-8 VERSION C

DISCLOSURE PLAN

For Proposed Lot 9
Village Green - Stage 1

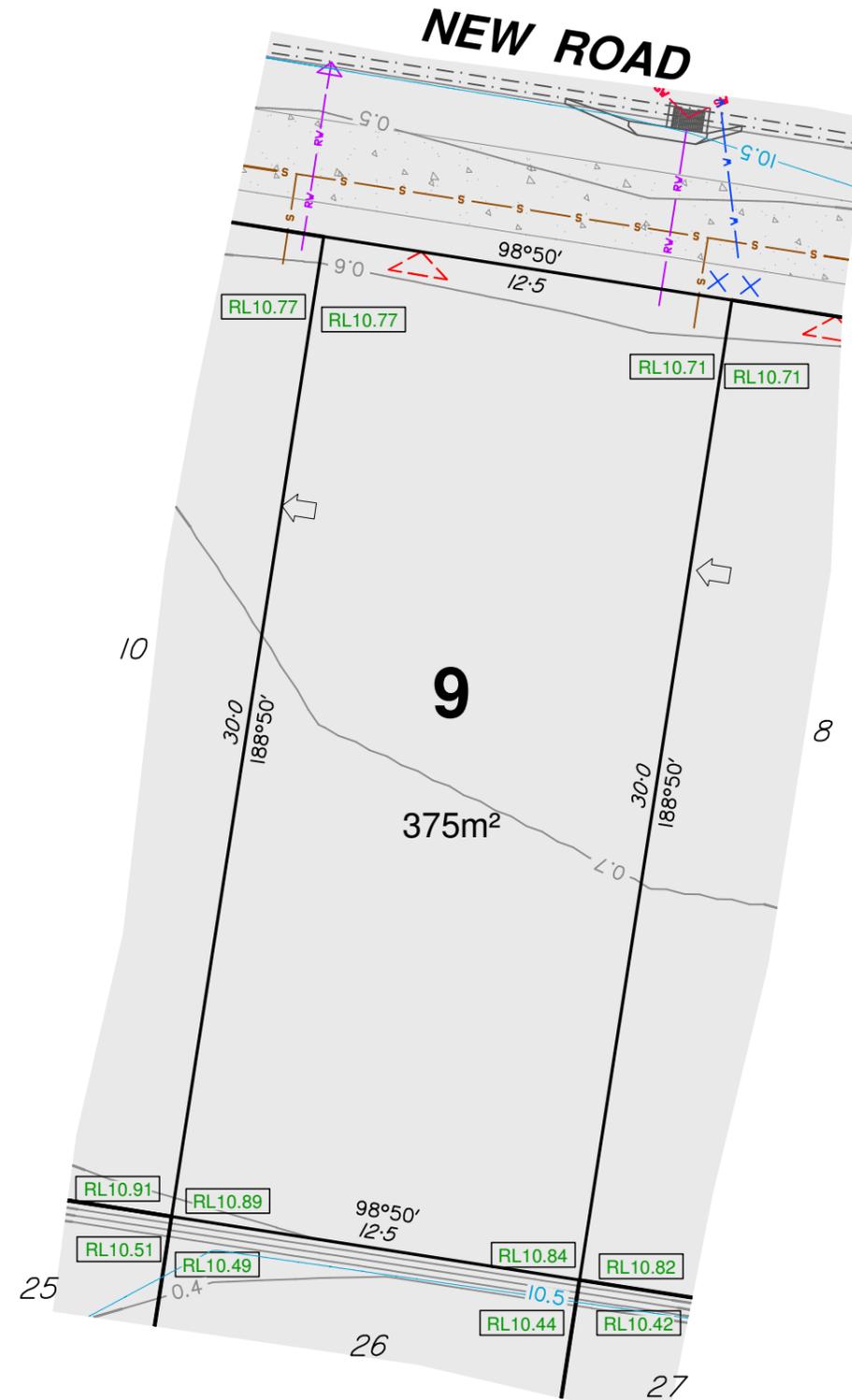
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — Sewer/Sewer Manhole
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- v — Water/Water Meter
- Stormwater Gully Trap
- RV — Roofwater
- ➔ Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
- ▾ Proposed Driveway
- ◀ Zero Lot Line Boundary
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Scale 1:200 @A3

LEVEL DATUM
AHD.

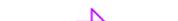
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-9 | VERSION C |
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DISCLOSURE PLAN

For Proposed Lot 10
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
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-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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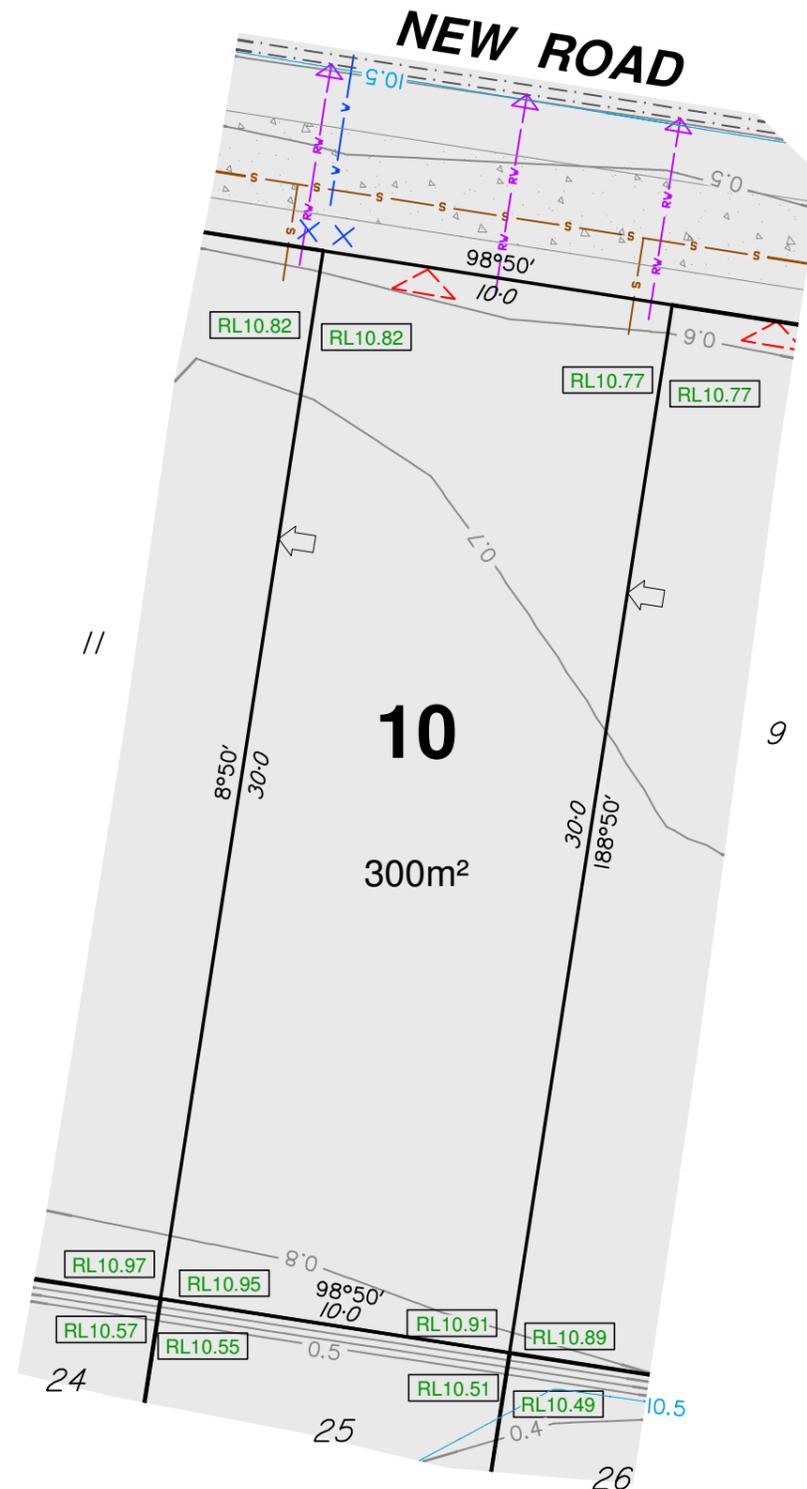
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  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-10 VERSION C

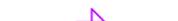


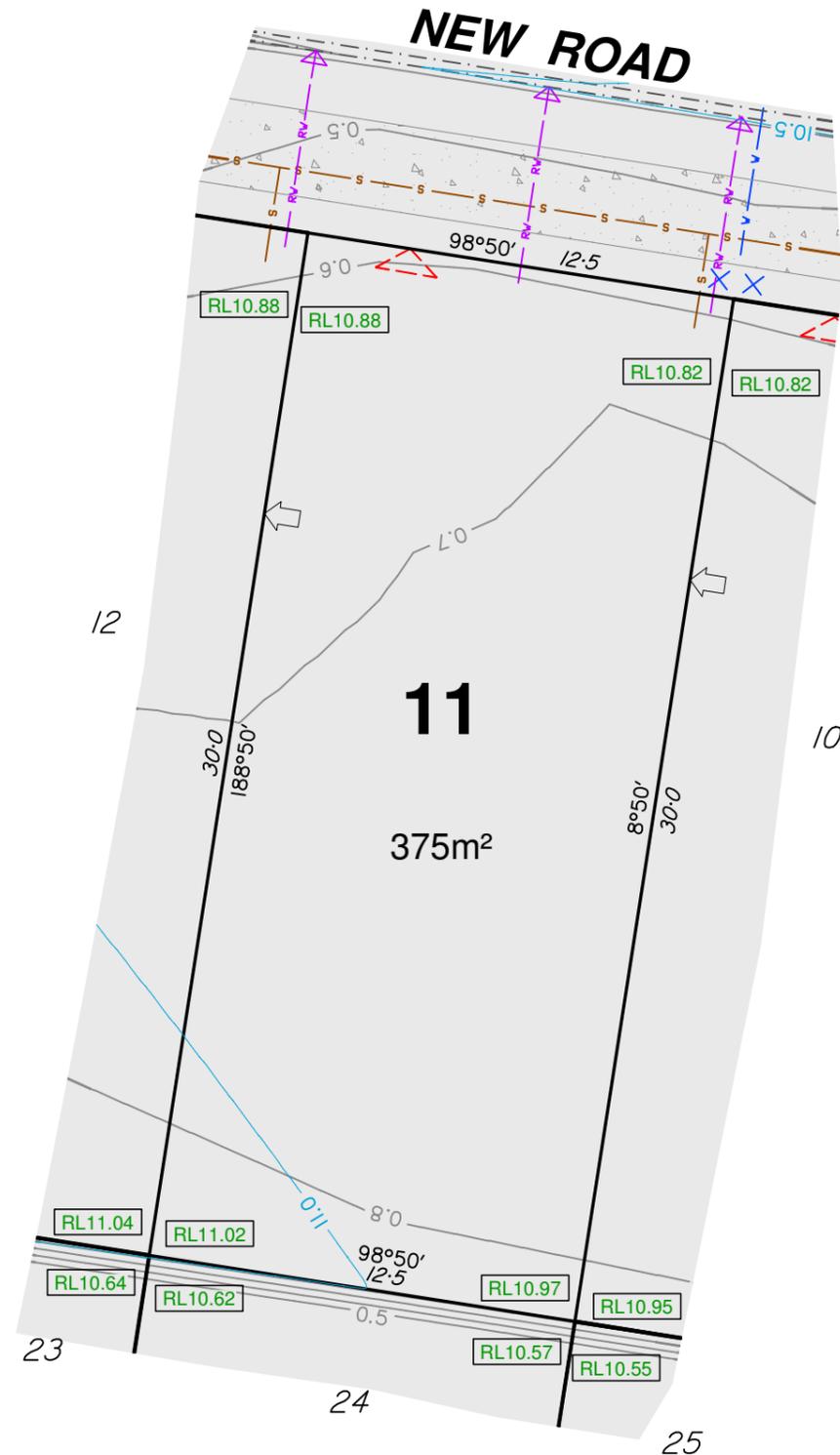
DISCLOSURE PLAN

For Proposed Lot 11
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
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-  Area to be Filled
-  Design Pad Level
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 Scale 1:200 @A3

LEVEL DATUM
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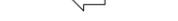
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DISCLOSURE PLAN

For Proposed Lot 13
Village Green - Stage 1

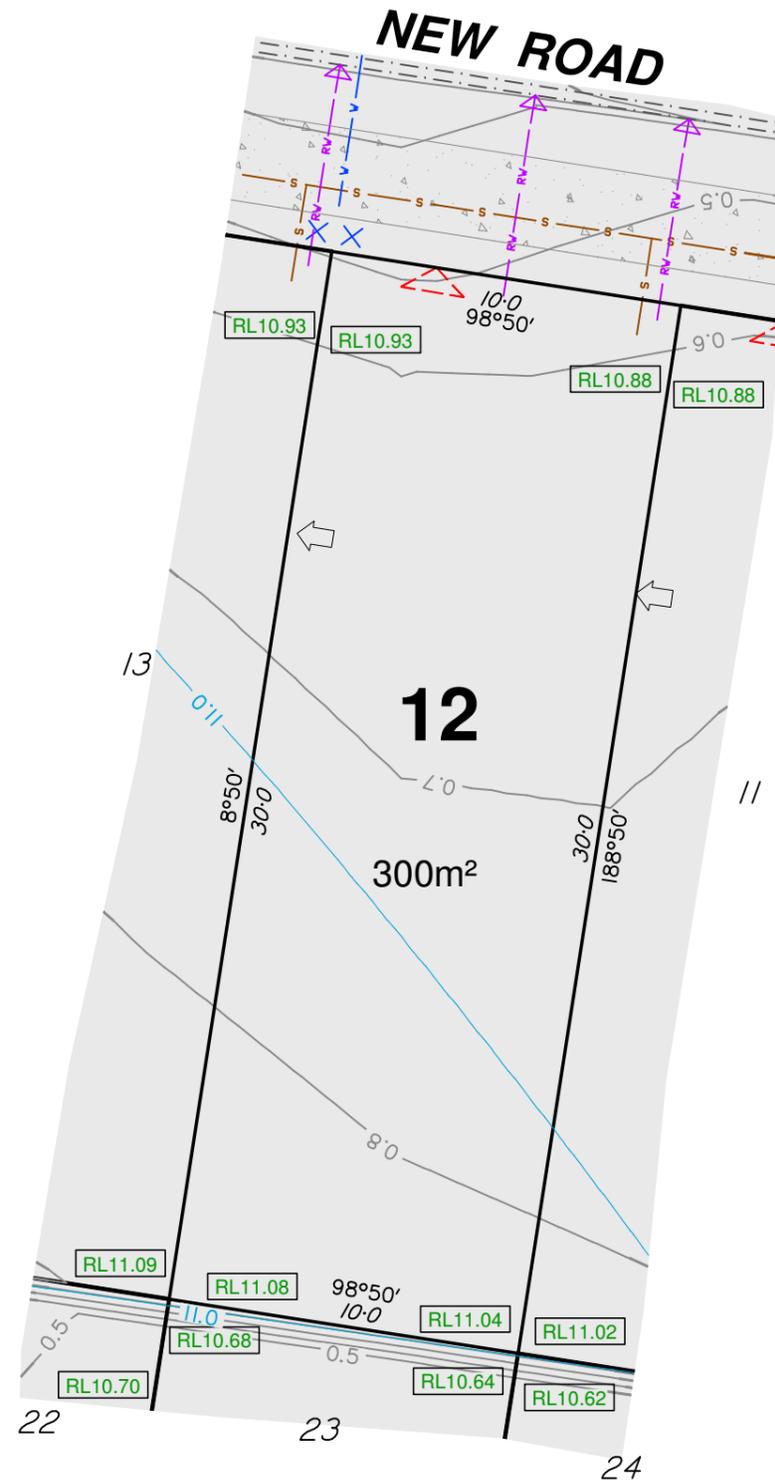
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
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-  Design Pad Level
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  Landscape
  Environment
  Surveying

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 Scale 1:200 @A3

LEVEL DATUM
AHD.

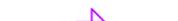
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DISCLOSURE PLAN

For Proposed Lot 12
Village Green - Stage 1

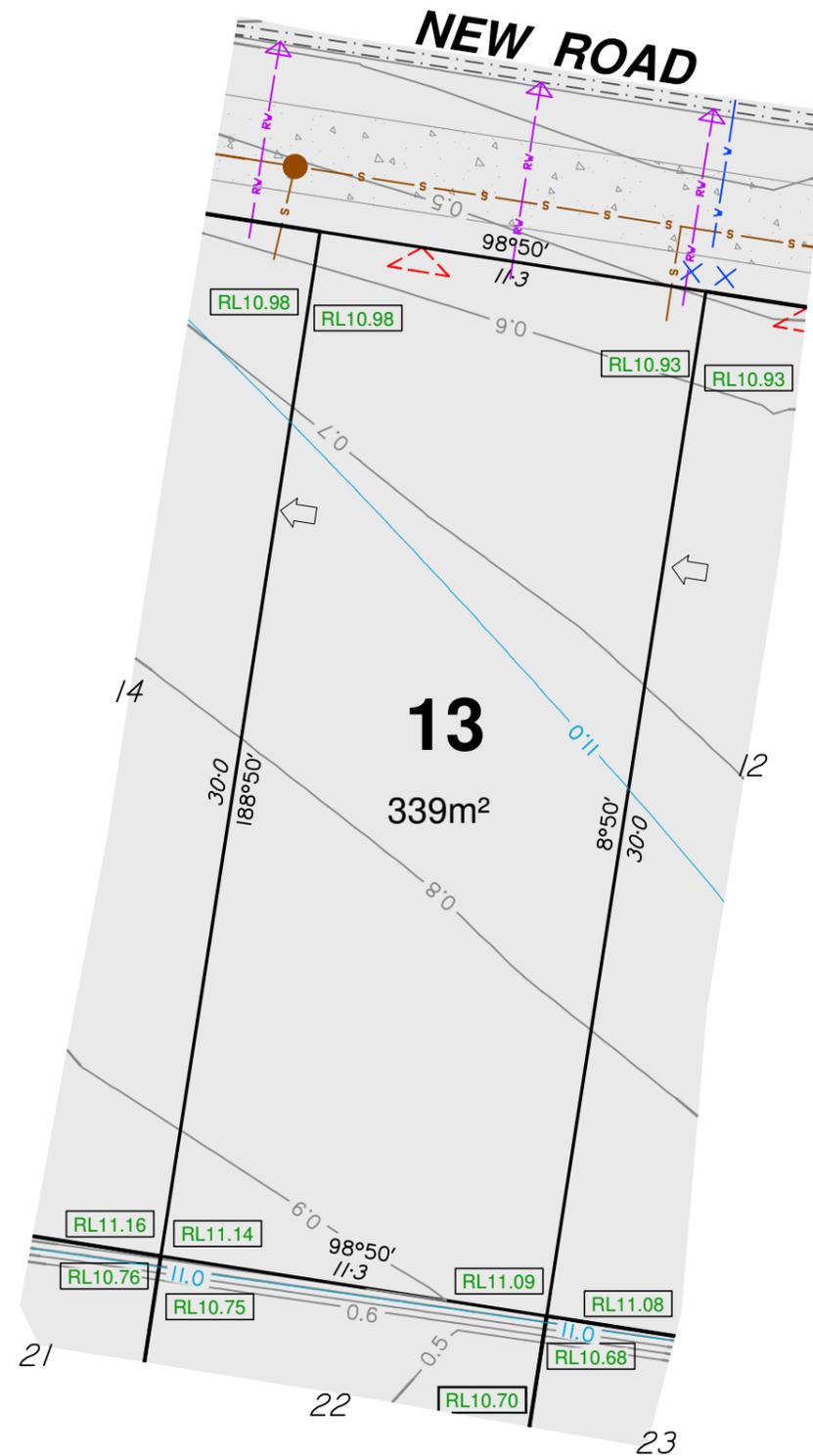
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
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 Scale 1:200 @A3

LEVEL DATUM
AHD.

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|--------------------------|-----------------------------|--------------|
| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-12 | VERSION C |
|--------------------------|-----------------------------|--------------|

DISCLOSURE PLAN

For Proposed Lot 14
Village Green - Stage 1

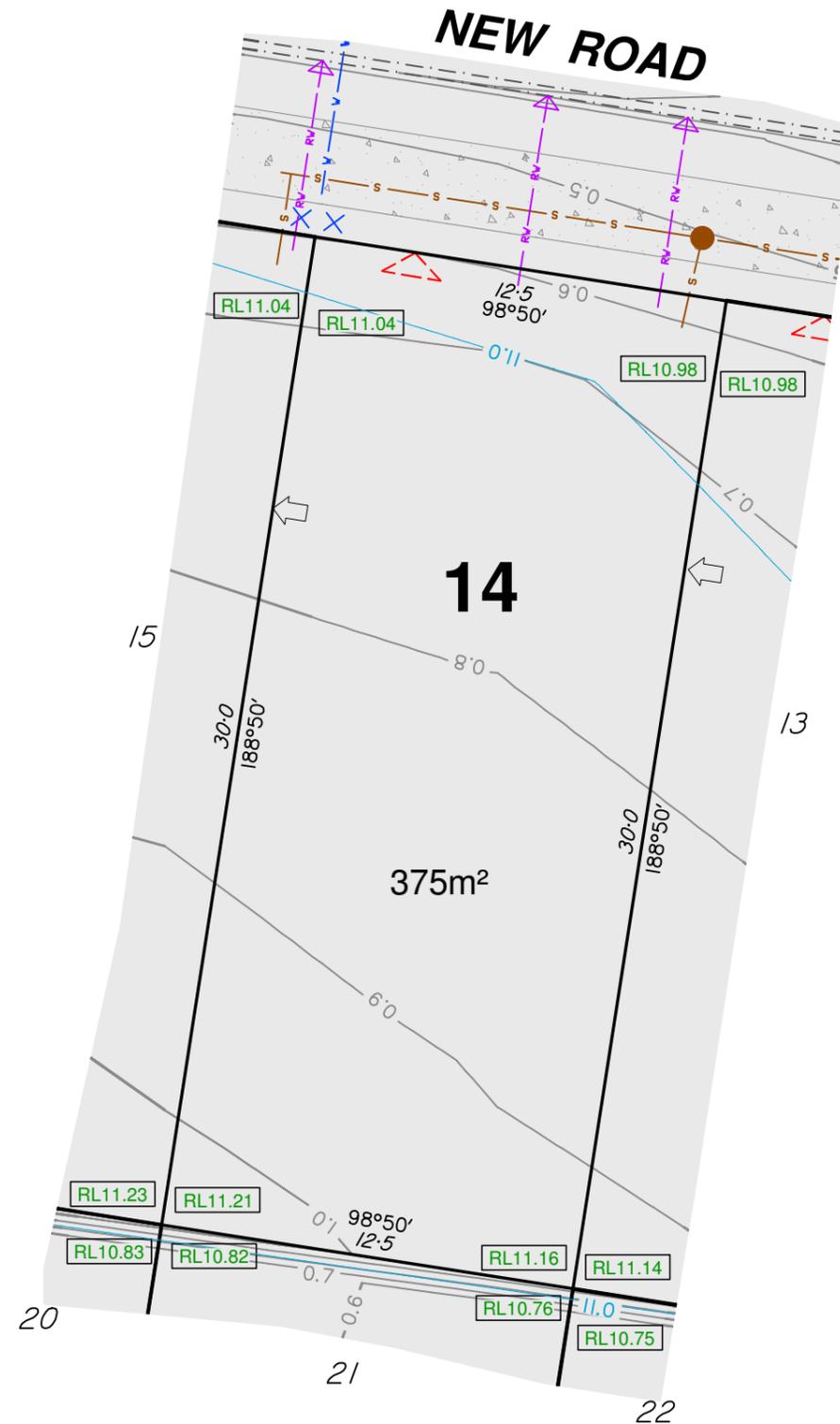
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
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-  Area to be Filled
-  Design Pad Level
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  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

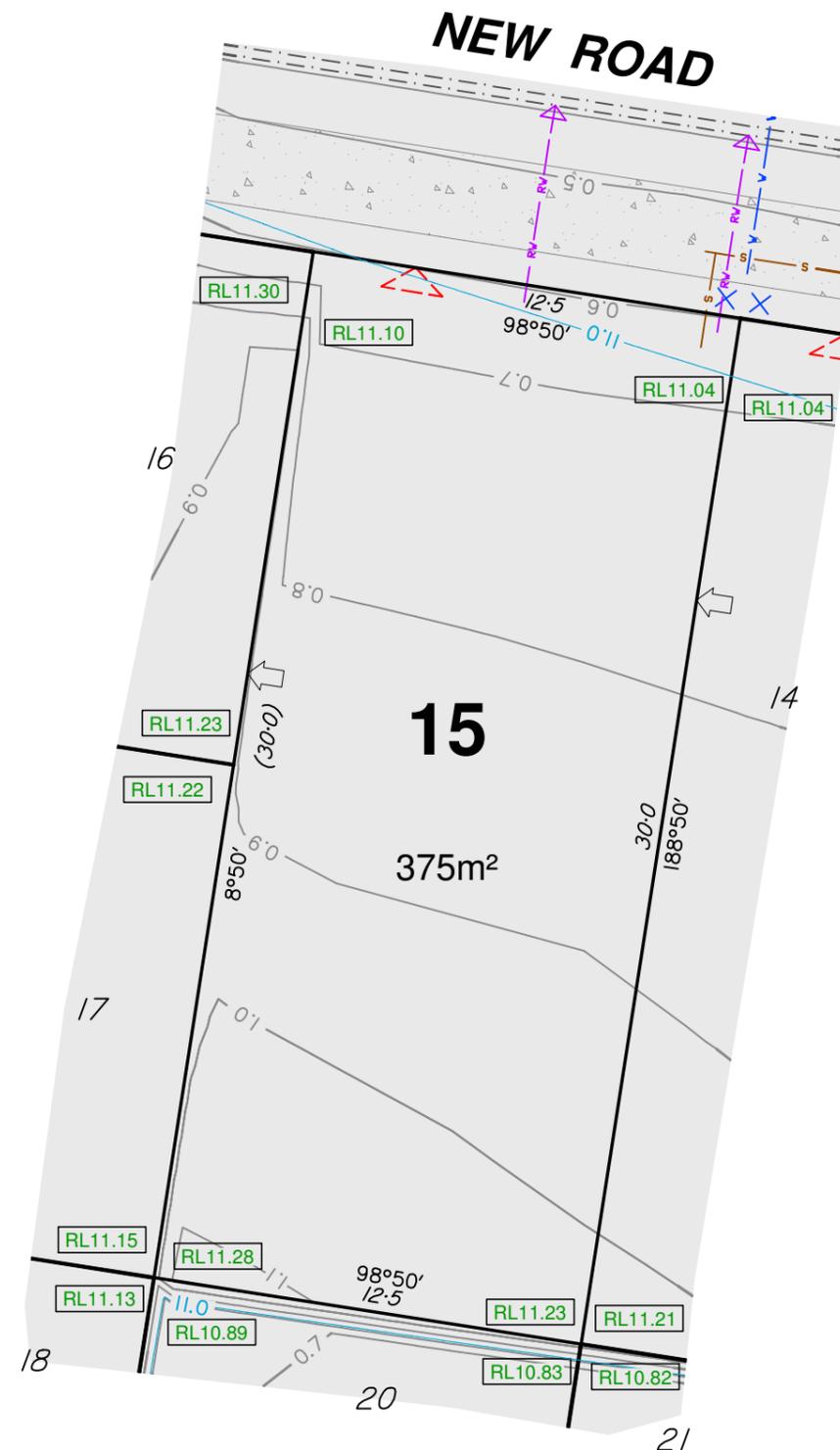
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|--------------------------|-----------------------------|--------------|
| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-14 | VERSION C |
|--------------------------|-----------------------------|--------------|

DISCLOSURE PLAN

For Proposed Lot 15
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



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HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

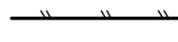
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-15 VERSION C

DISCLOSURE PLAN

For Proposed Lot 16
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

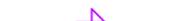
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-16 VERSION C

DISCLOSURE PLAN

For Proposed Lot 17
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
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-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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Notes:

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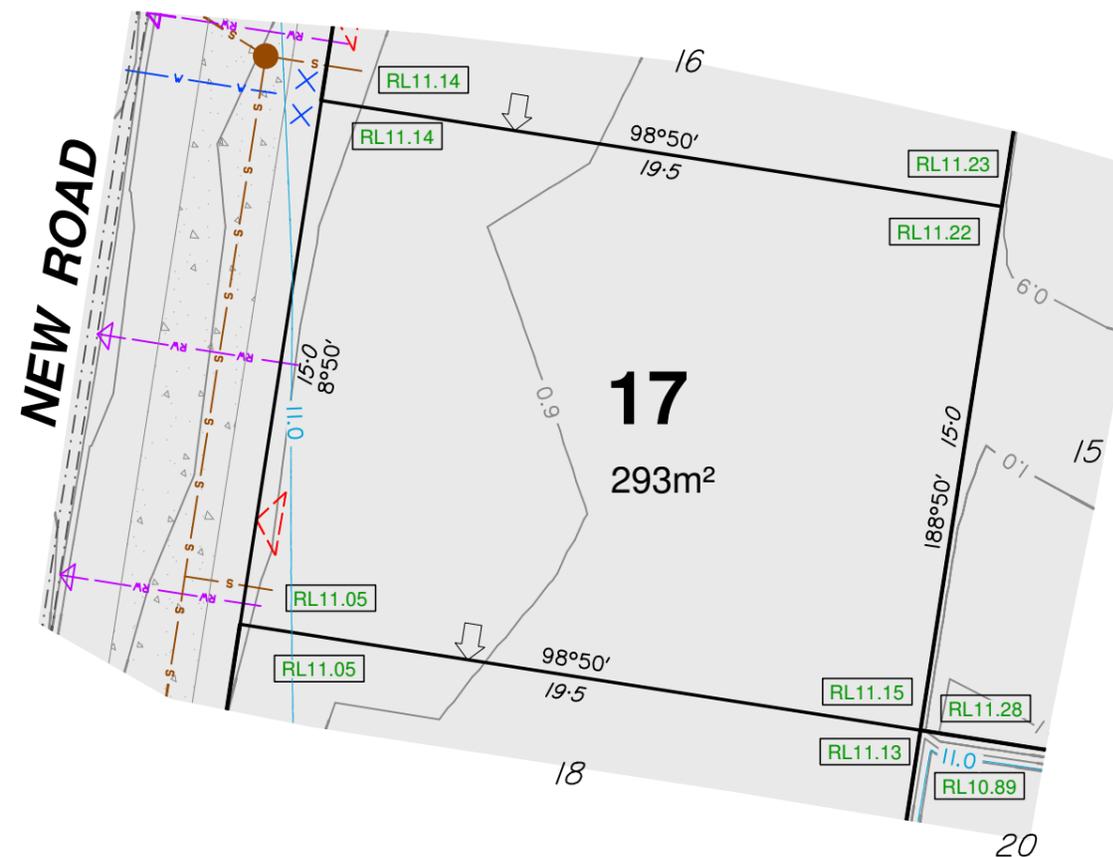
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
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DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-17 VERSION C

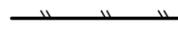


DISCLOSURE PLAN

For Proposed Lot 18
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

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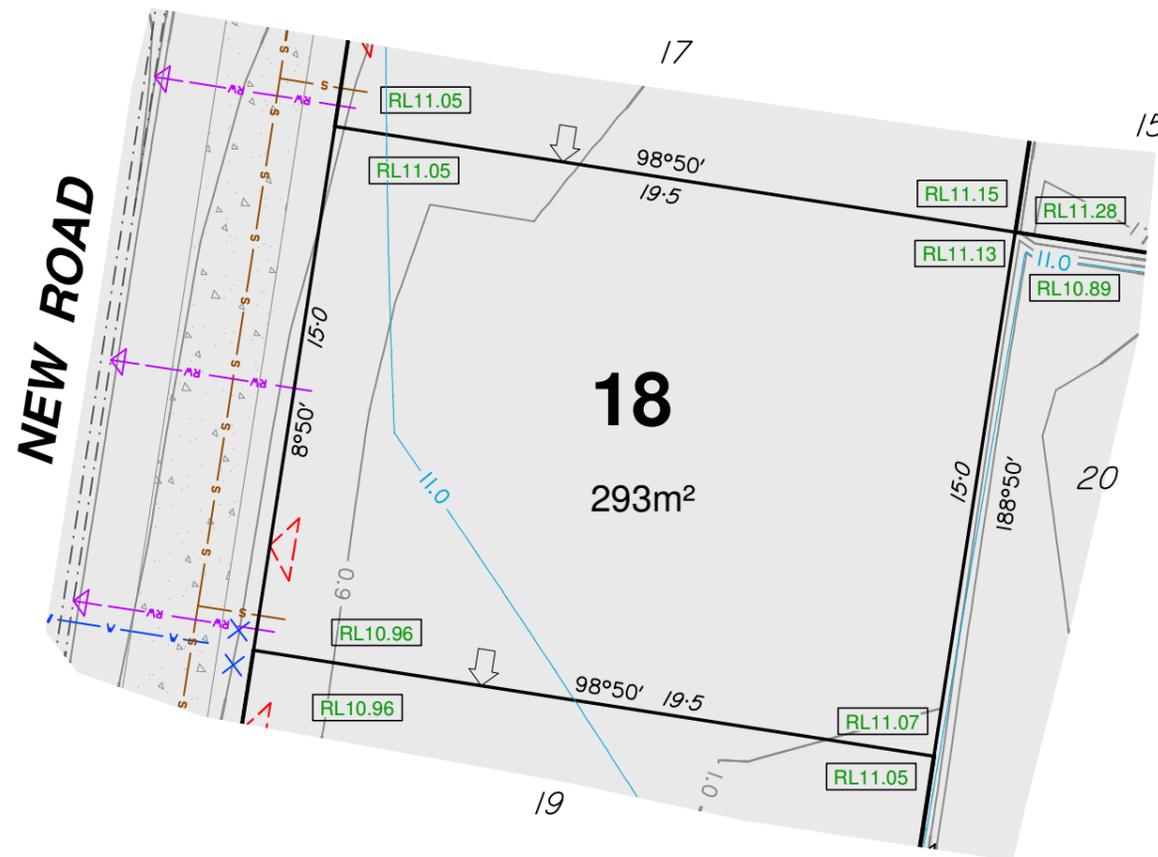
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3

LEVEL DATUM
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-18 | VERSION C |
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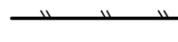


DISCLOSURE PLAN

For Proposed Lot 19
Village Green - Stage 1

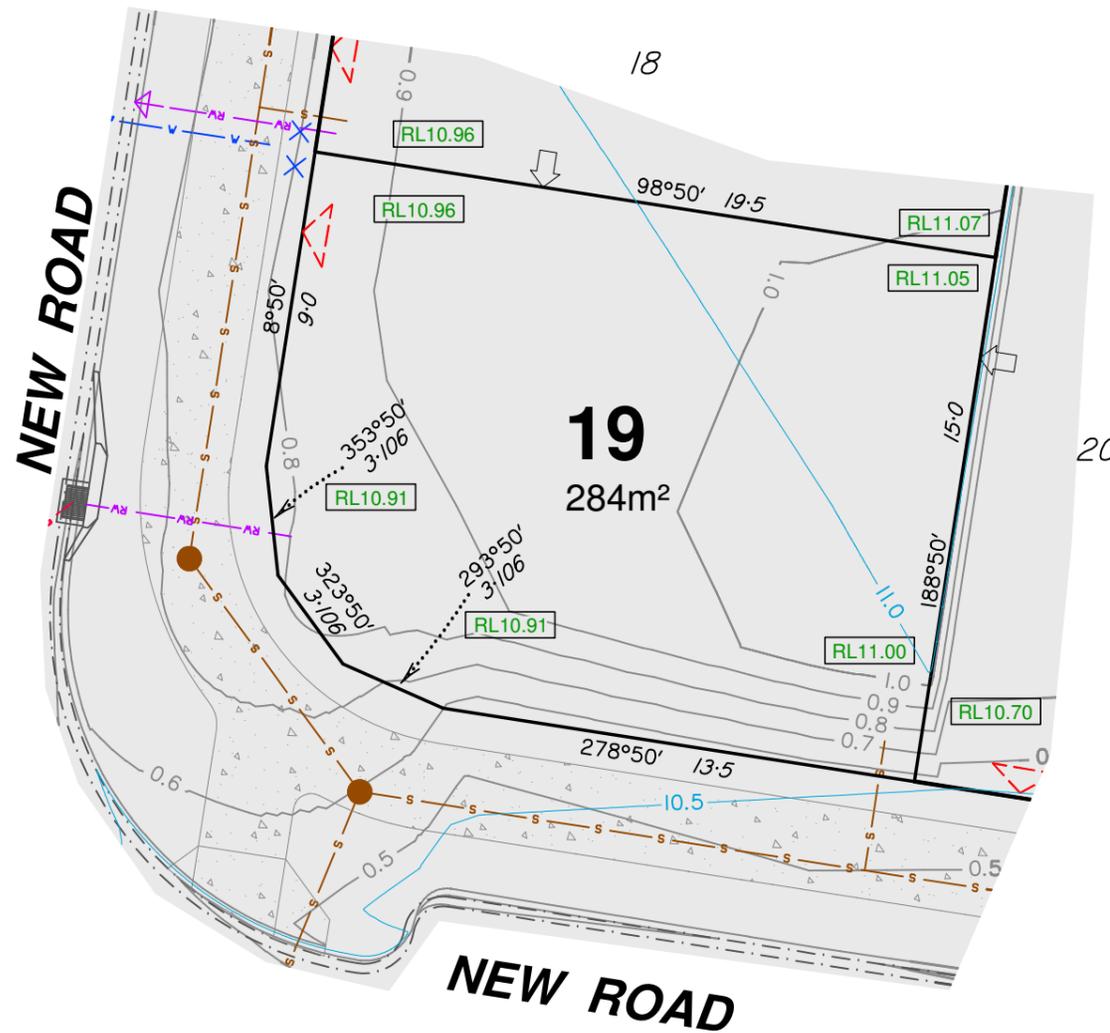
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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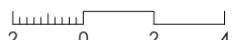


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 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

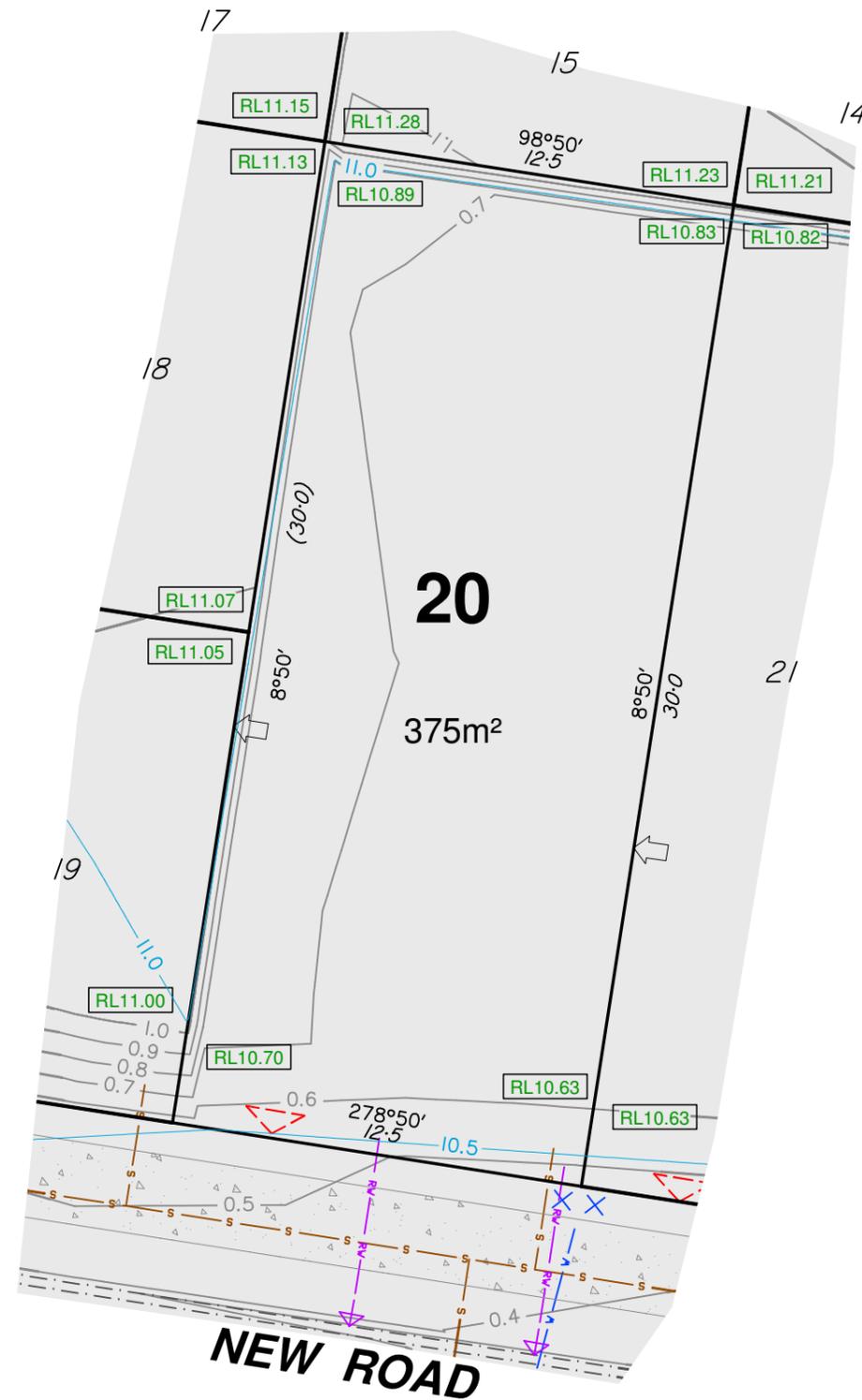
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-19 | VERSION C |
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DISCLOSURE PLAN

For Proposed Lot 20
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



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Scale 1:200 @A3

LEVEL DATUM
AHD.

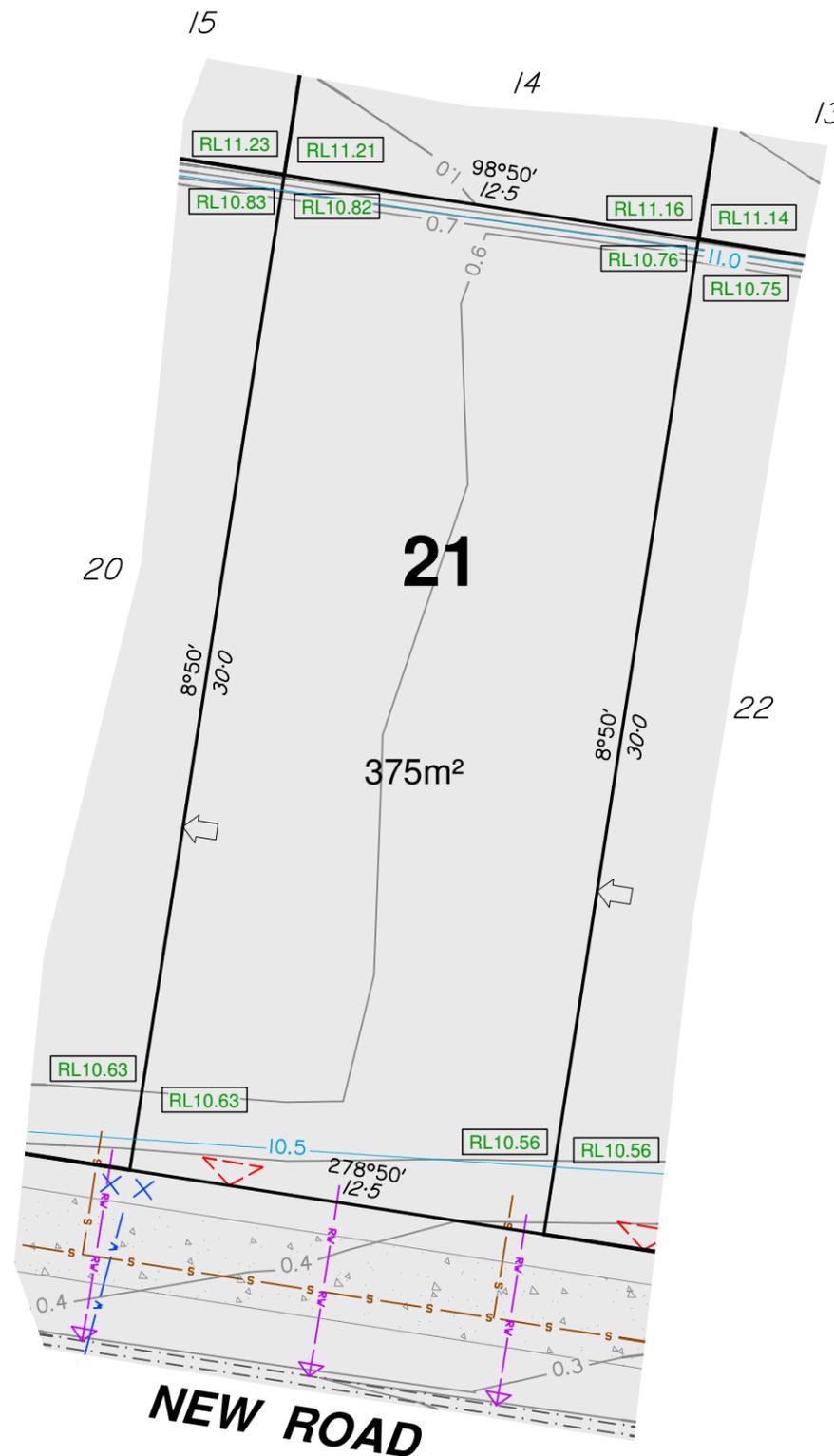
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-20 VERSION C

DISCLOSURE PLAN

For Proposed Lot 21
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
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 - Design Pad Level
 - Proposed Driveway
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

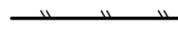
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-21 VERSION C

DISCLOSURE PLAN

For Proposed Lot 23
Village Green - Stage 1

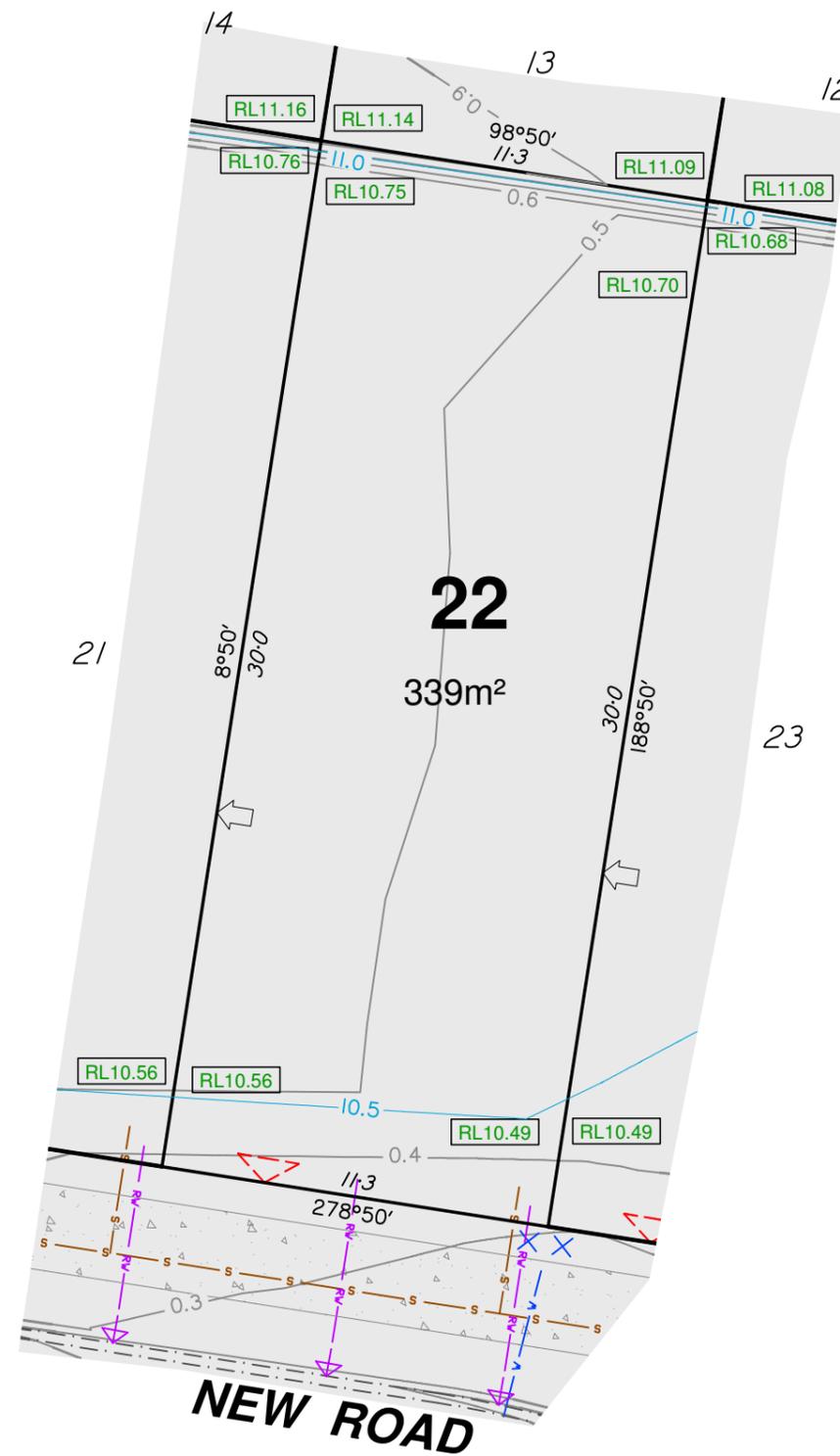
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
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-  Kerb Adapter
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- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-23 VERSION C

DISCLOSURE PLAN

For Proposed Lot 22
Village Green - Stage 1

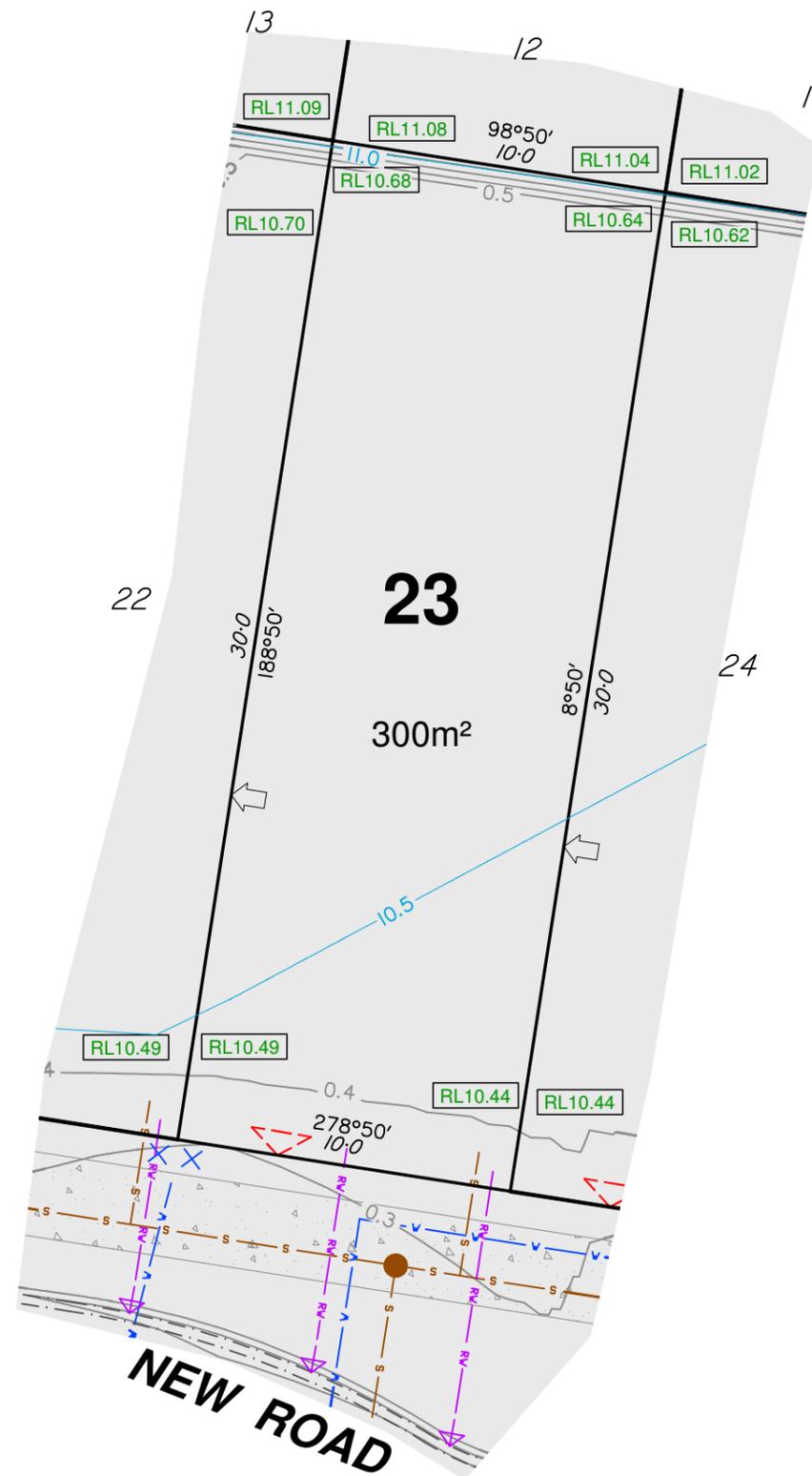
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.5m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Water/Water Meter
- Stormwater Gully Trap
- Roofwater
- Kerb Adapter
- Area to be Filled
- Design Pad Level
- Proposed Driveway
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consulting group

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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

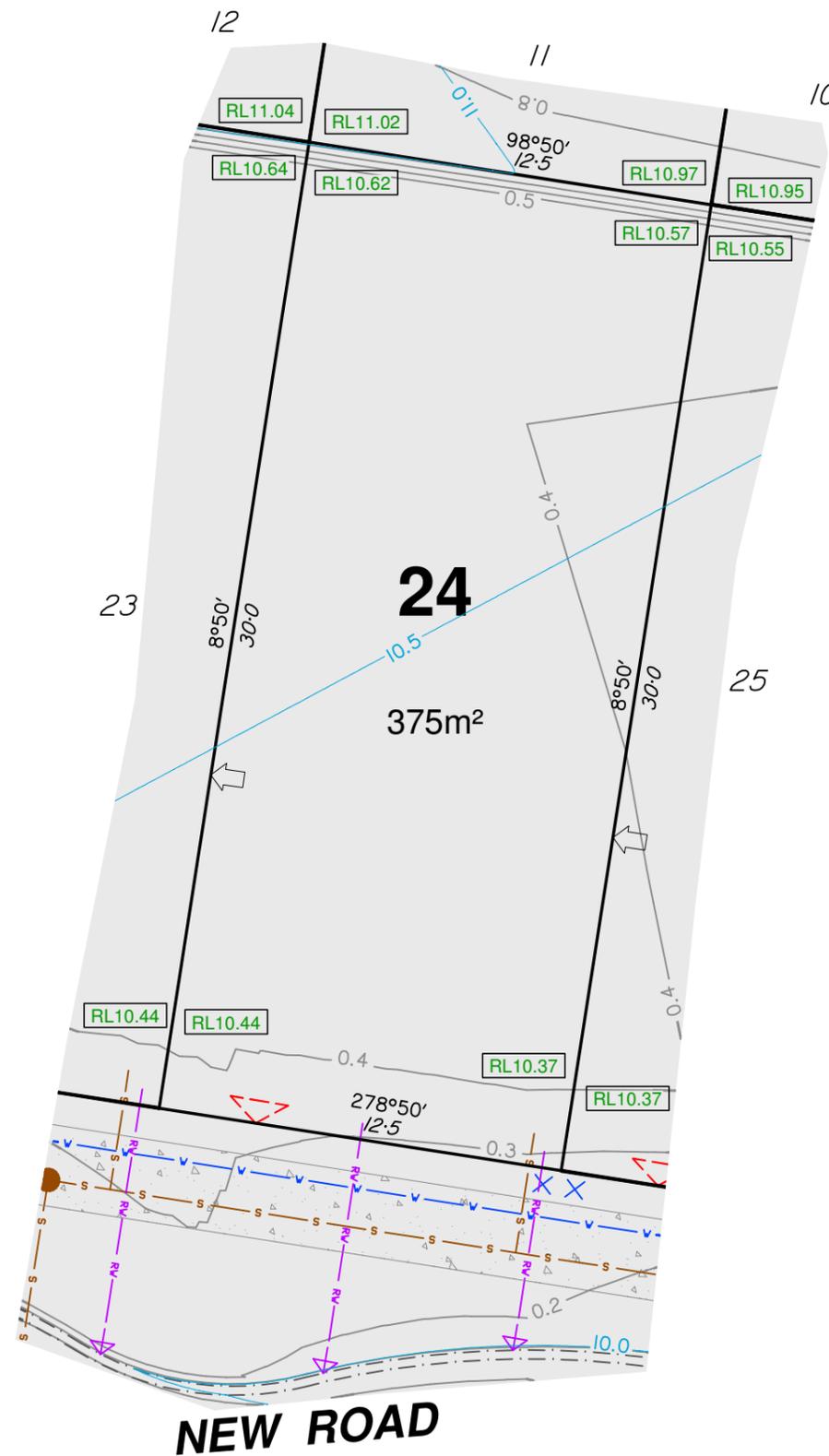
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-22 VERSION C

DISCLOSURE PLAN

For Proposed Lot 24
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
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 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
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consulting group

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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

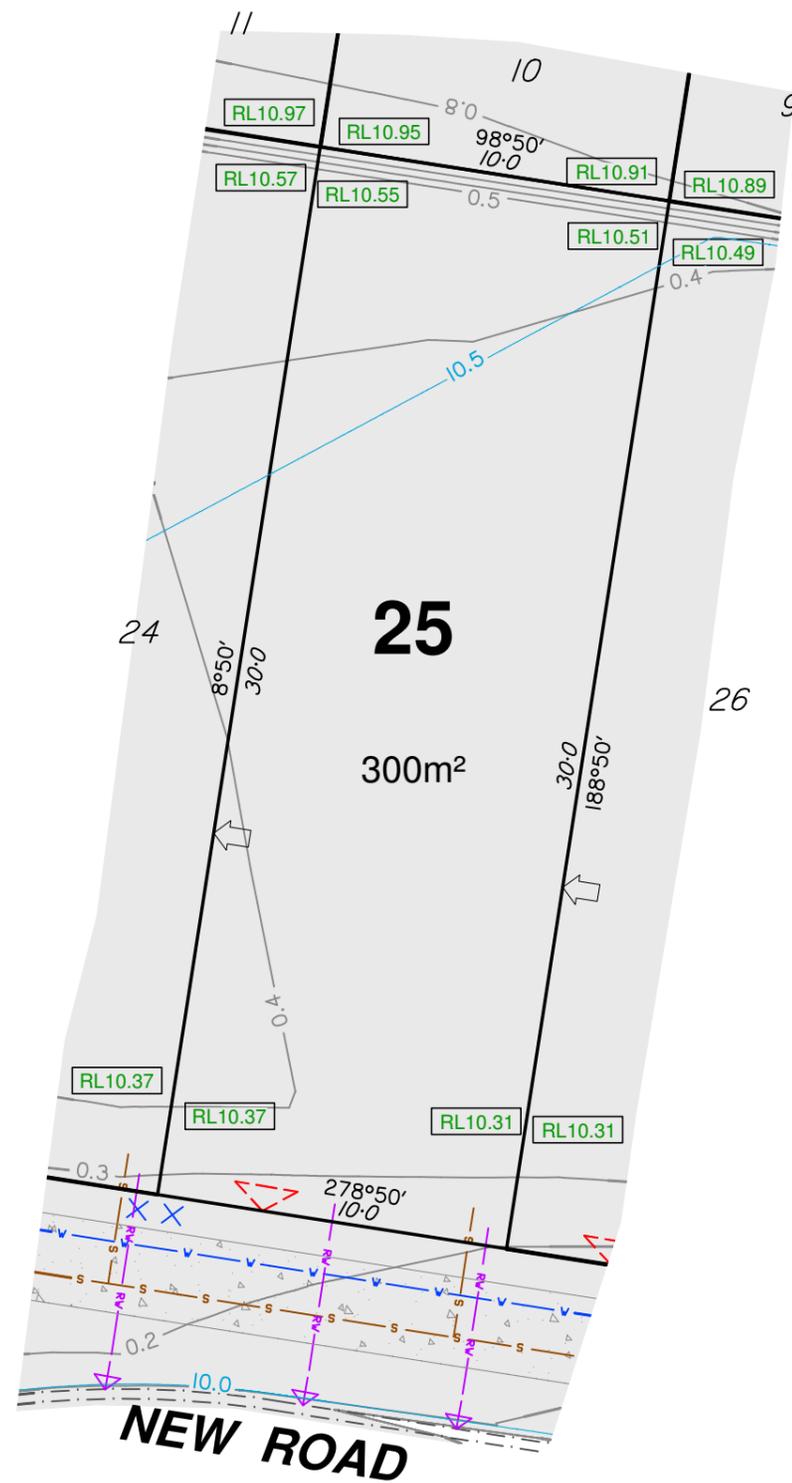
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-24 VERSION C

DISCLOSURE PLAN

For Proposed Lot 25
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

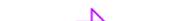
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-25 VERSION C

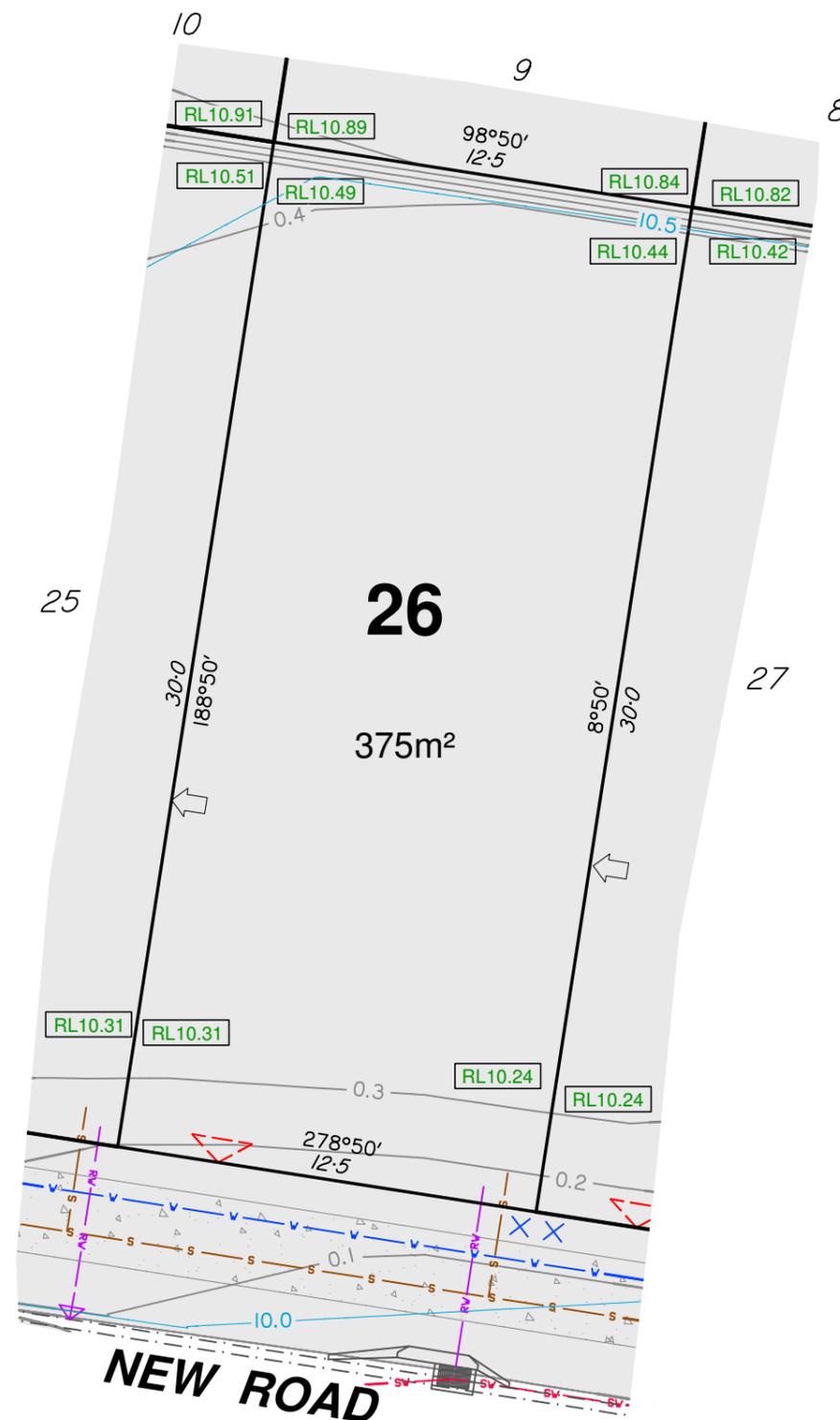
DISCLOSURE PLAN

For Proposed Lot 26
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (installed by Developer)



Notes:

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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-26 VERSION C

DISCLOSURE PLAN

For Proposed Lot 27
Village Green - Stage 1

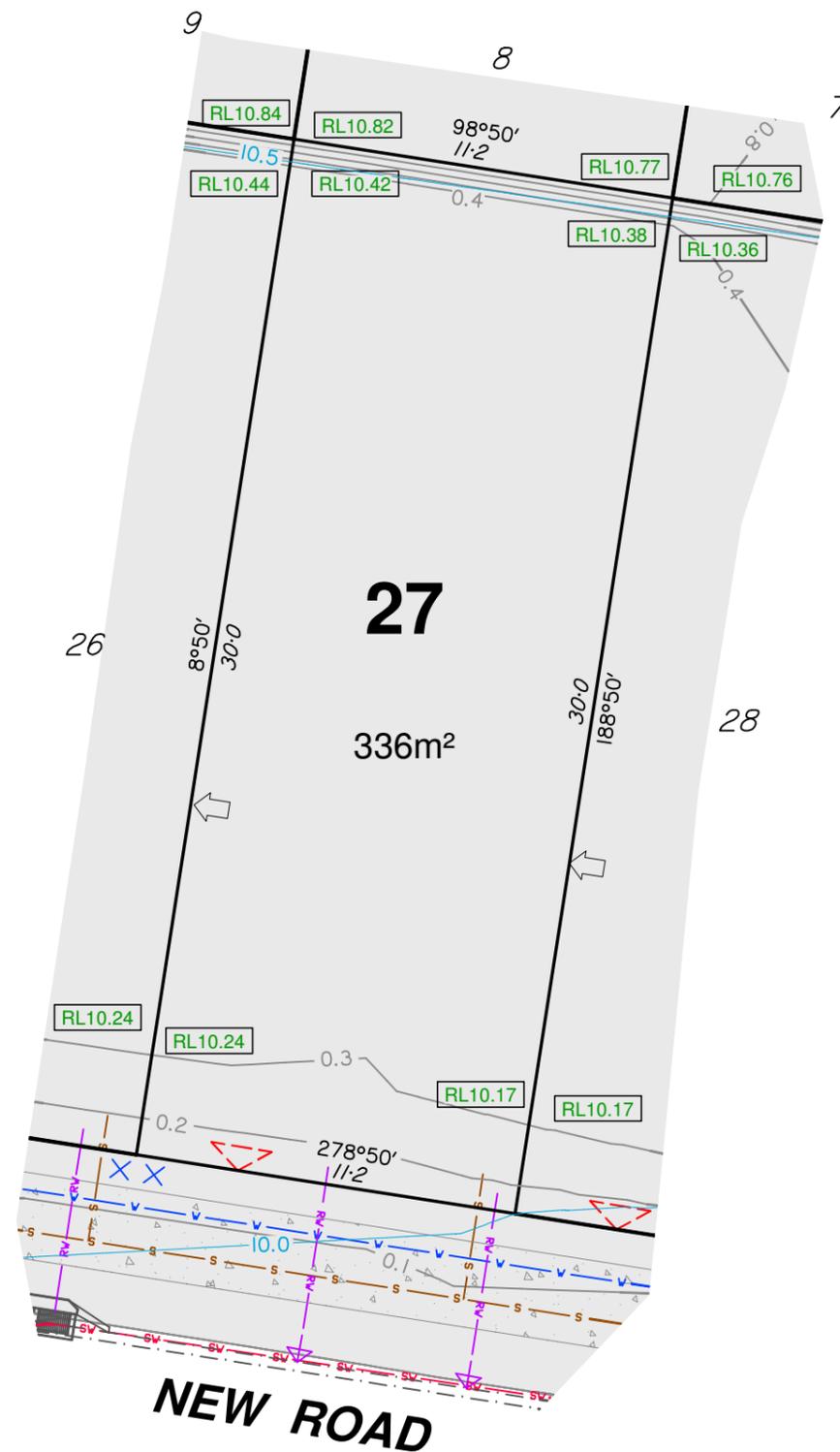
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
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-  Design Pad Level
-  Proposed Driveway
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Notes:

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HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

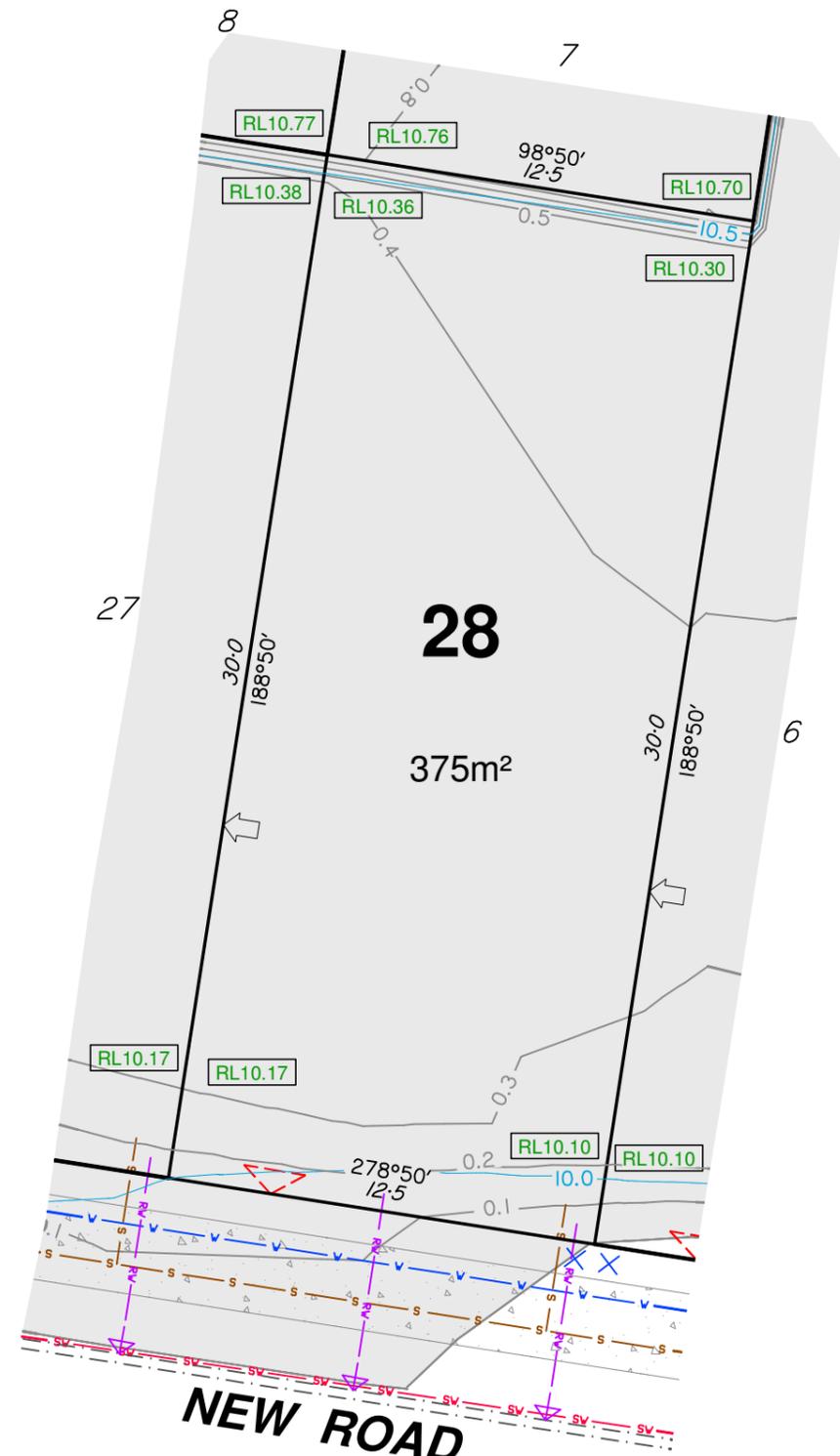
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-27 VERSION C

DISCLOSURE PLAN

For Proposed Lot 28
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

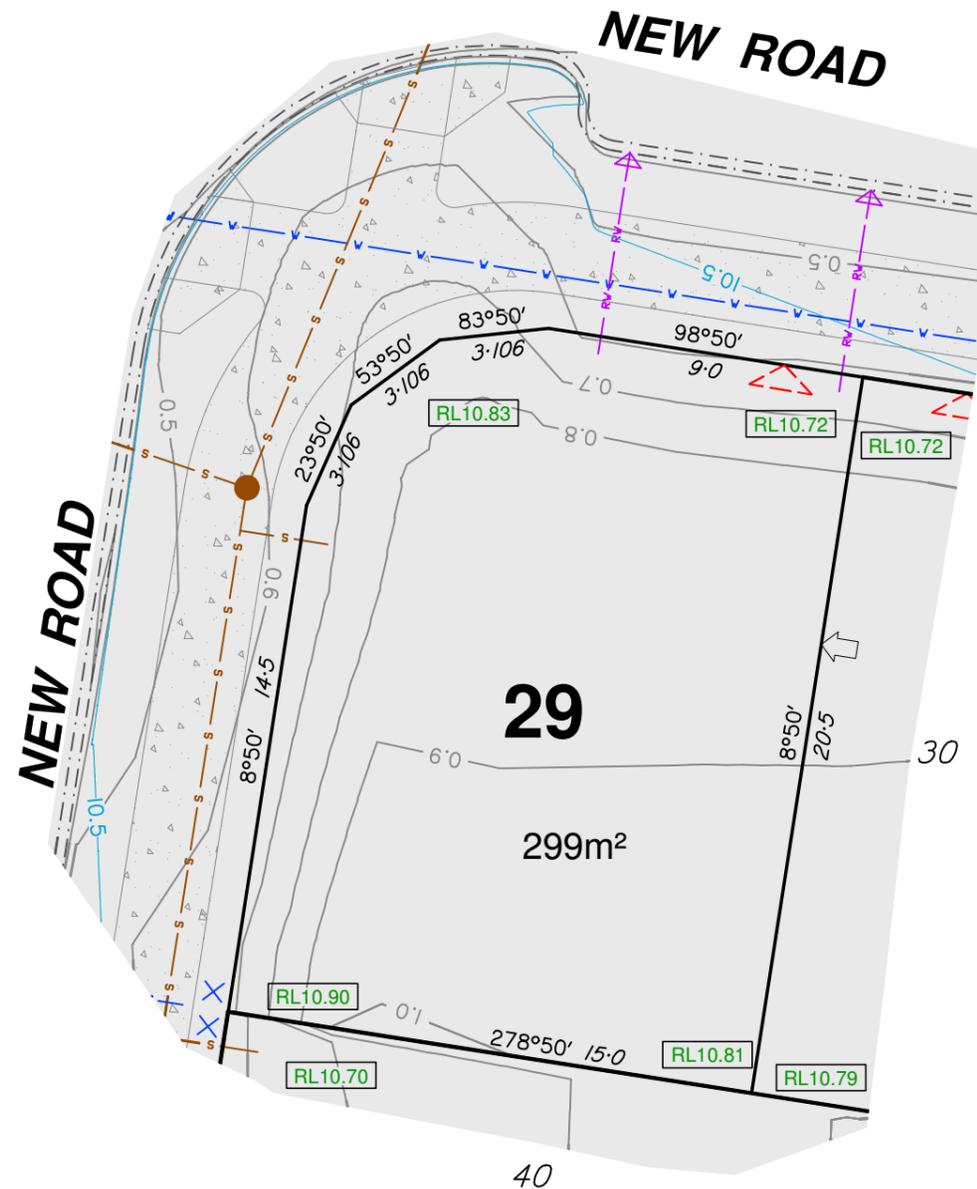
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-28 VERSION C

DISCLOSURE PLAN

For Proposed Lot 29
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



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HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

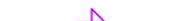
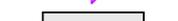
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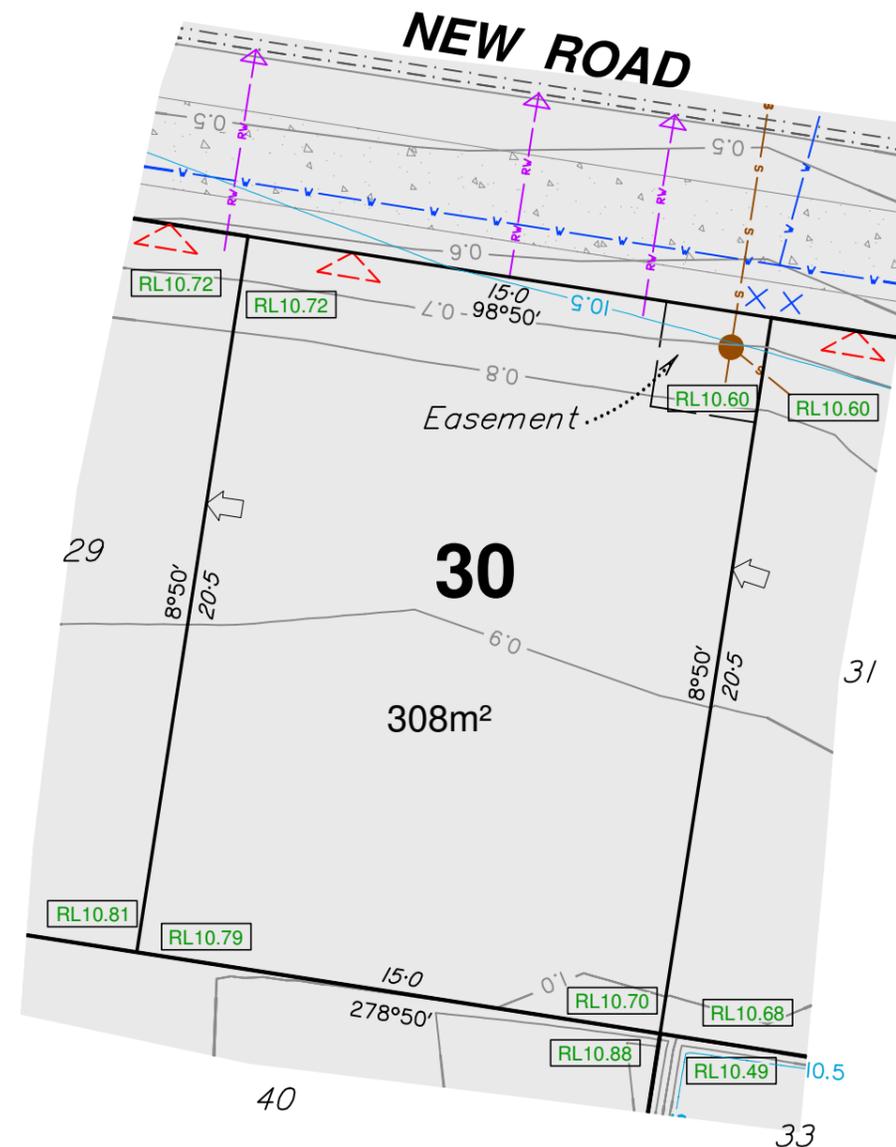
DISCLOSURE PLAN

For Proposed Lot 30
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

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village
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 Planning
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  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

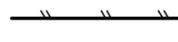
| | | |
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-30 | VERSION C |
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DISCLOSURE PLAN

For Proposed Lot 31
Village Green - Stage 1

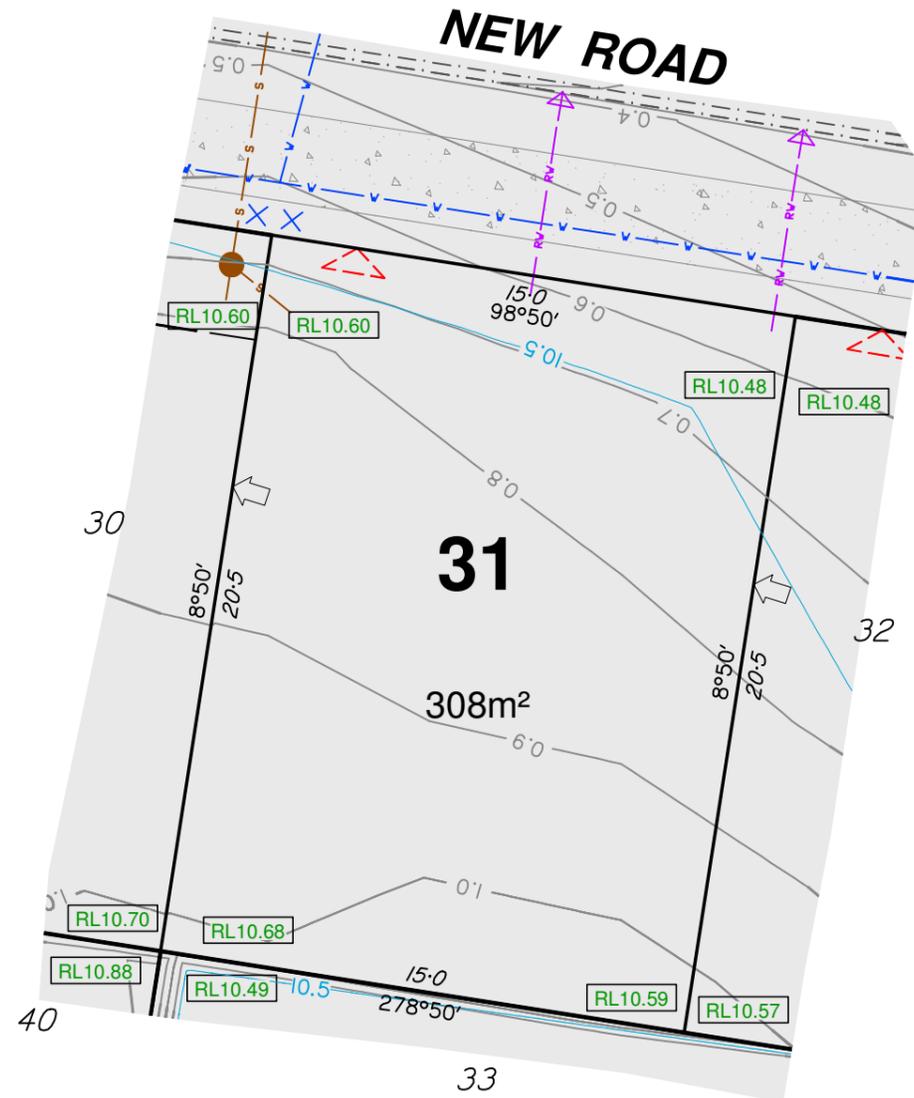
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

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  Environment
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HORIZONTAL MERIDIAN
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 Scale 1:200 @A3

LEVEL DATUM
AHD.

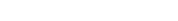
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-31 | VERSION C |
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DISCLOSURE PLAN

For Proposed Lot 32
Village Green - Stage 1

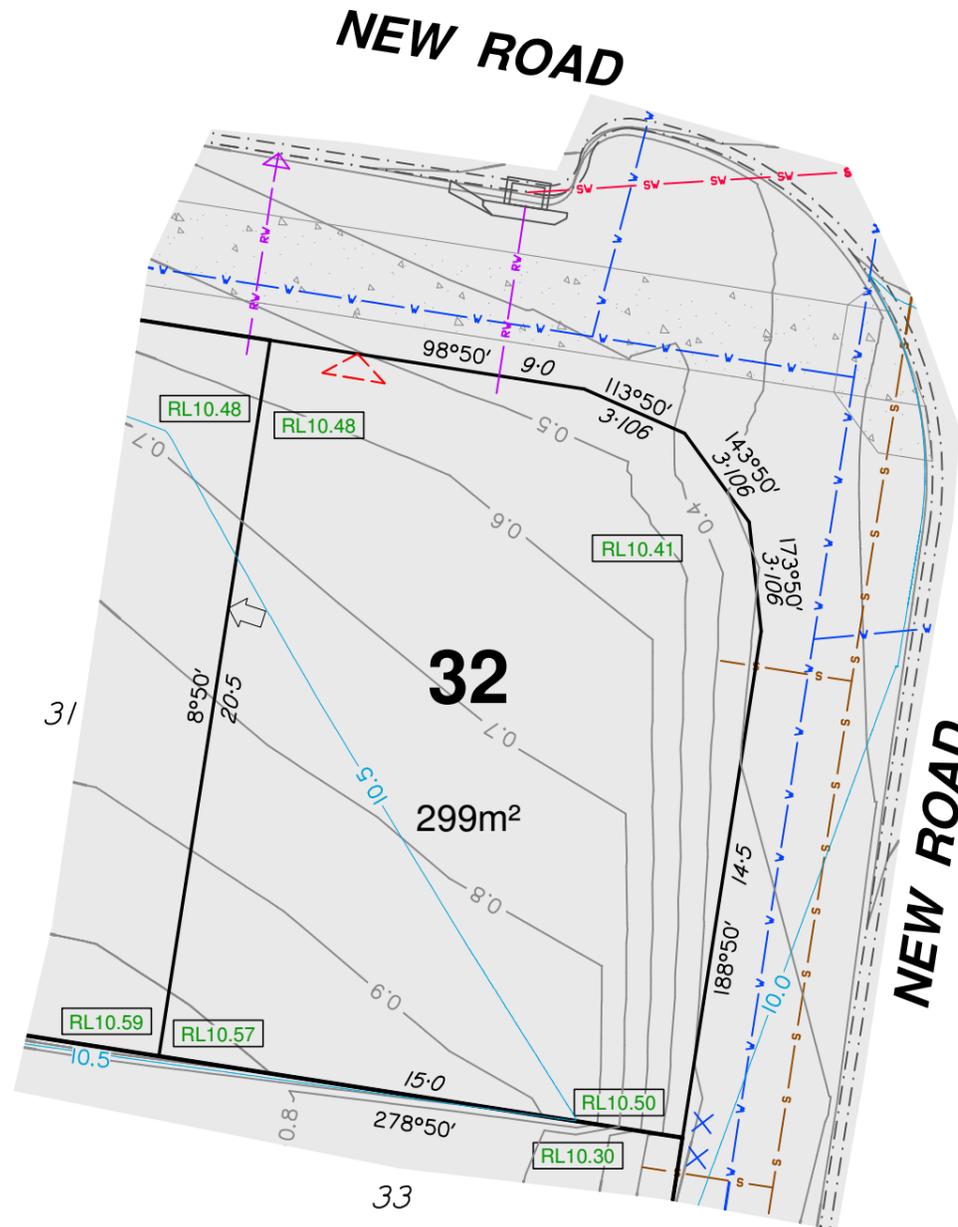
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  Finished Surface Contours (0.5m Interval)
-  Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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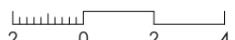


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  Landscape
  Environment
  Surveying

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 Scale 1:200 @A3

LEVEL DATUM
AHD.

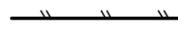
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-32 | VERSION D |
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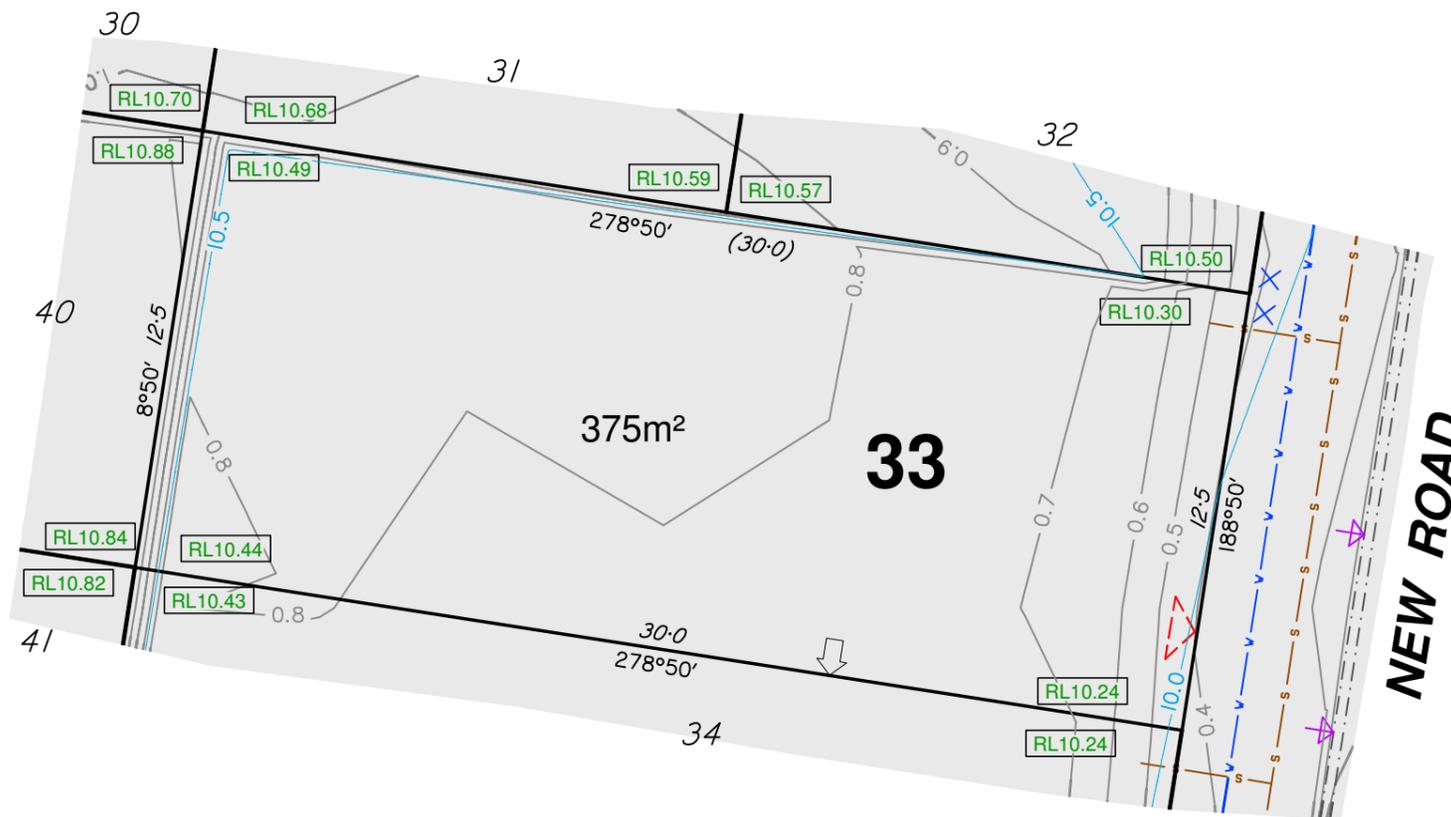
DISCLOSURE PLAN

For Proposed Lot 33
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
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-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

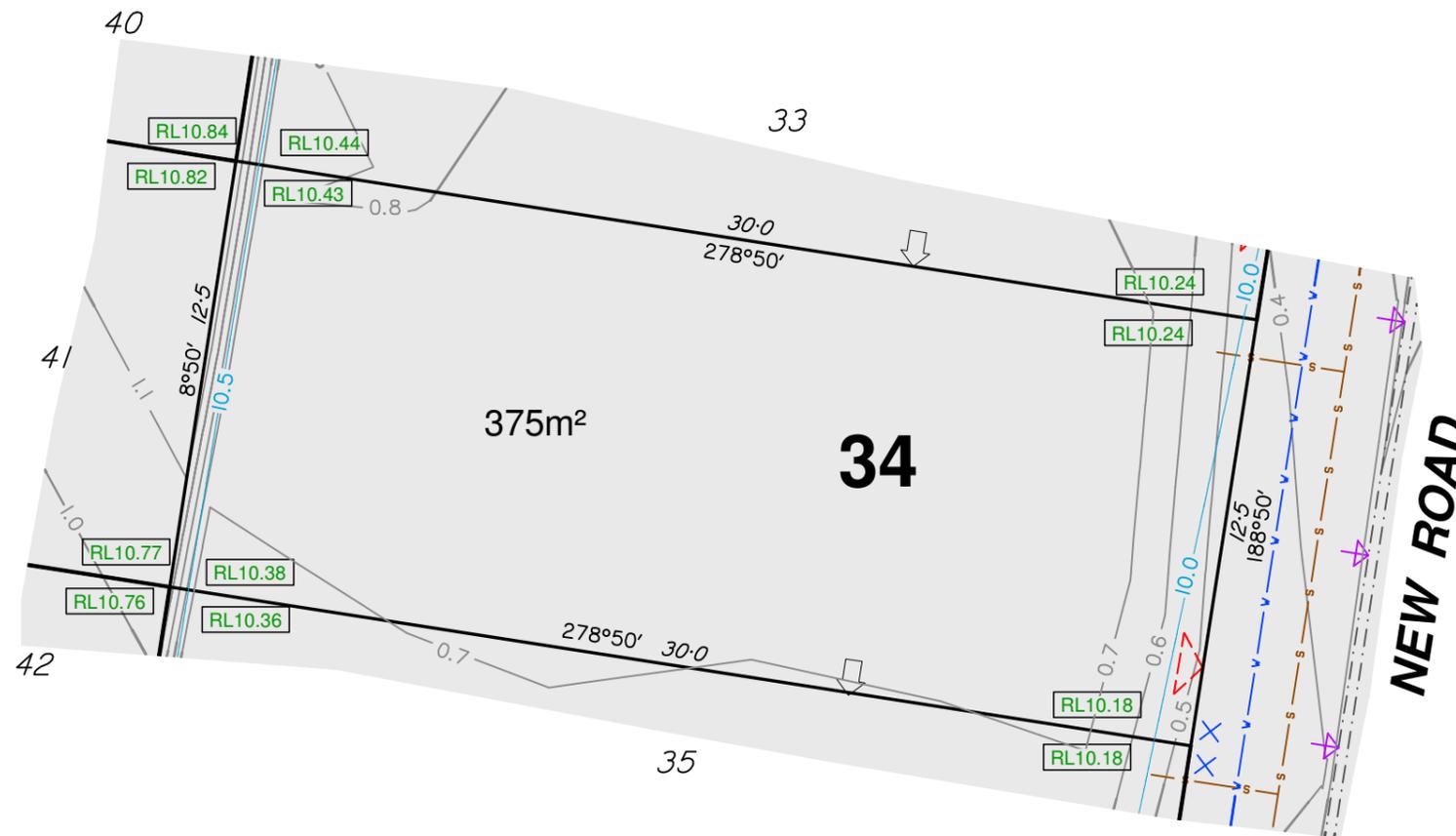
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-33 VERSION C

DISCLOSURE PLAN

For Proposed Lot 34
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- Finished Surface Contours (0.5m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



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HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

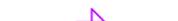
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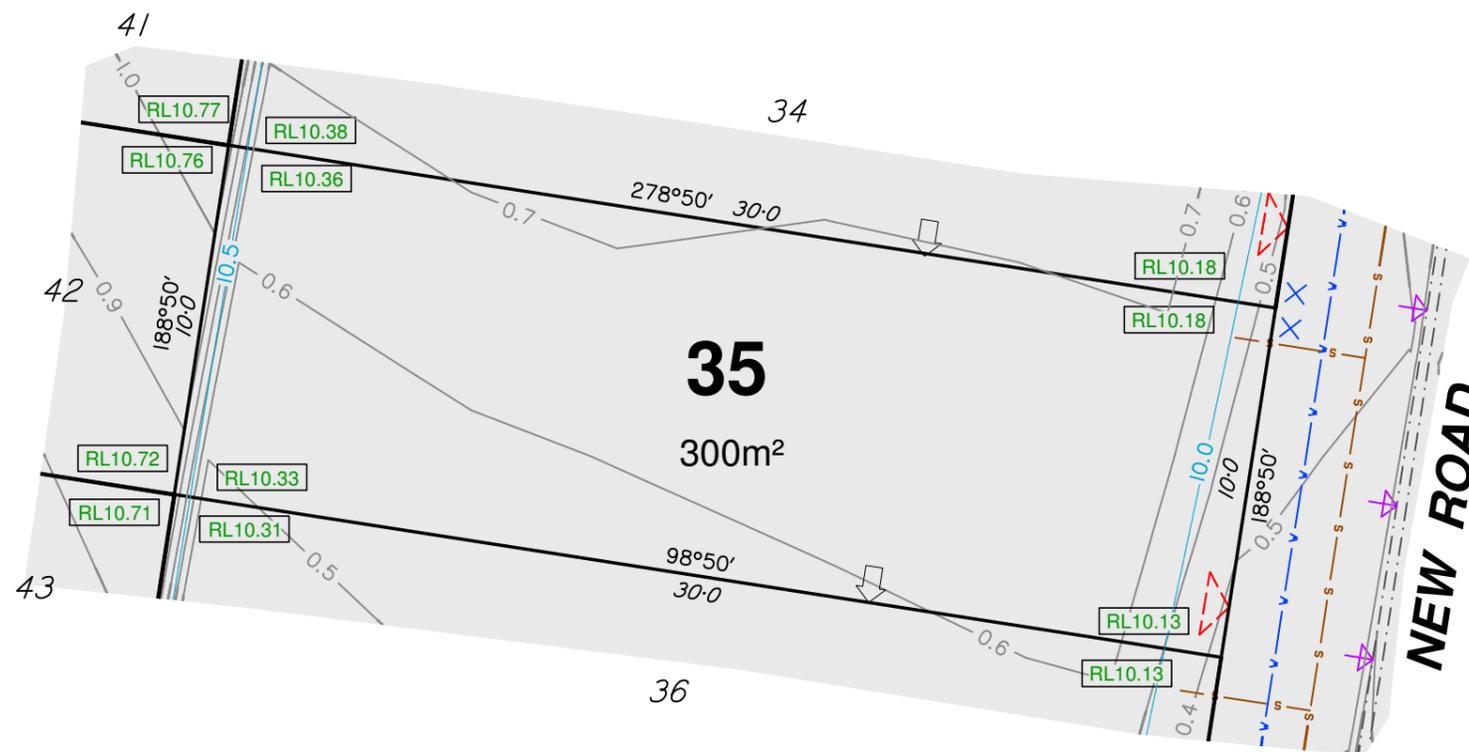
DISCLOSURE PLAN

For Proposed Lot 35
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

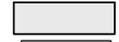
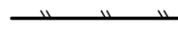
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AHD.

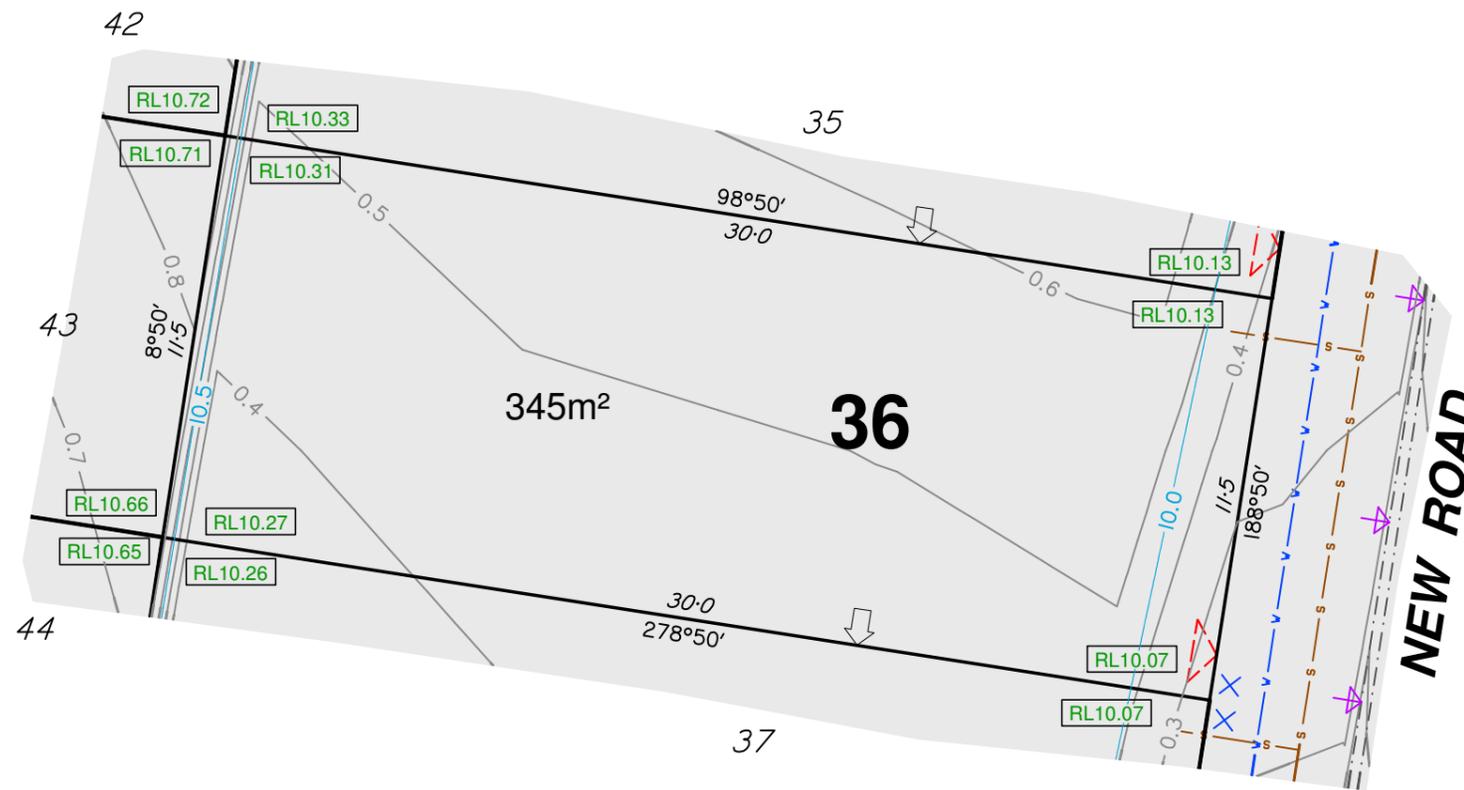
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-35 | VERSION C |
|--------------------------|-----------------------------|--------------|

DISCLOSURE PLAN

For Proposed Lot 36
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.5m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - · — · — · — Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - v — v — Water/Water Meter
 -  Stormwater Gully Trap
 - rv — rv — Roofwater
 -  Kerb Adapter
 -  Area to be Filled
 - RL57.32 Design Pad Level
 -  Proposed Driveway
 -  Zero Lot Line Boundary
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  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

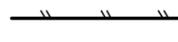
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-36 VERSION C

DISCLOSURE PLAN

For Proposed Lot 37
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

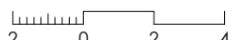
1. This note is an integral part of this plan.
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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
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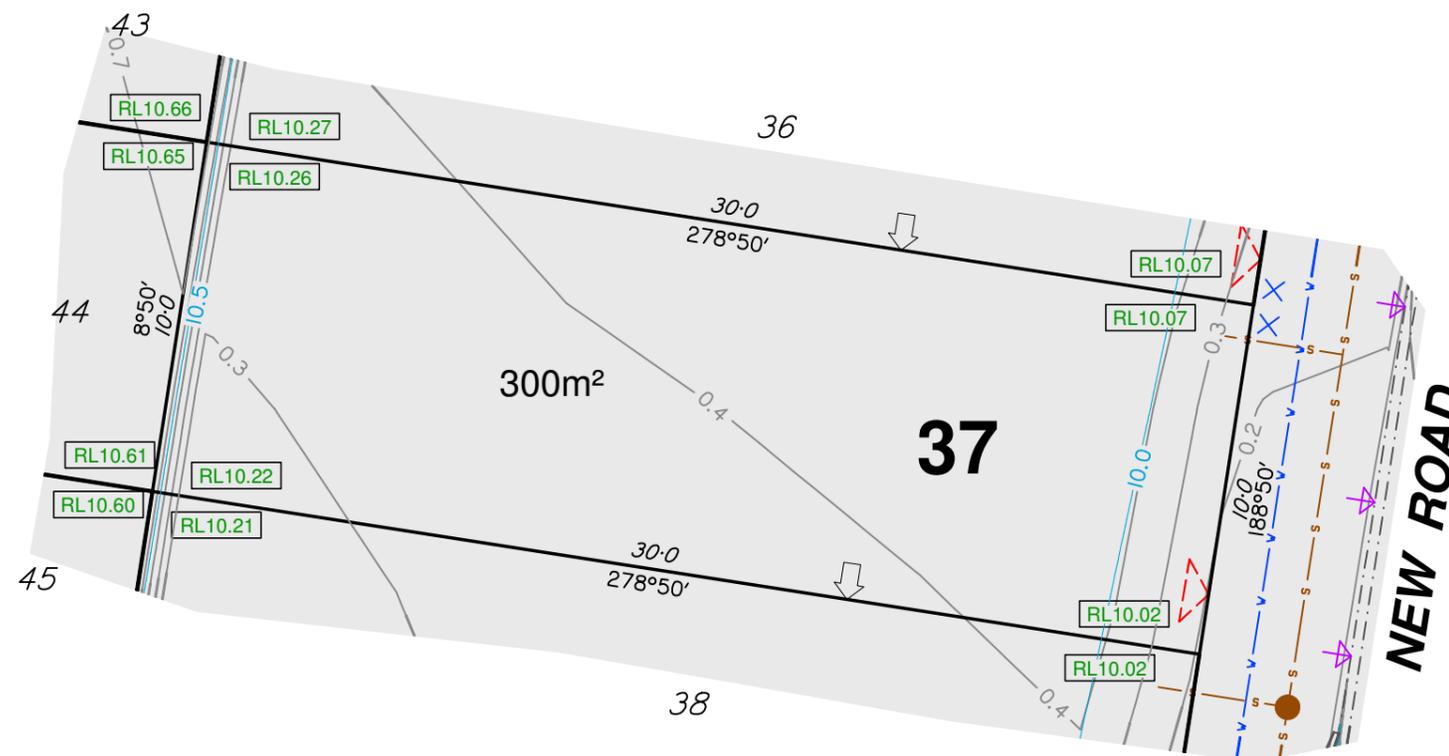
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA


Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-37 VERSION C

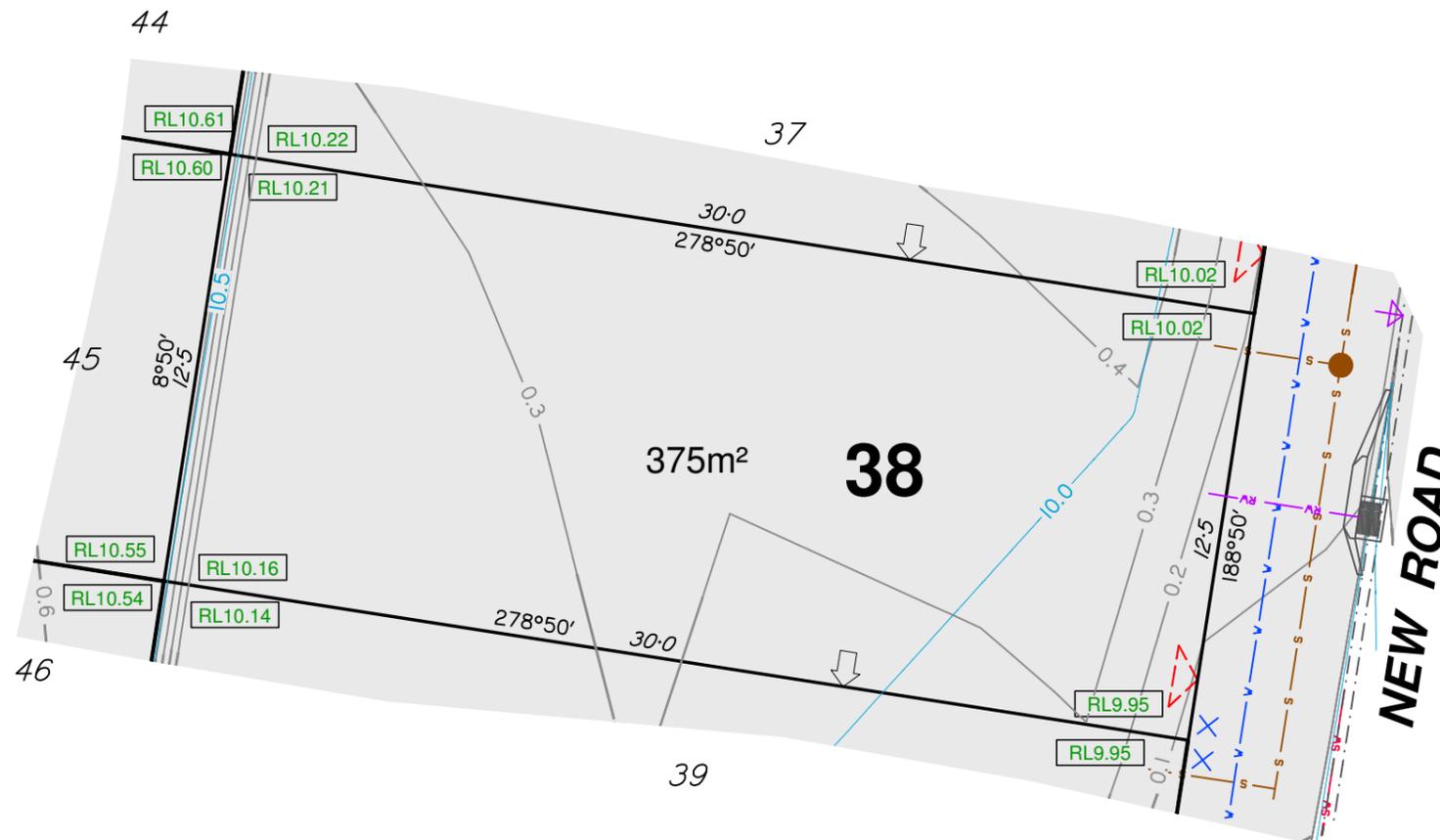


DISCLOSURE PLAN

For Proposed Lot 38
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- Finished Surface Contours (0.5m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
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village
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

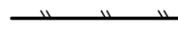
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-38 VERSION D

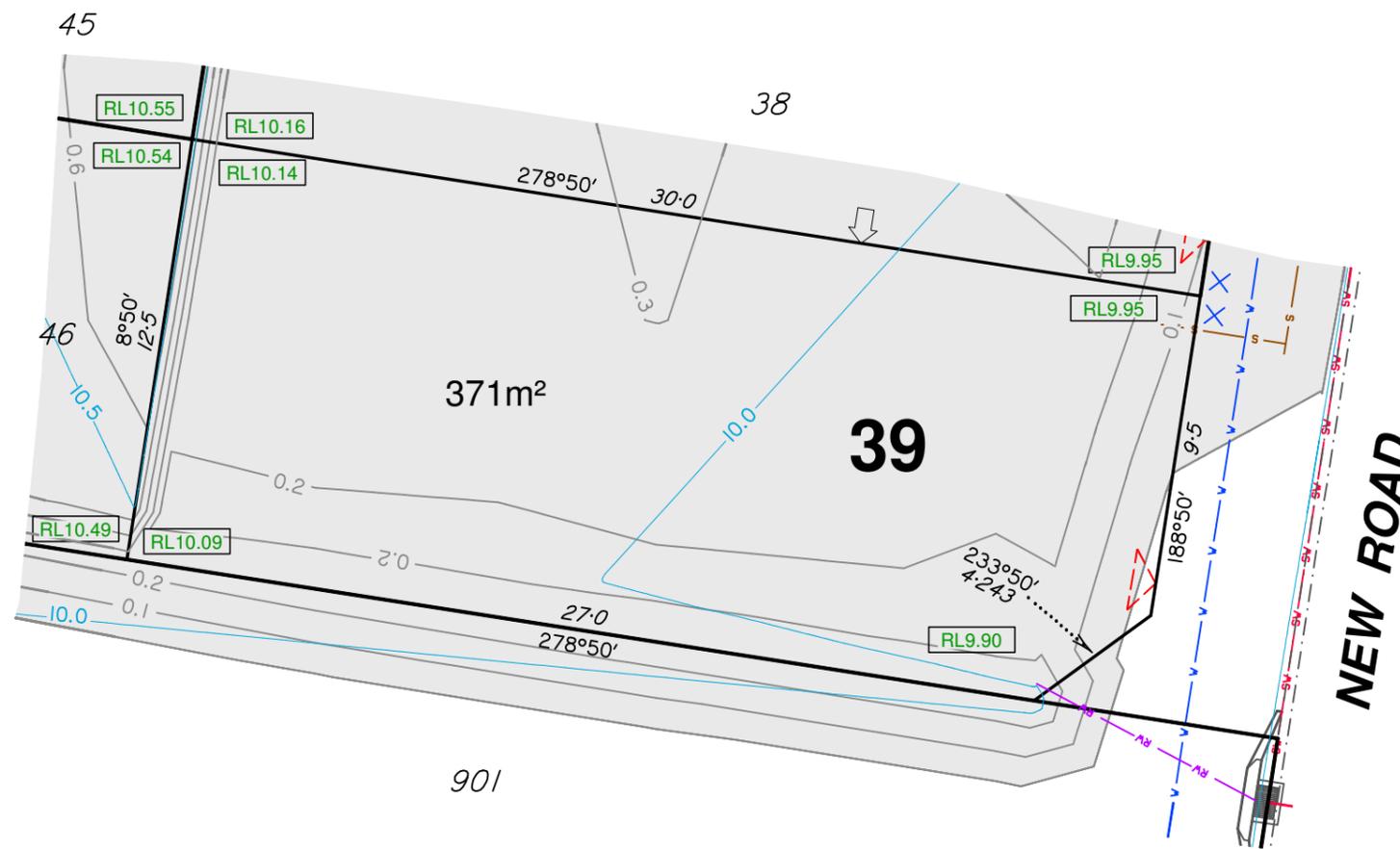
DISCLOSURE PLAN

For Proposed Lot 39
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

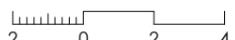
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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

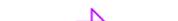
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-39 | VERSION D |
|--------------------------|-----------------------------|--------------|

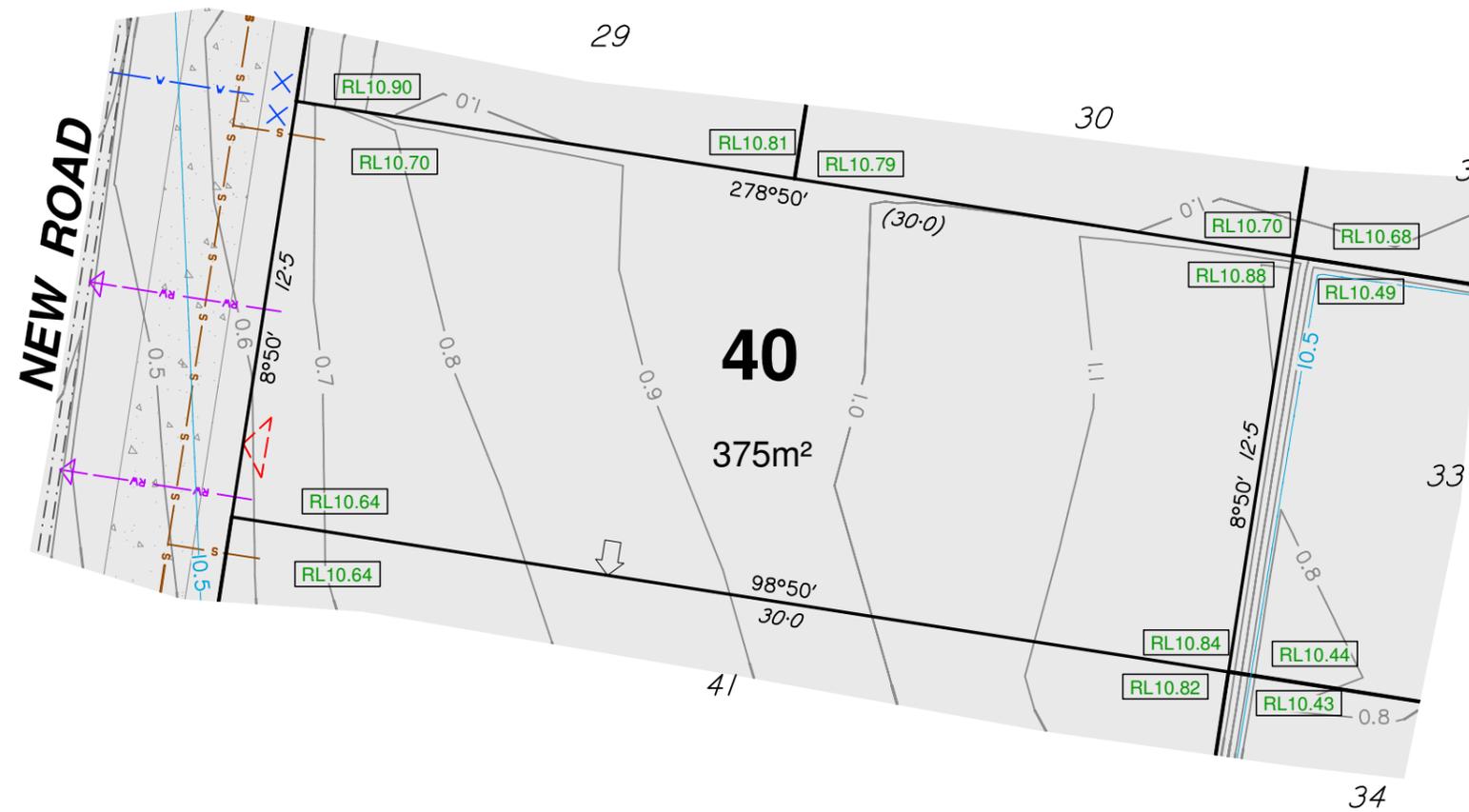
DISCLOSURE PLAN

For Proposed Lot 40
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

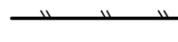
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-40 VERSION C

DISCLOSURE PLAN

For Proposed Lot 41
Village Green - Stage 1

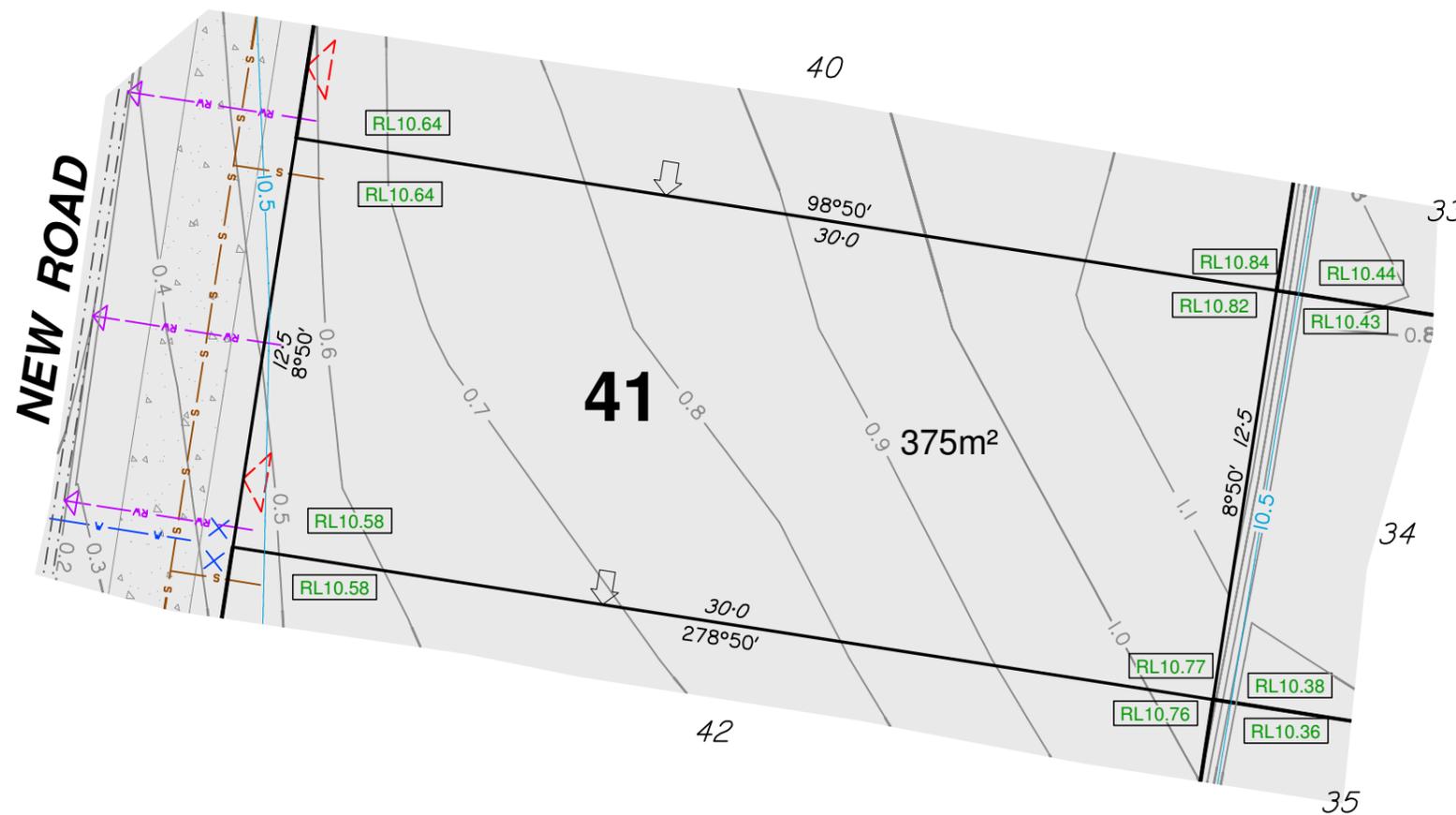
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

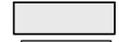
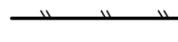
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-41 | VERSION C |
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DISCLOSURE PLAN

For Proposed Lot 42
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
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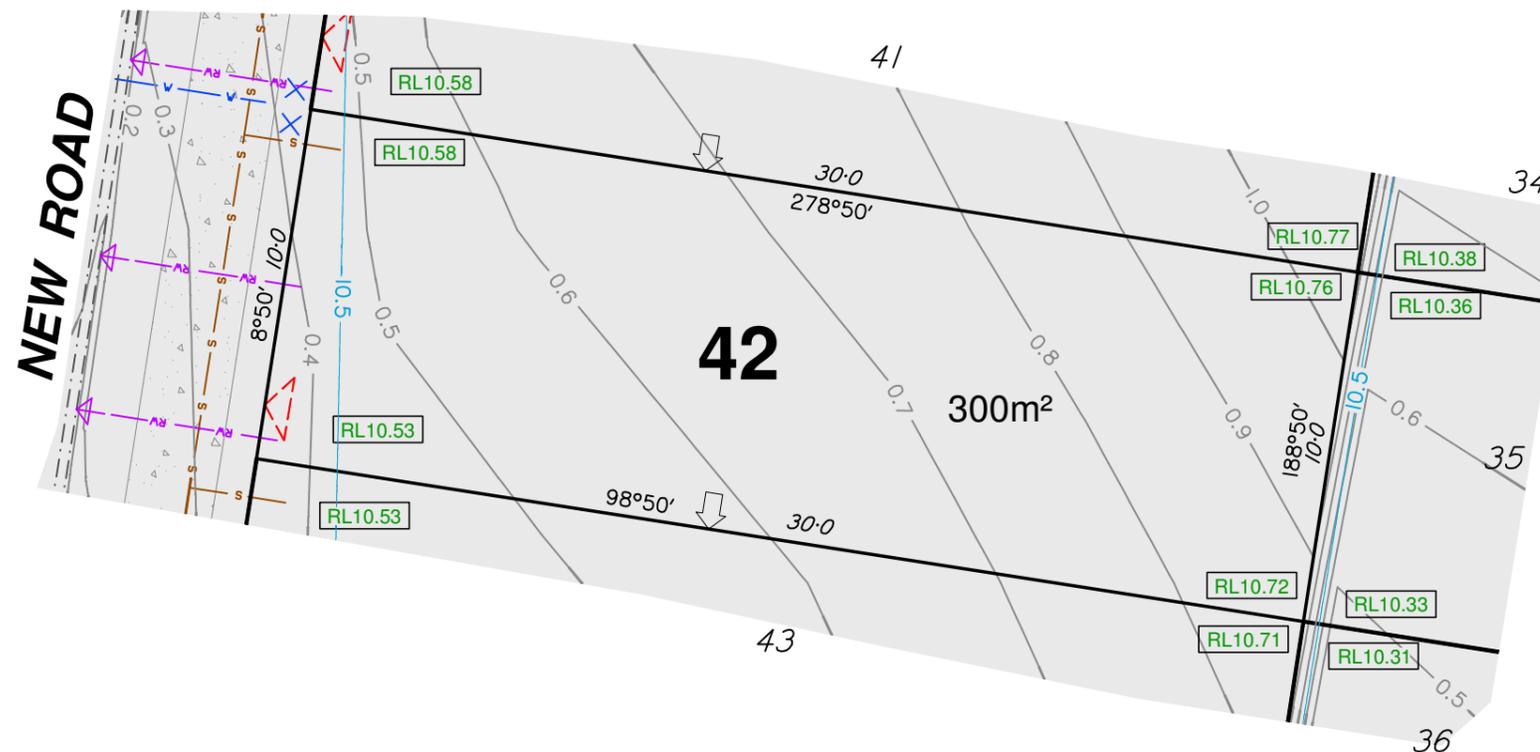
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA


Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-42 VERSION C

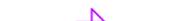


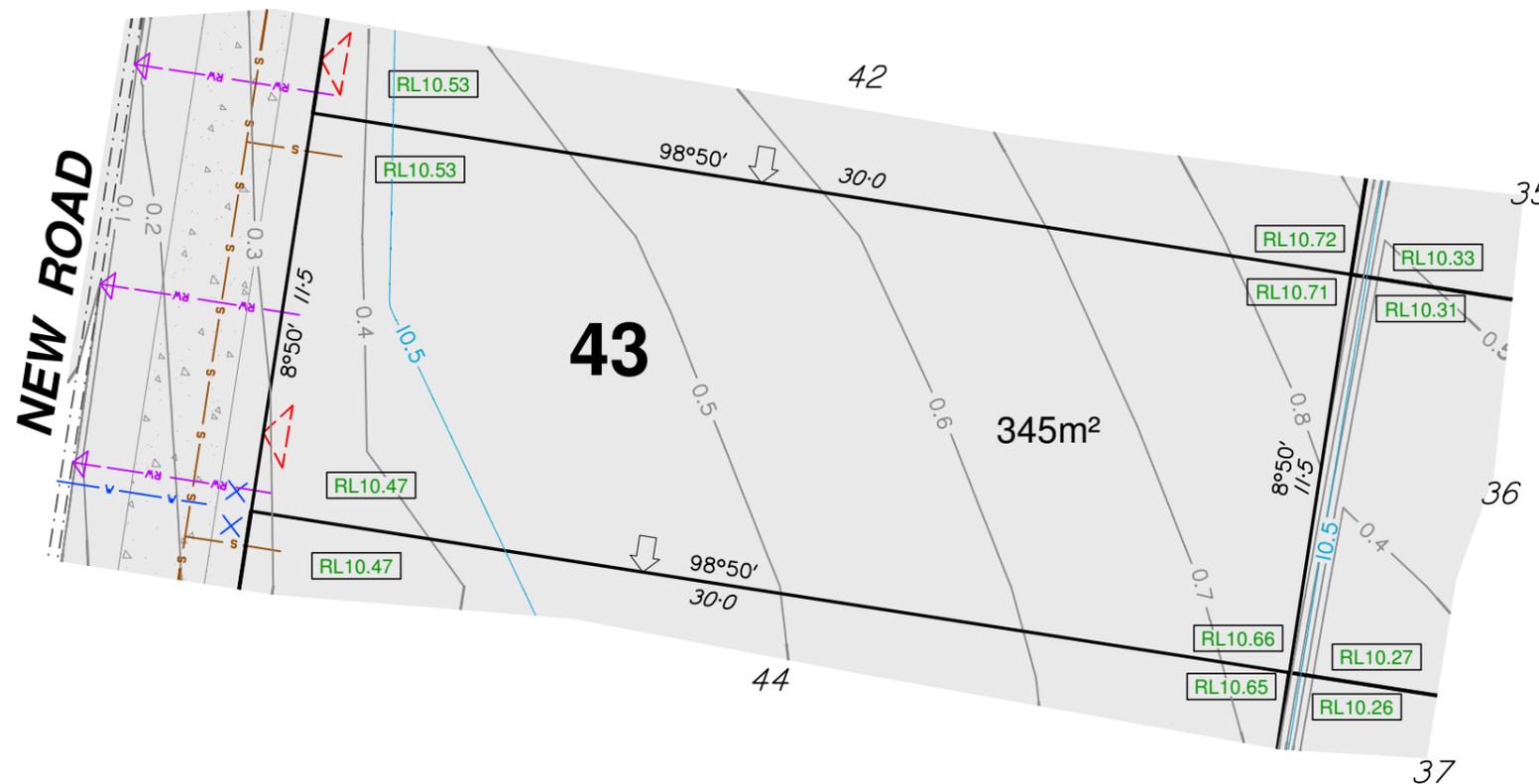
DISCLOSURE PLAN

For Proposed Lot 43
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
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-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
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  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

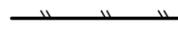
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-43 | VERSION C |
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DISCLOSURE PLAN

For Proposed Lot 44
Village Green - Stage 1

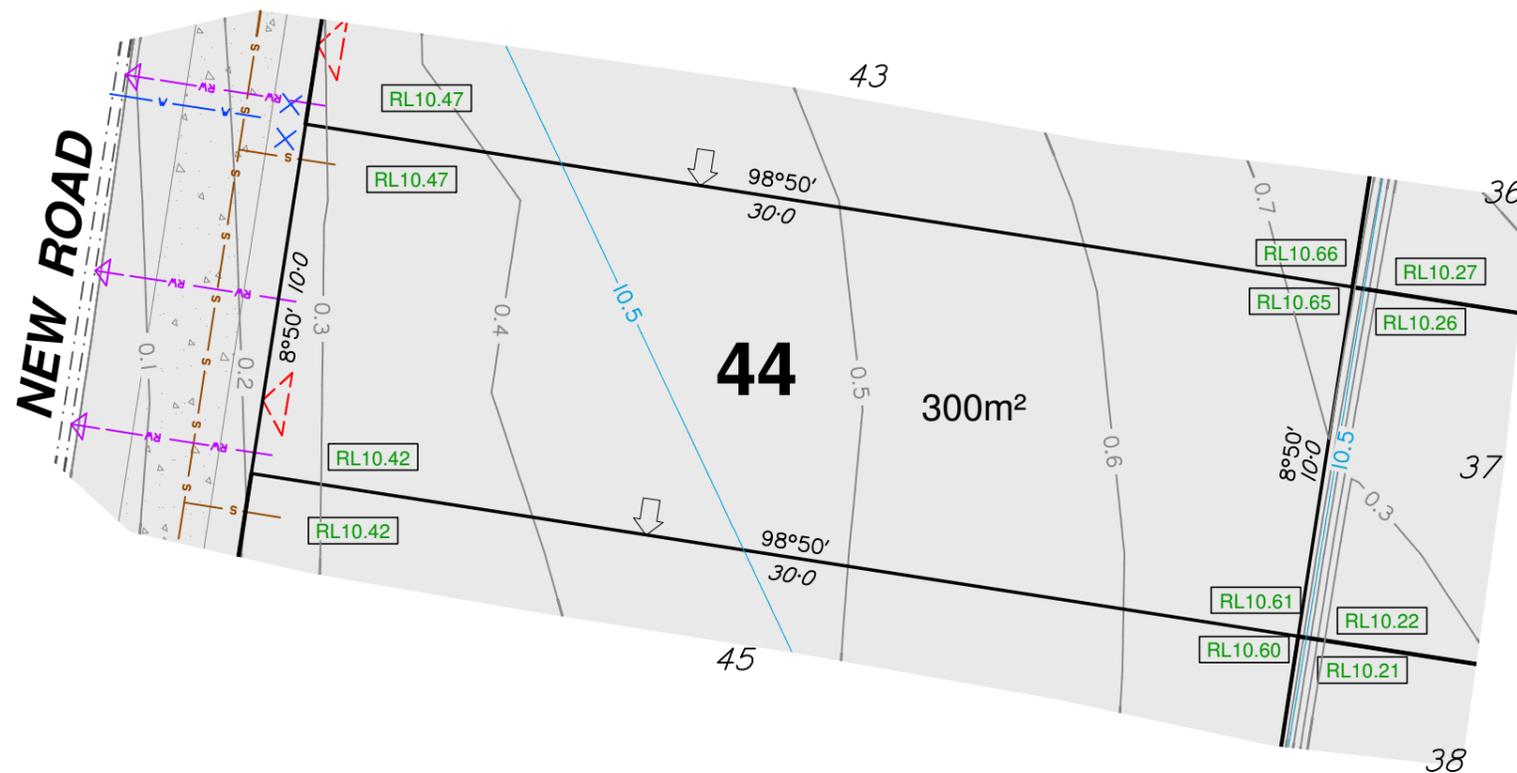
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
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  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

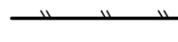
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-44 | VERSION D |
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DISCLOSURE PLAN

For Proposed Lot 45
Village Green - Stage 1

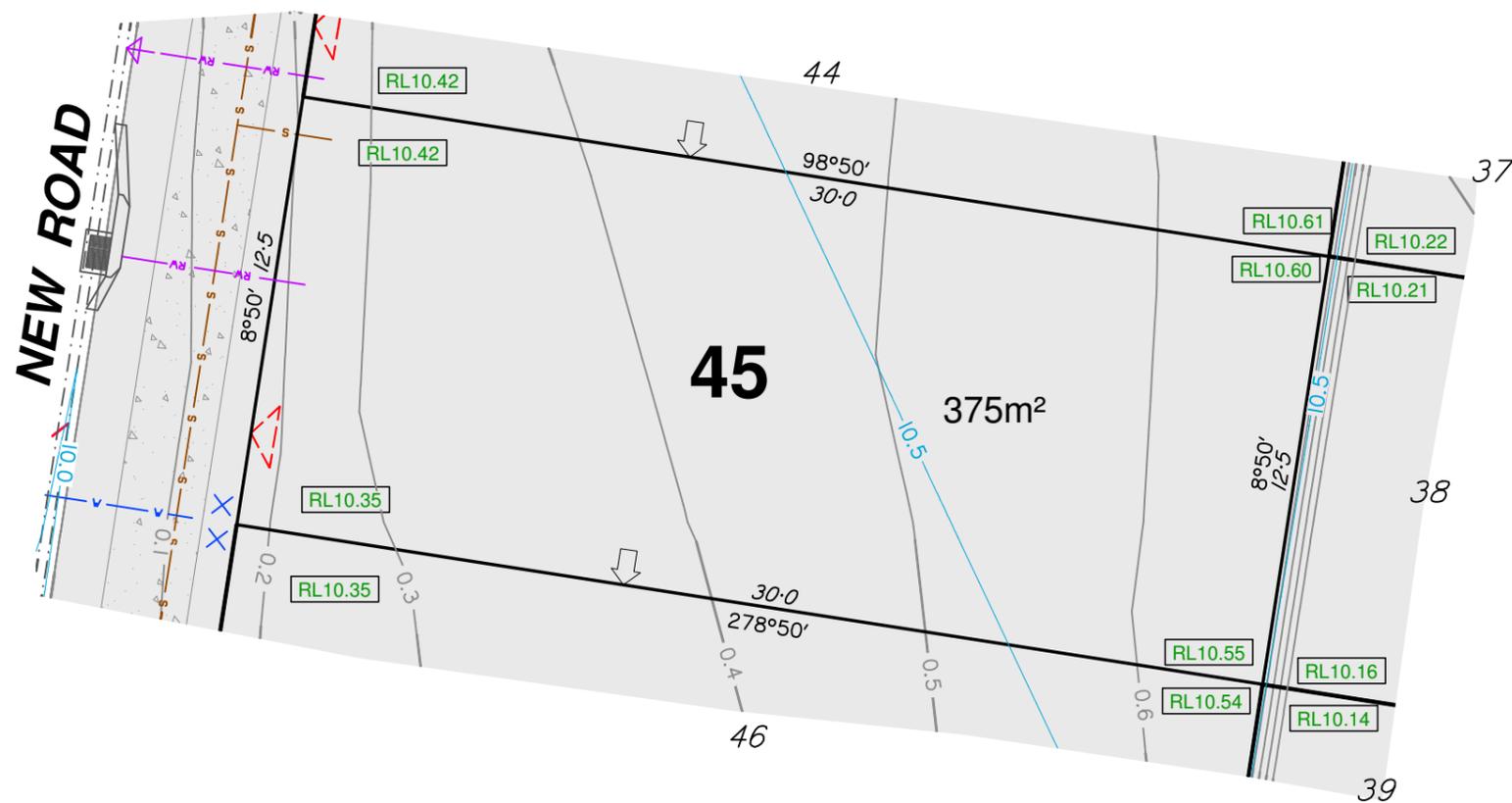
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — ● Sewer/Sewer Manhole
- sv — sv — ⊕ Stormwater/Stormwater Manhole
- v — v — × Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
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- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

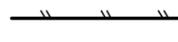
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-45 | VERSION D |
|--------------------------|-----------------------------|--------------|

DISCLOSURE PLAN

For Proposed Lot 46
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
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- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

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village
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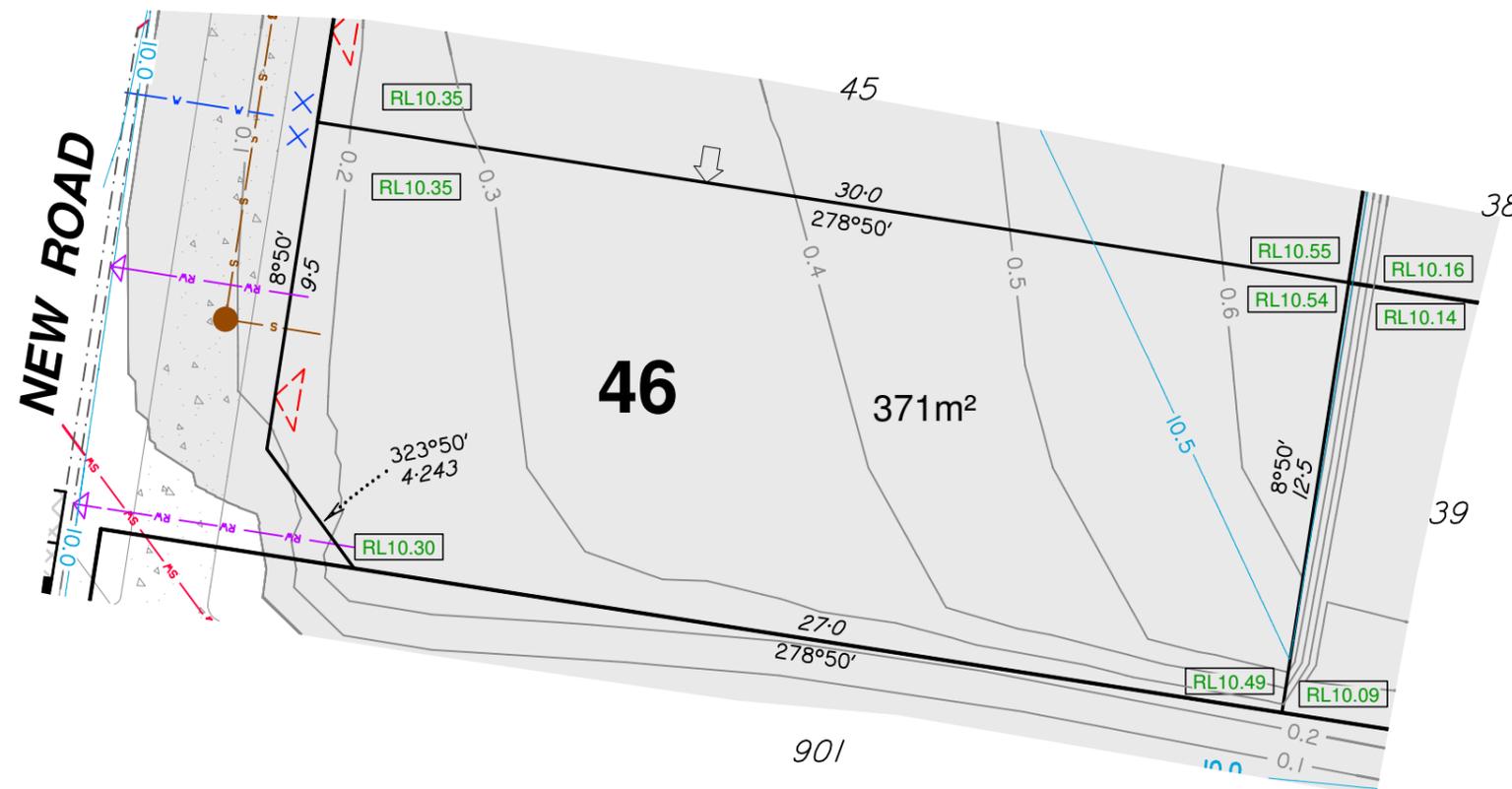
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA


Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-46 VERSION D

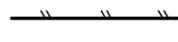


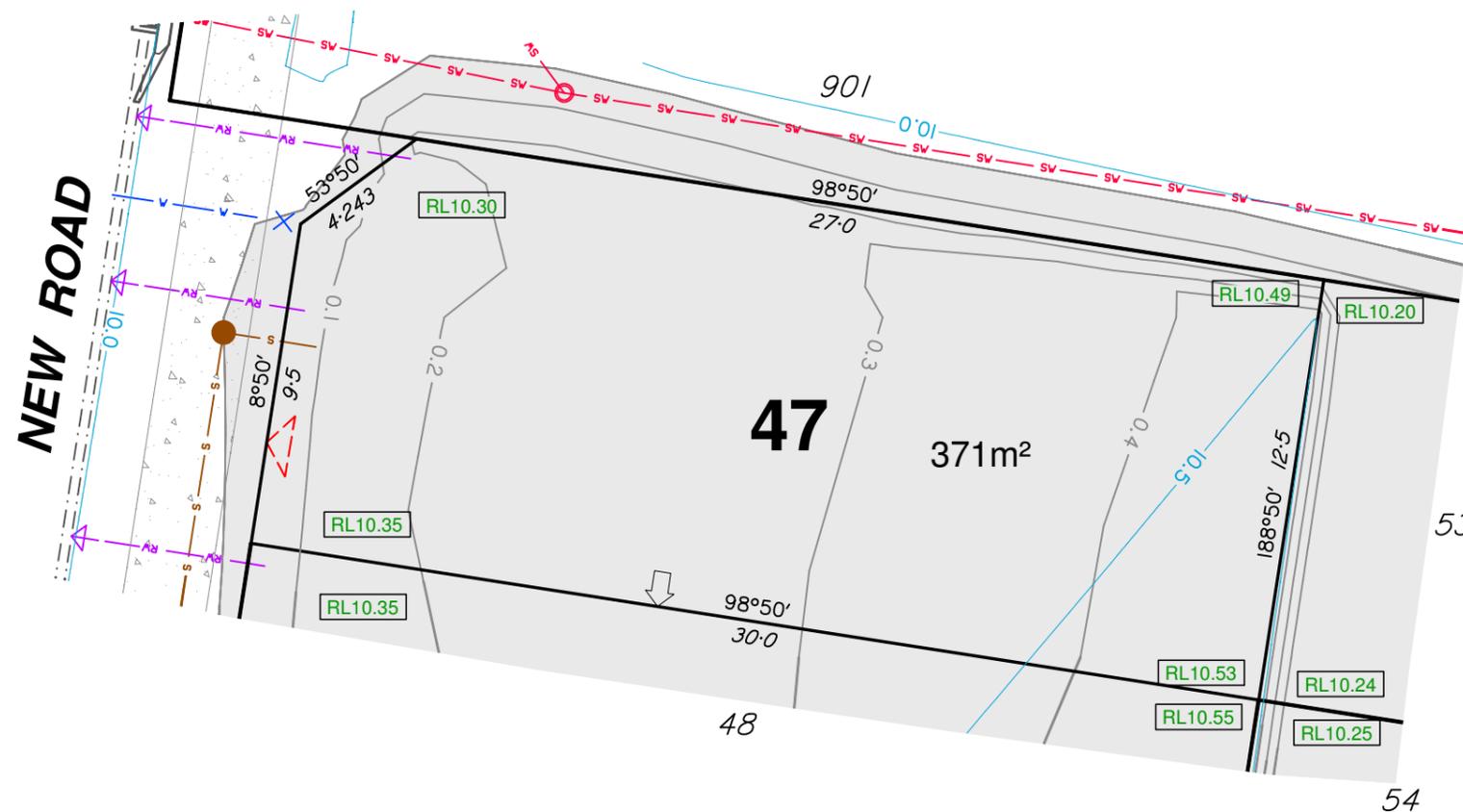
DISCLOSURE PLAN

For Proposed Lot 47
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- — — — — Kerb Line
- s — s Sewer/Sewer Manhole
- sv — sv Stormwater/Stormwater Manhole
- v — v Water/Water Meter
-  Stormwater Gully Trap
- rv — rv Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-47 VERSION C

DISCLOSURE PLAN

For Proposed Lot 48
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s Sewer/Sewer Manhole
- sv — sv Stormwater/Stormwater Manhole
- v — v Water/Water Meter
- Stormwater Gully Trap
- RV — RV Roofwater
- Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Acoustic Fence (Installed by Developer)

Notes:

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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village

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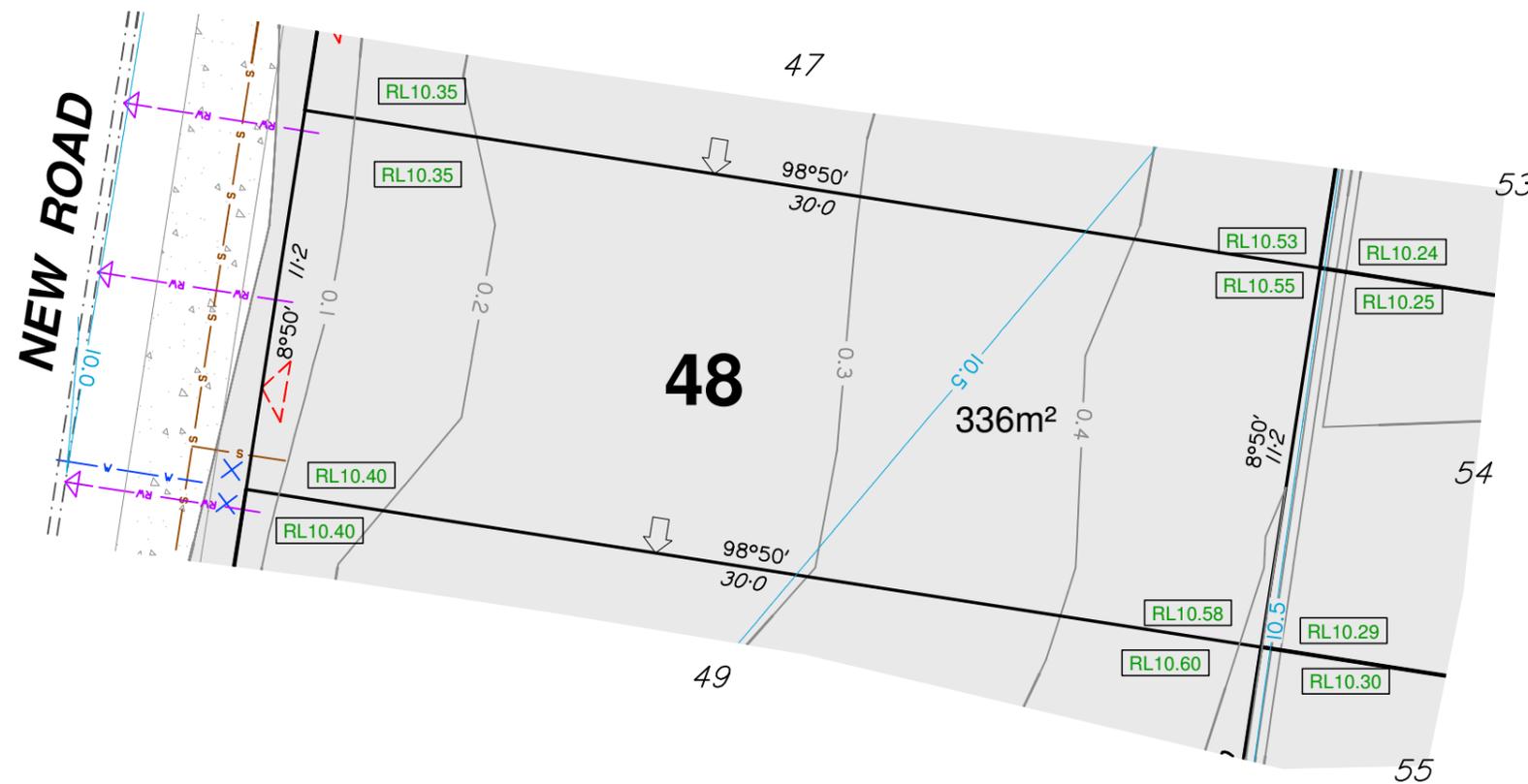
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-48 VERSION C

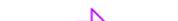
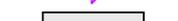


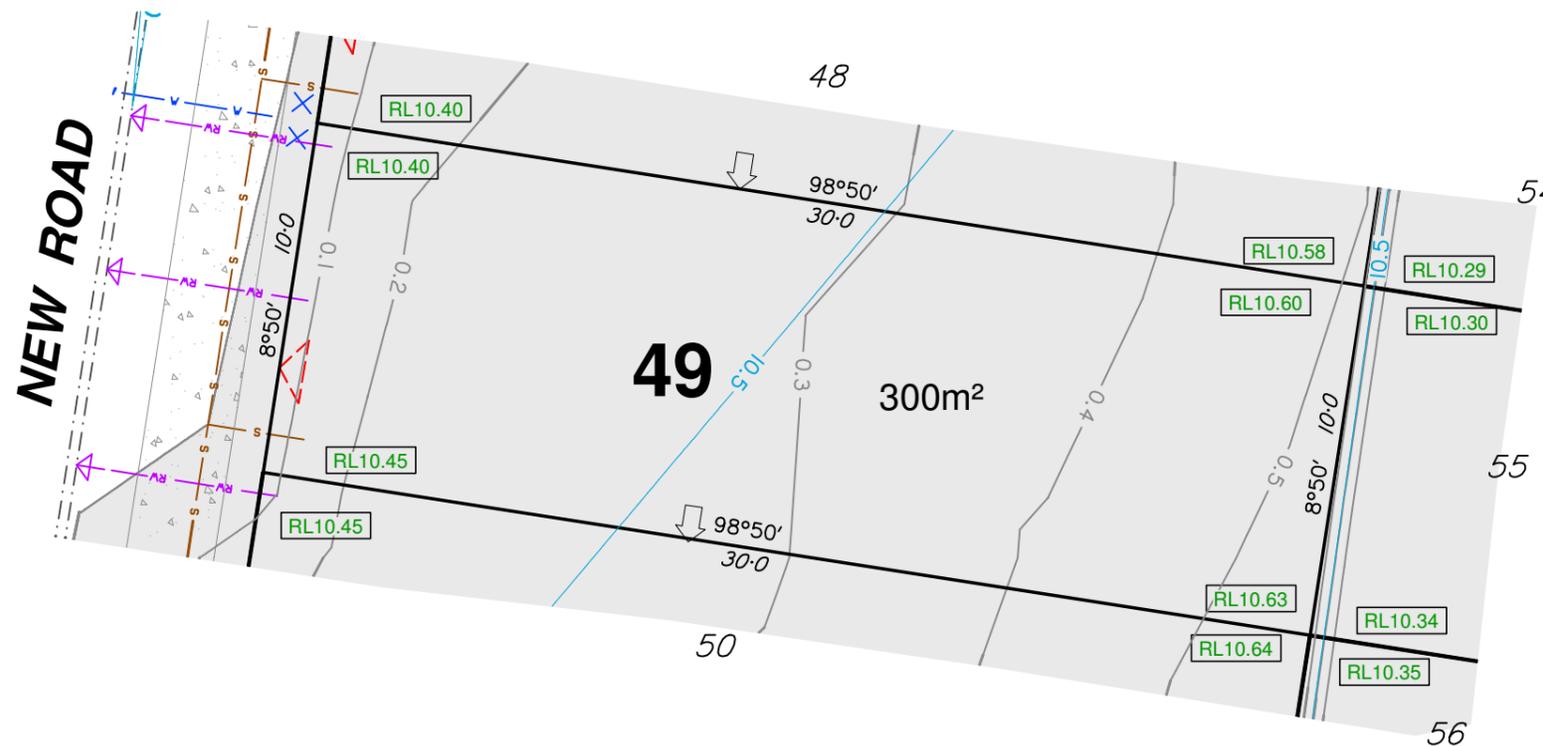
DISCLOSURE PLAN

For Proposed Lot 49
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

1. This note is an integral part of this plan.
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village
GREEN

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consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

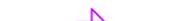
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-49 VERSION C

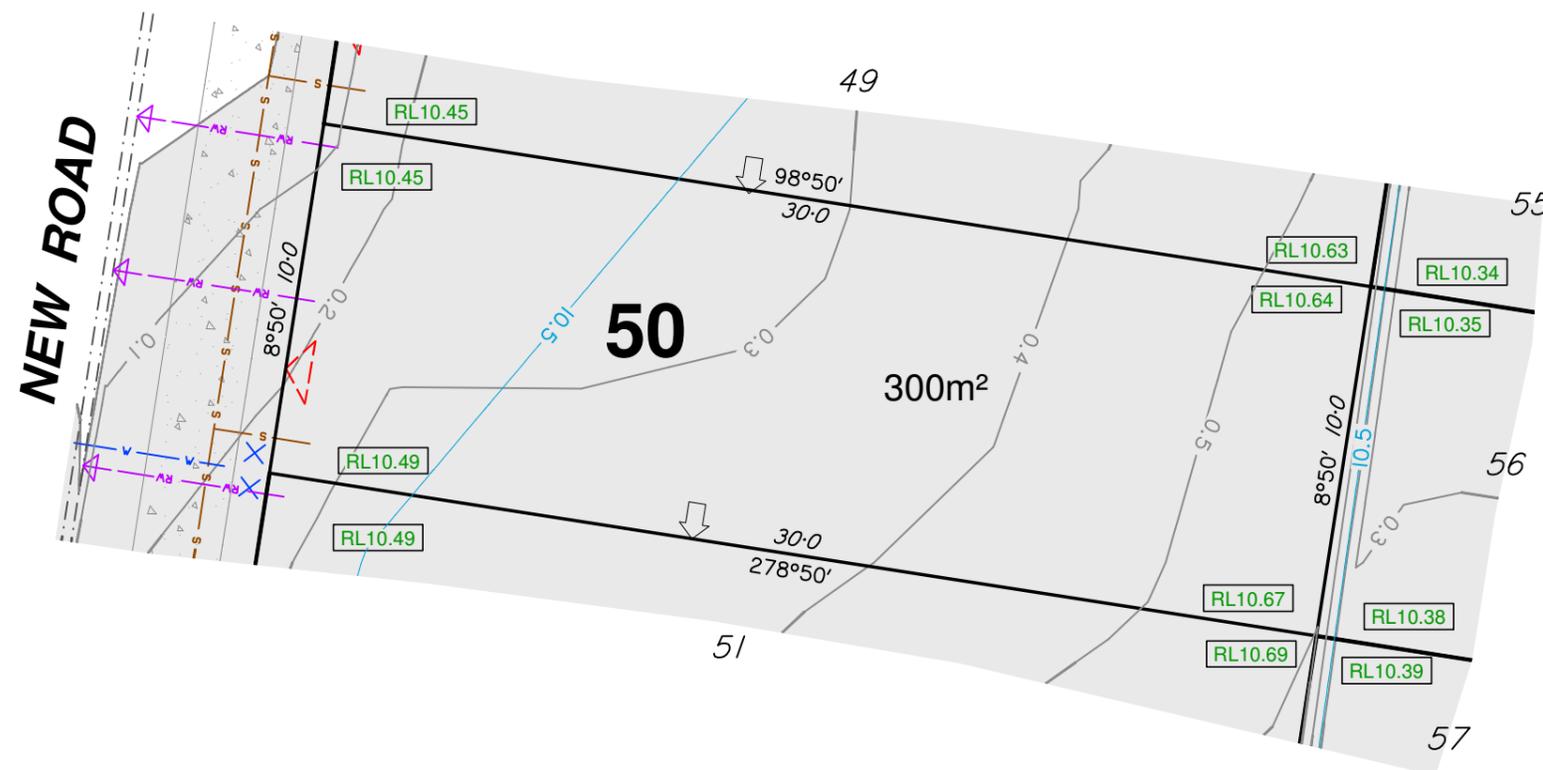
DISCLOSURE PLAN

For Proposed Lot 50
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  Finished Surface Contours (0.5m Interval)
-  Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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Notes:

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village
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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

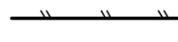
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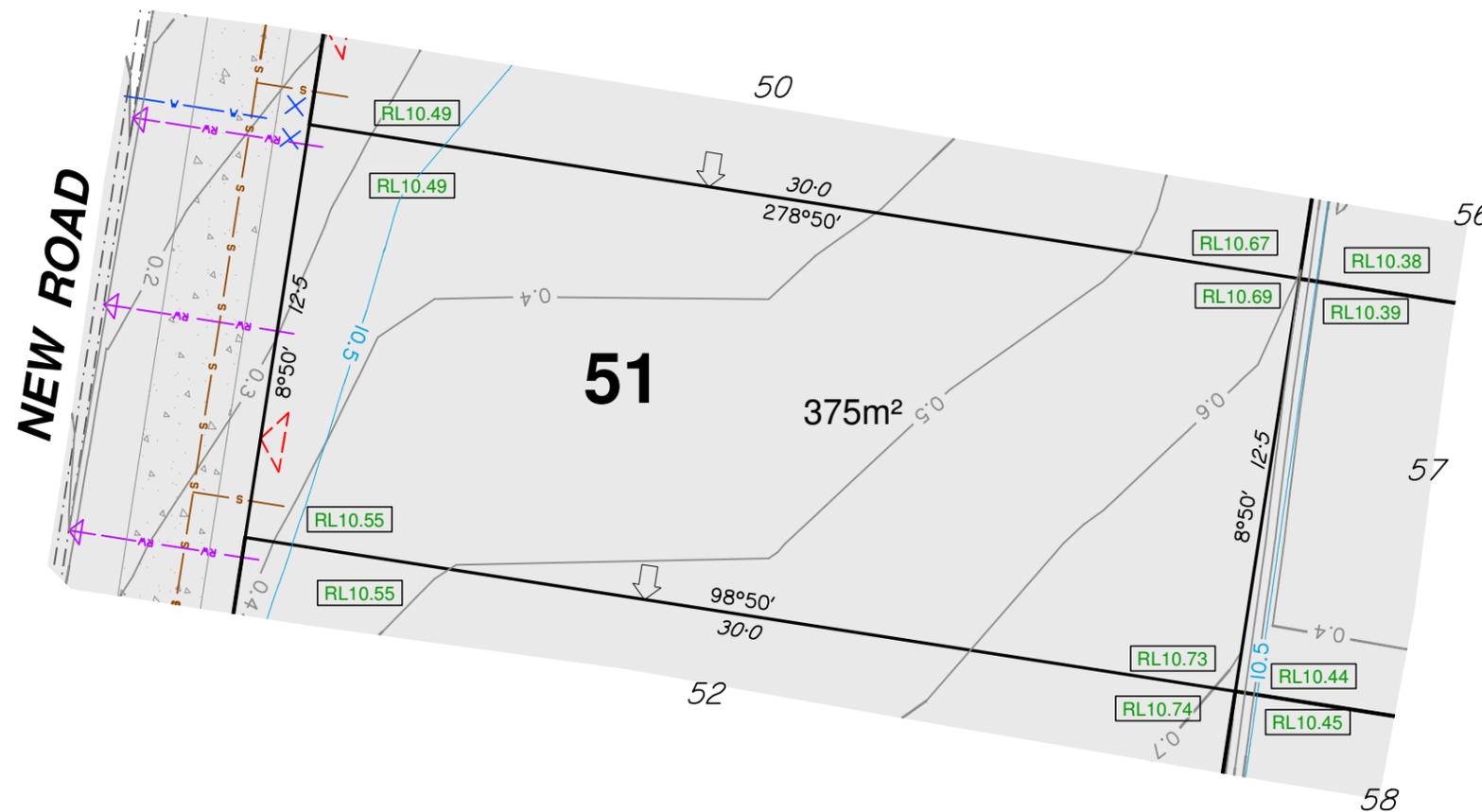
DISCLOSURE PLAN

For Proposed Lot 51
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

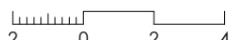
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Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

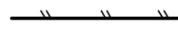
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-51 | VERSION C |
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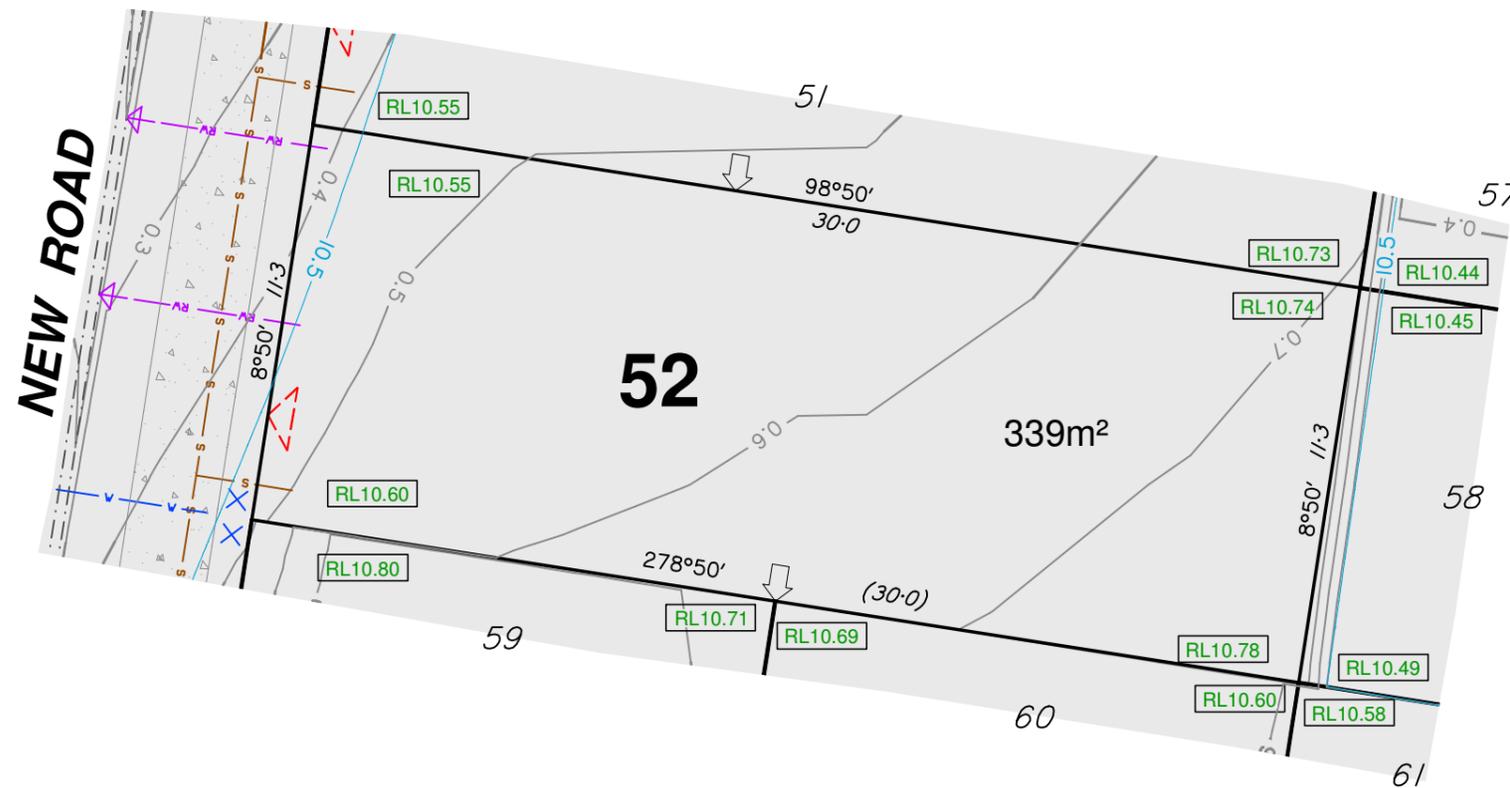
DISCLOSURE PLAN

For Proposed Lot 52
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- RV — RV — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

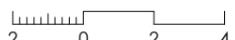
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 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

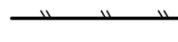
| | | |
|--------------------------|-----------------------------|--------------|
| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-52 | VERSION C |
|--------------------------|-----------------------------|--------------|

DISCLOSURE PLAN

For Proposed Lot 53
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
- RL57.32 Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

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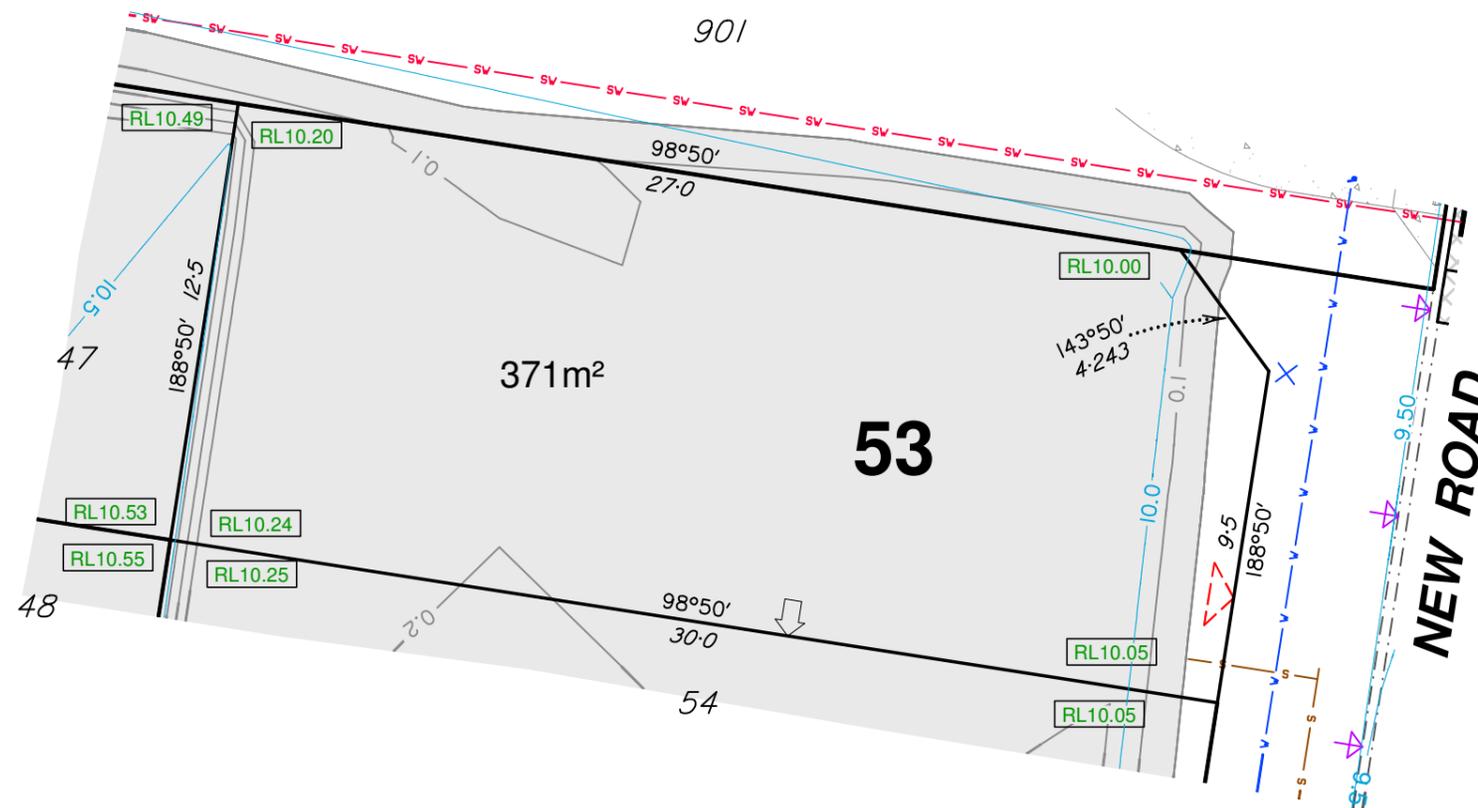
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA


Scale 1:200 @A3

LEVEL DATUM
AHD.

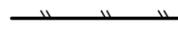
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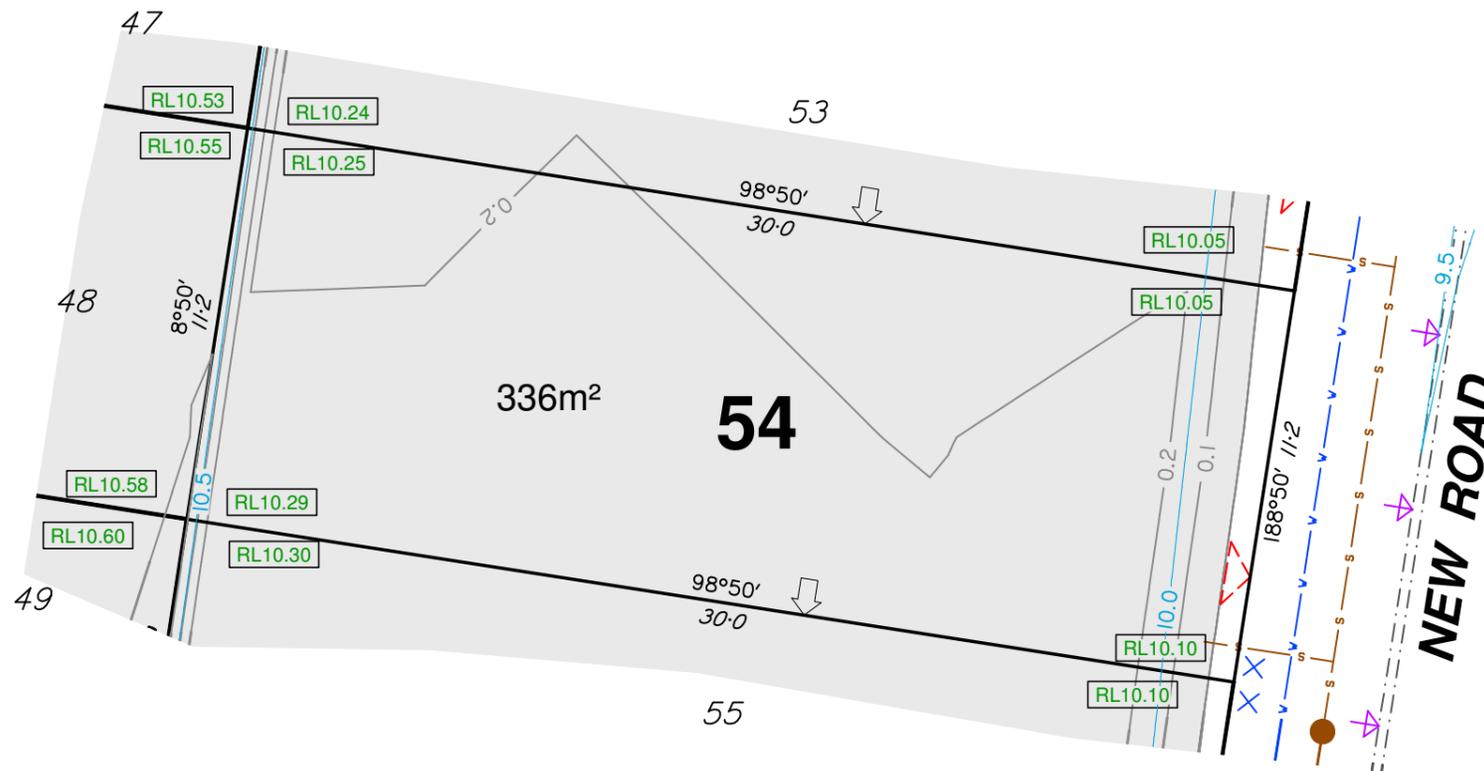


DISCLOSURE PLAN

For Proposed Lot 54
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.5m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - · — · — · — Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - v — v — Water/Water Meter
 -  Stormwater Gully Trap
 - rv — rv — Roofwater
 -  Kerb Adapter
 -  Area to be Filled
 - RL57.32 Design Pad Level
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Acoustic Fence (Installed by Developer)



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  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

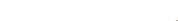
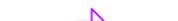
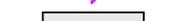
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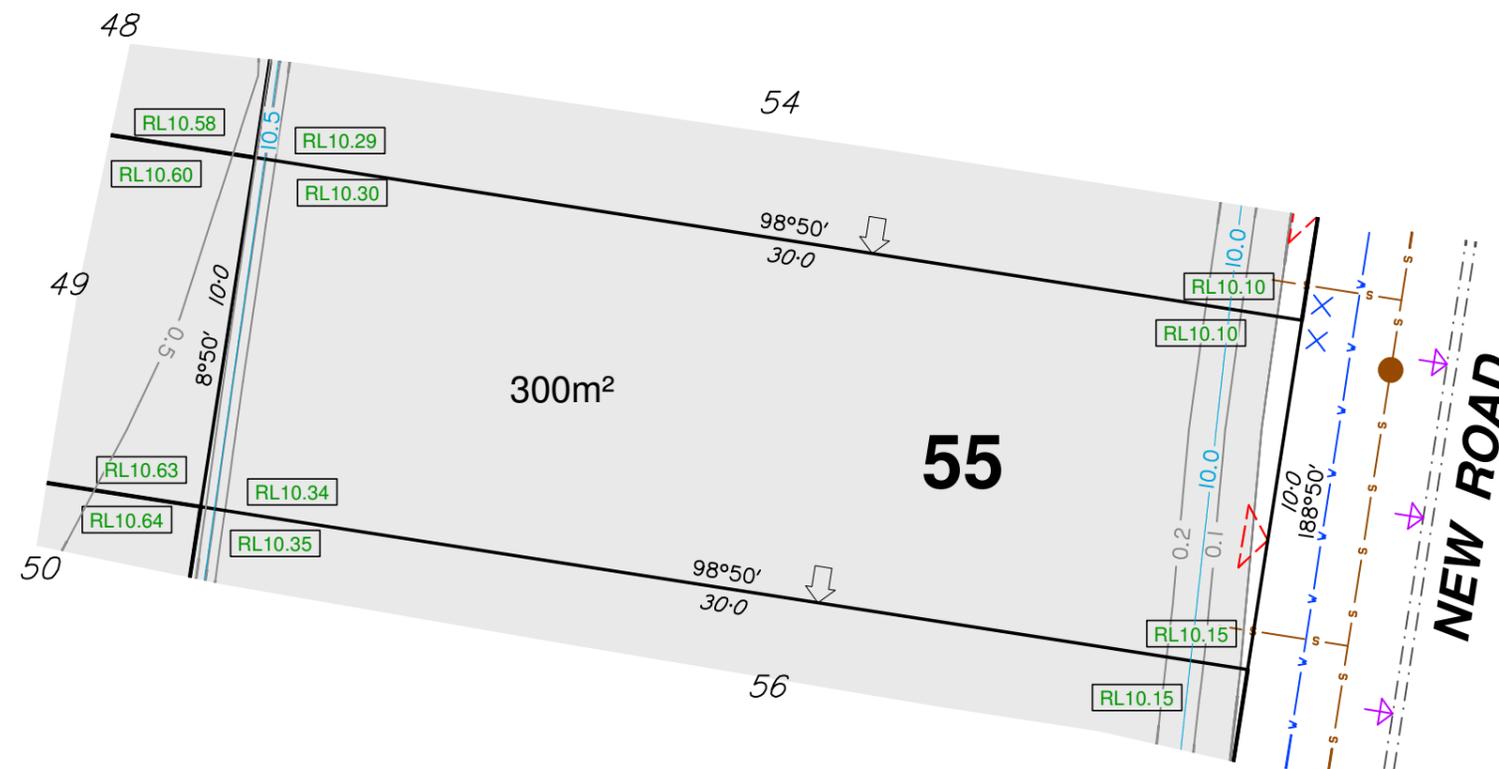
DISCLOSURE PLAN

For Proposed Lot 55
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

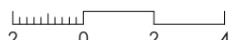
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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

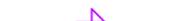
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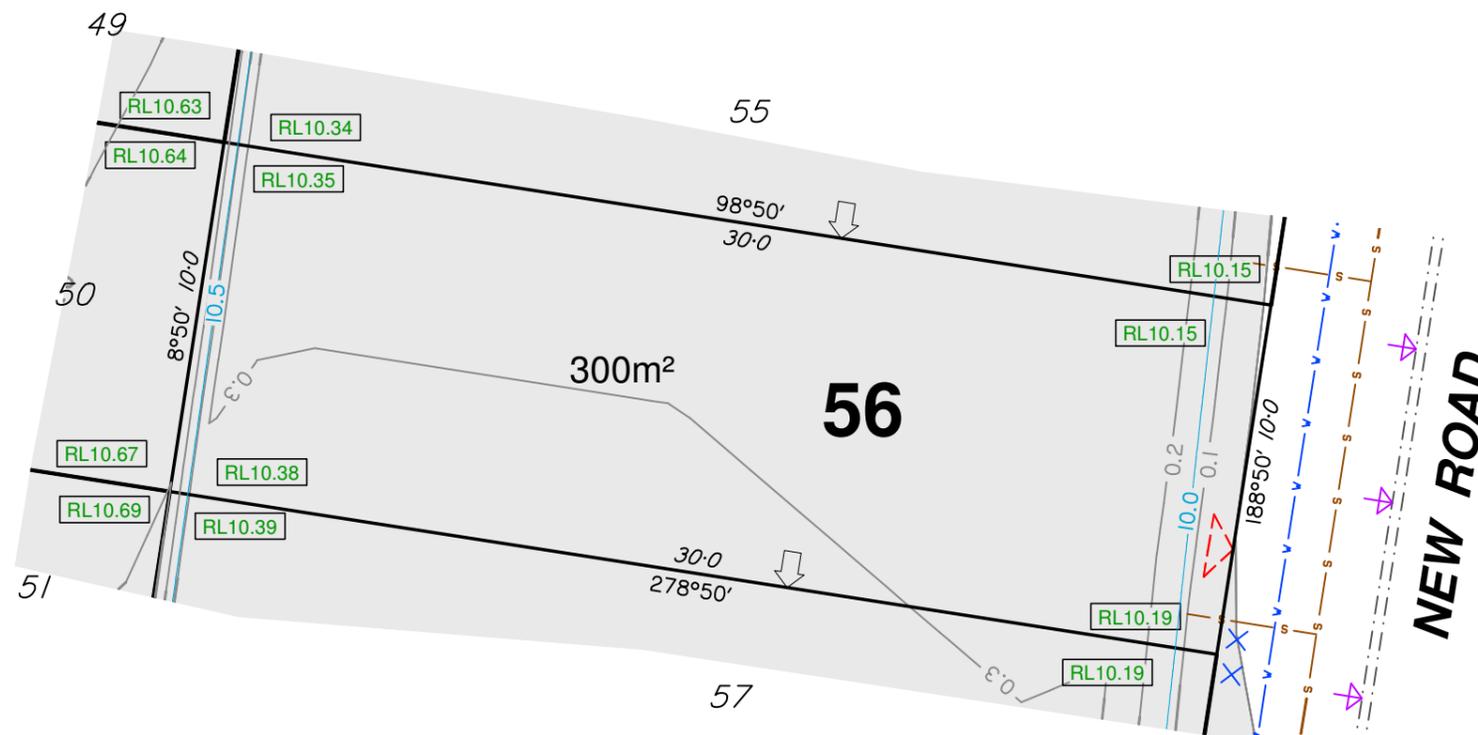
DISCLOSURE PLAN

For Proposed Lot 56
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  Finished Surface Contours (0.5m Interval)
-  Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

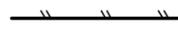
LEVEL DATUM
AHD.

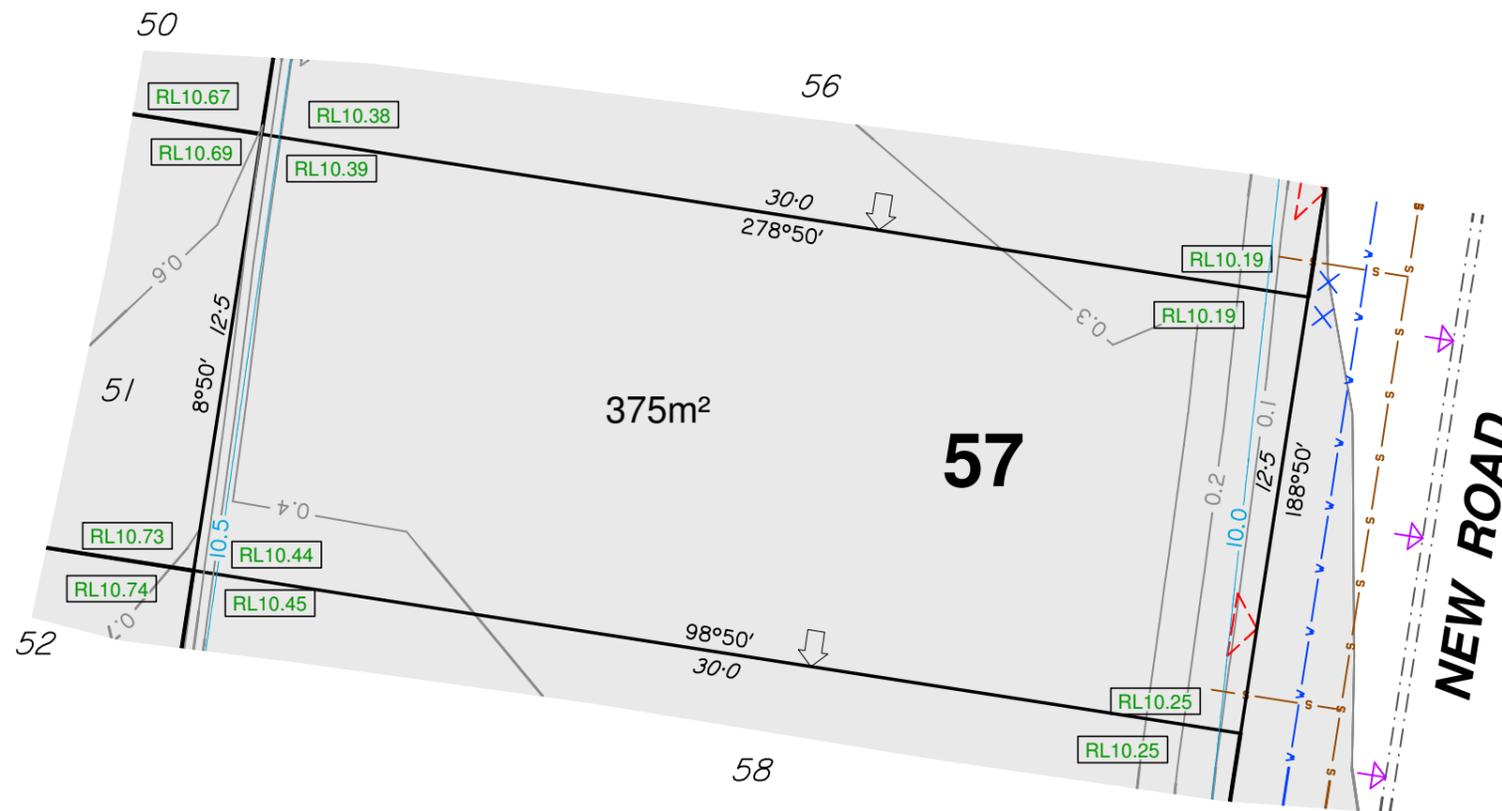
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-56 VERSION C

DISCLOSURE PLAN

For Proposed Lot 57
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.5m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - — — — — Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - v — v — Water/Water Meter
 -  Stormwater Gully Trap
 - rv — rv — Roofwater
 -  Kerb Adapter
 -  Area to be Filled
 - RL57.32 Design Pad Level
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Acoustic Fence (Installed by Developer)



- Notes:**
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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

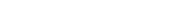
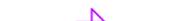
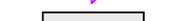
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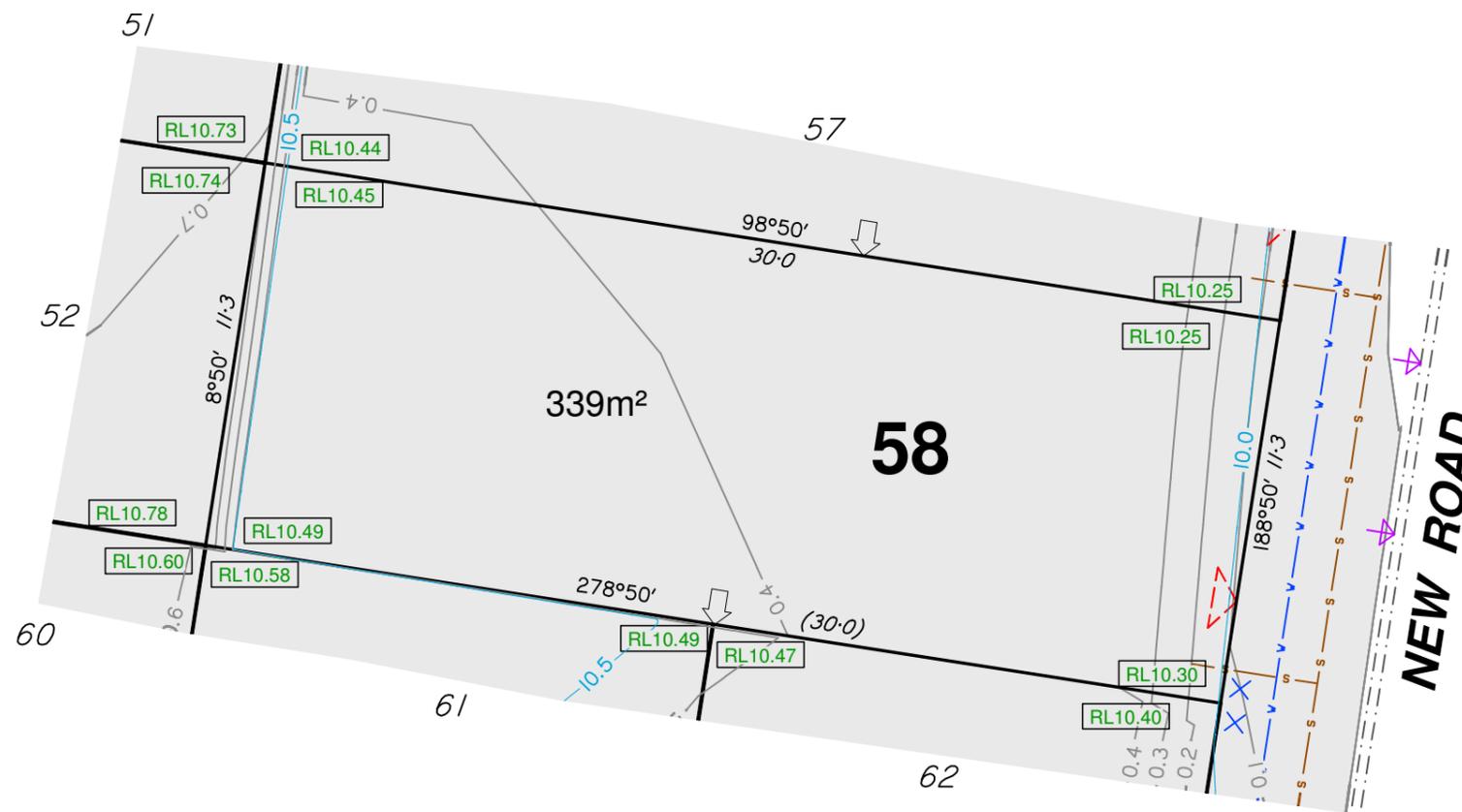
DISCLOSURE PLAN

For Proposed Lot 58
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
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-  Kerb Adapter
-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

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village
GREEN

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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

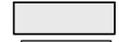
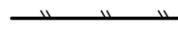
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-58 | VERSION C |
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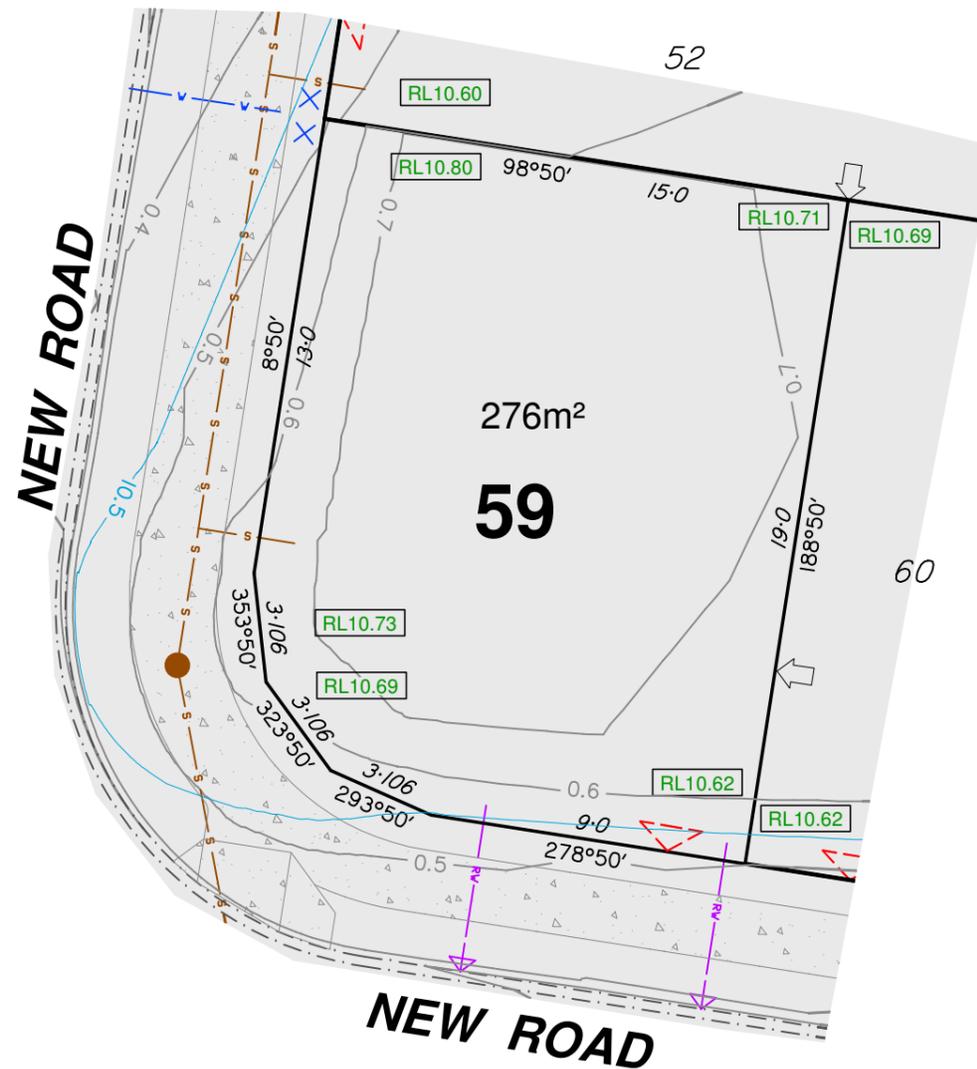
DISCLOSURE PLAN

For Proposed Lot 59
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village
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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

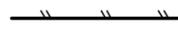
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-59 VERSION C

DISCLOSURE PLAN

For Proposed Lot 60
Village Green - Stage 1

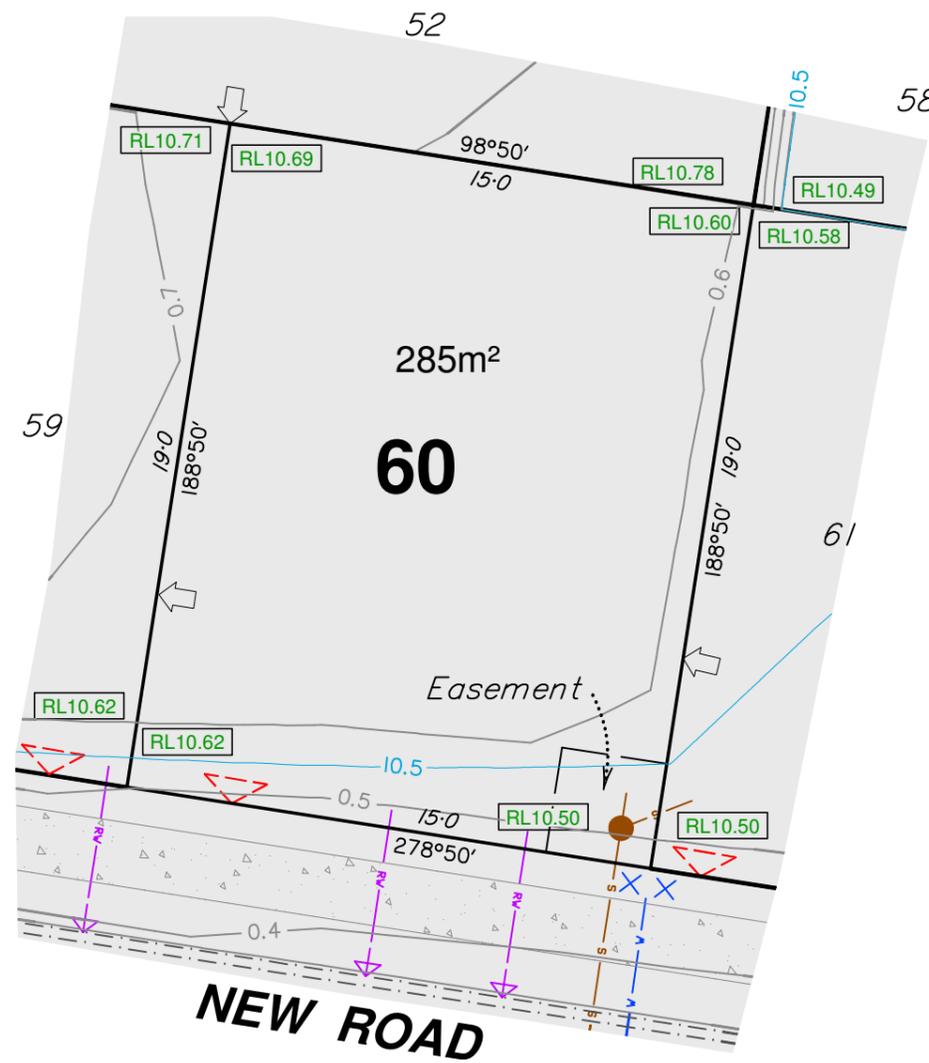
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
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Notes:

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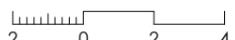


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 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

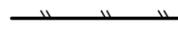
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| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-60 | VERSION C |
|--------------------------|-----------------------------|--------------|

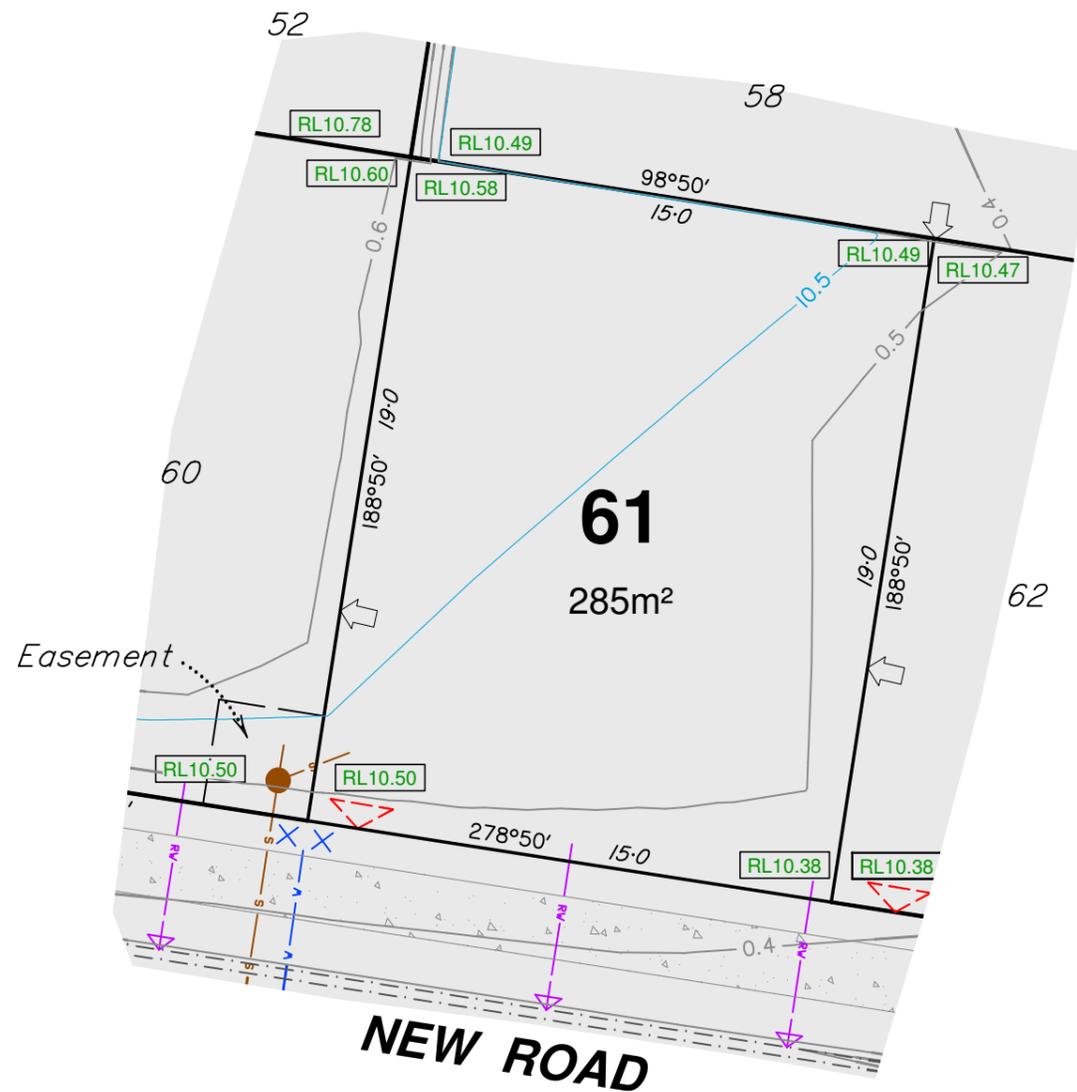
DISCLOSURE PLAN

For Proposed Lot 61
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
-  Stormwater Gully Trap
- rv — rv — Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)



Notes:

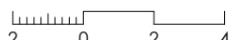
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  Environment
  Surveying

HORIZONTAL MERIDIAN
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 Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-61 VERSION C

DISCLOSURE PLAN

For Proposed Lot 62
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 — Finished Surface Contours (0.5m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- — — — — Easement Boundary
- · — · — · — Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- v — v — Water/Water Meter
- Stormwater Gully Trap
- rv — rv — Roofwater
- Kerb Adapter
- Area to be Filled
- RL57.32 Design Pad Level
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Acoustic Fence (Installed by Developer)

Notes:

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Scale 1:200 @A3

LEVEL DATUM
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|--------------------------|-----------------------------|--------------|
| DATE DRAWN 13-08-2019 | DRAWING NO. SS3787-02-62 | VERSION C |
|--------------------------|-----------------------------|--------------|

DISCLOSURE PLAN

For Proposed Lot 63
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)

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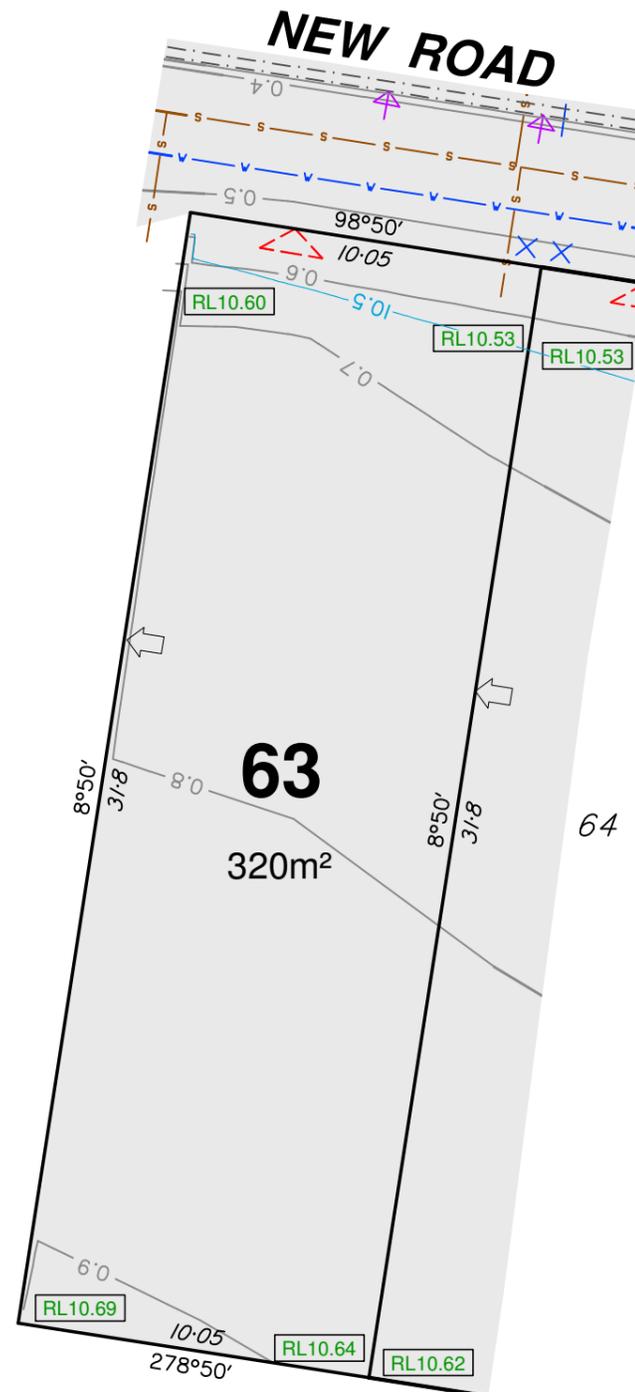
Planning
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 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3

LEVEL DATUM
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DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-63 VERSION C



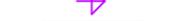
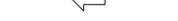
Future Stage

DISCLOSURE PLAN

For Proposed Lot 64
Village Green - Stage 1

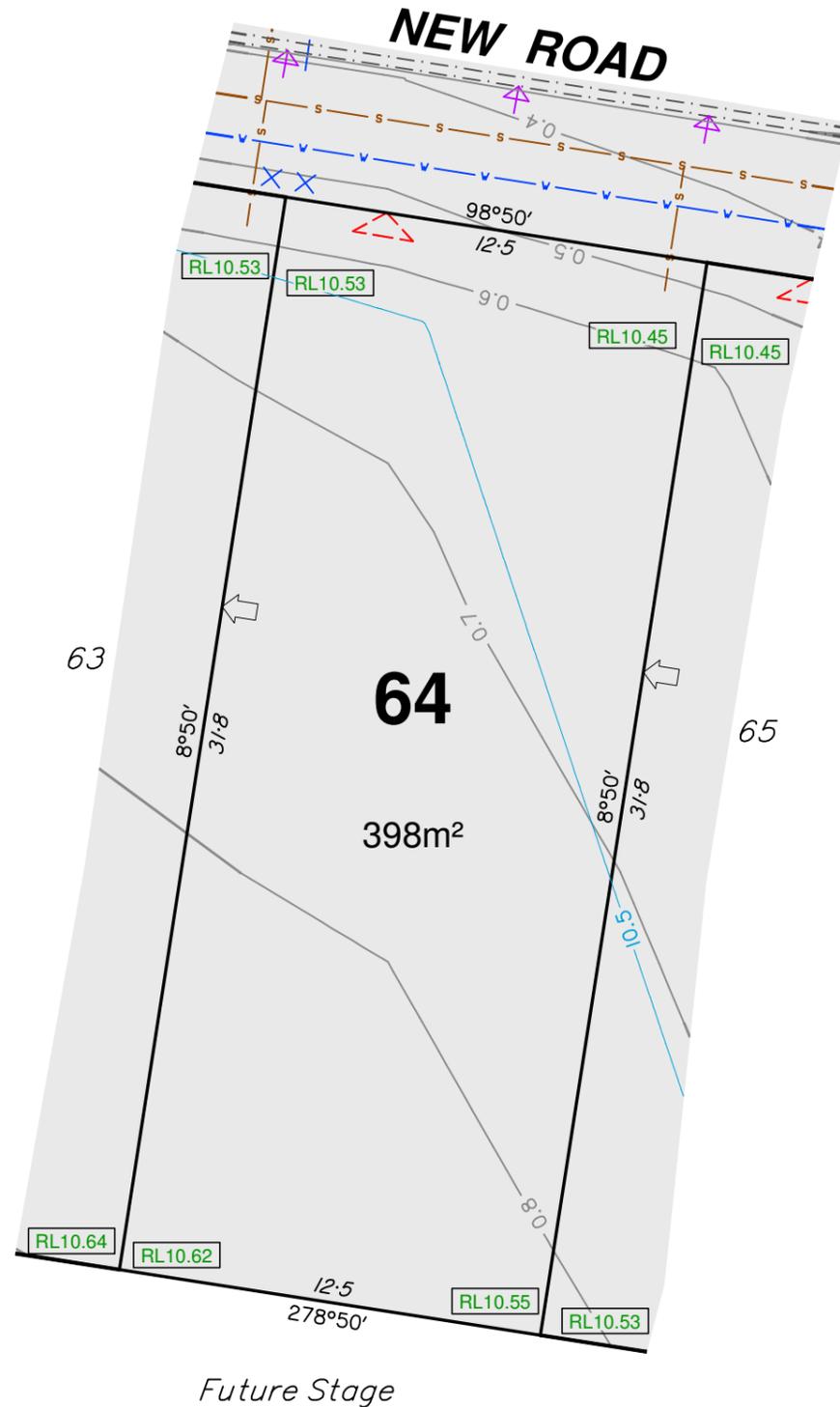
Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
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-  Area to be Filled
-  Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (installed by Developer)

Notes:

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HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

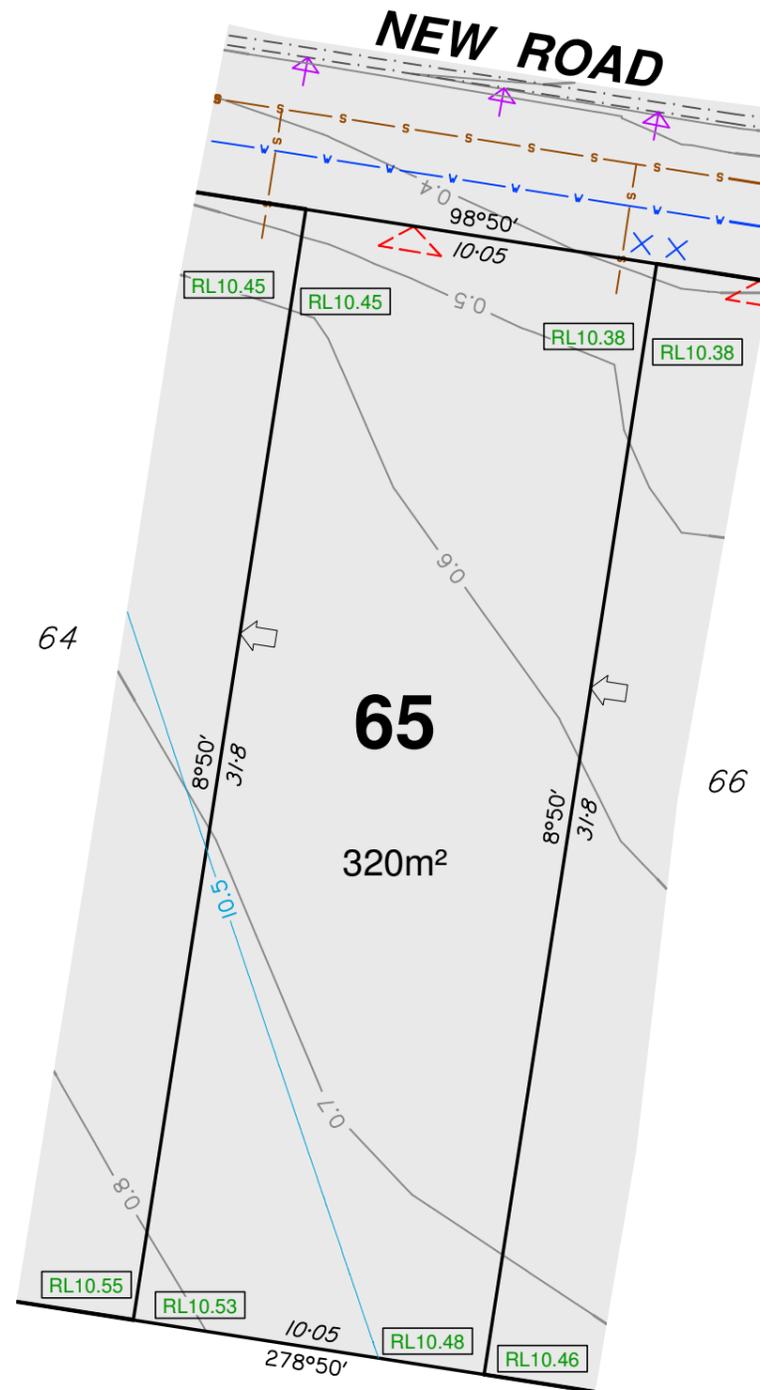
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DISCLOSURE PLAN

For Proposed Lot 65
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Acoustic Fence (Installed by Developer)



Future Stage

- Notes:**
1. This note is an integral part of this plan.
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

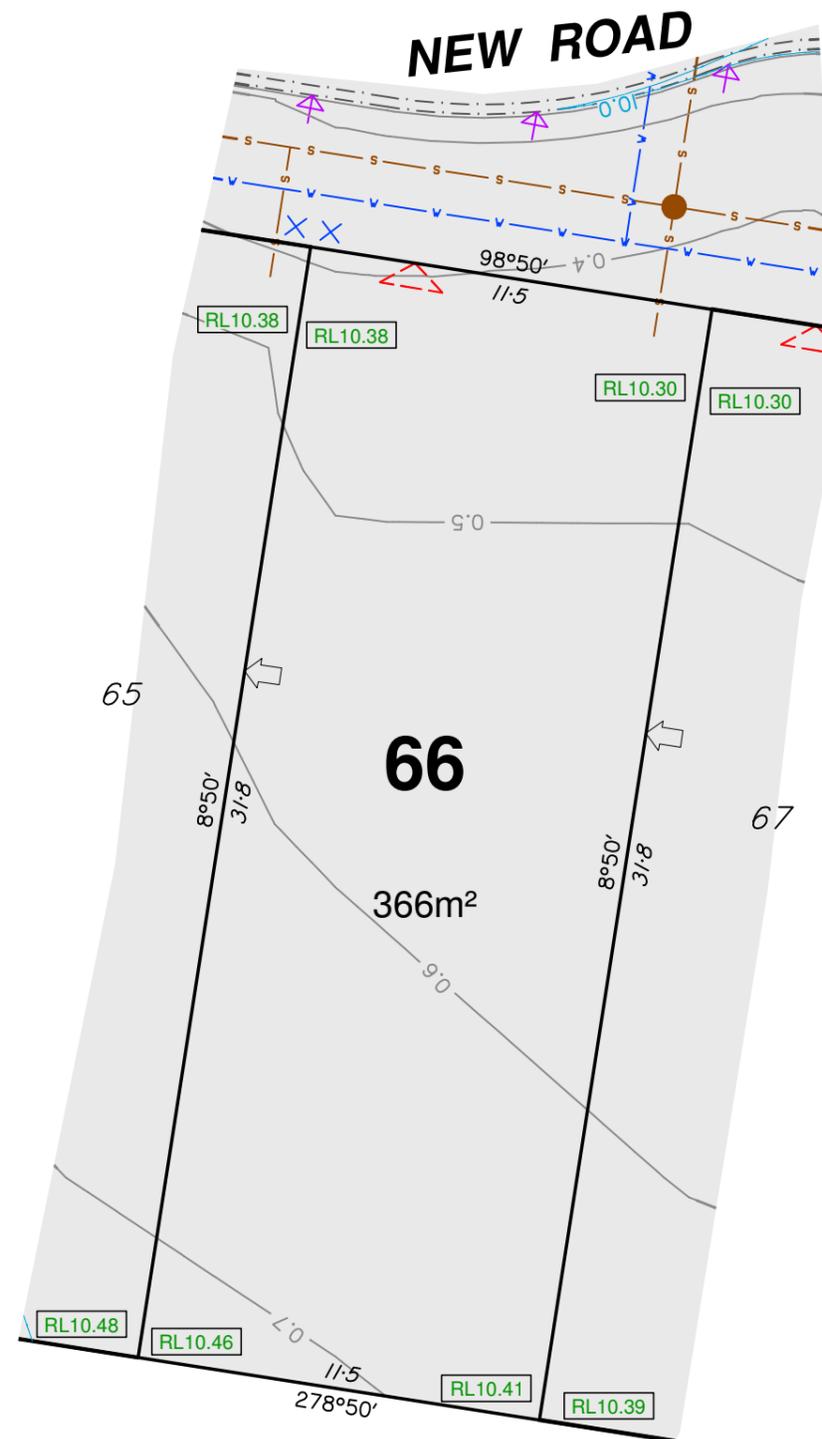
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-65 VERSION C

DISCLOSURE PLAN

For Proposed Lot 66
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- Finished Surface Contours (0.5m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
 - Kerb Adapter
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 - Design Pad Level
 - Proposed Driveway
 - Zero Lot Line Boundary
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3
LEVEL DATUM
AHD.

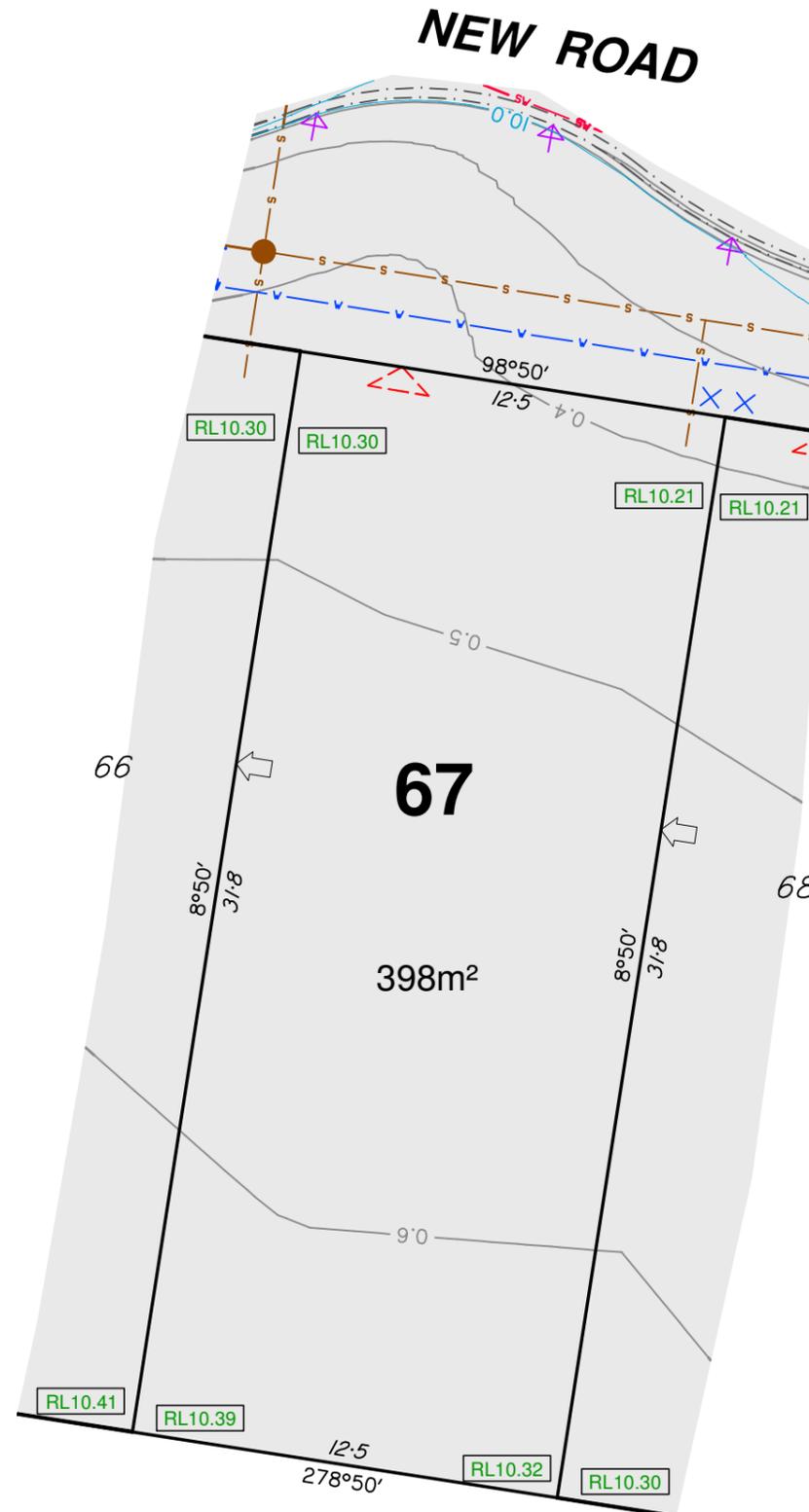
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-66 VERSION C

DISCLOSURE PLAN

For Proposed Lot 67
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
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- Notes:**
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village
GREEN

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

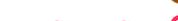
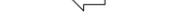
DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-67 VERSION C

DISCLOSURE PLAN

For Proposed Lot 68
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

-  46.0 Finished Surface Contours (0.5m Interval)
-  1.0 Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Water/Water Meter
-  Stormwater Gully Trap
-  Roofwater
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-  Area to be Filled
-  Design Pad Level
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-  Zero Lot Line Boundary
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GREEN

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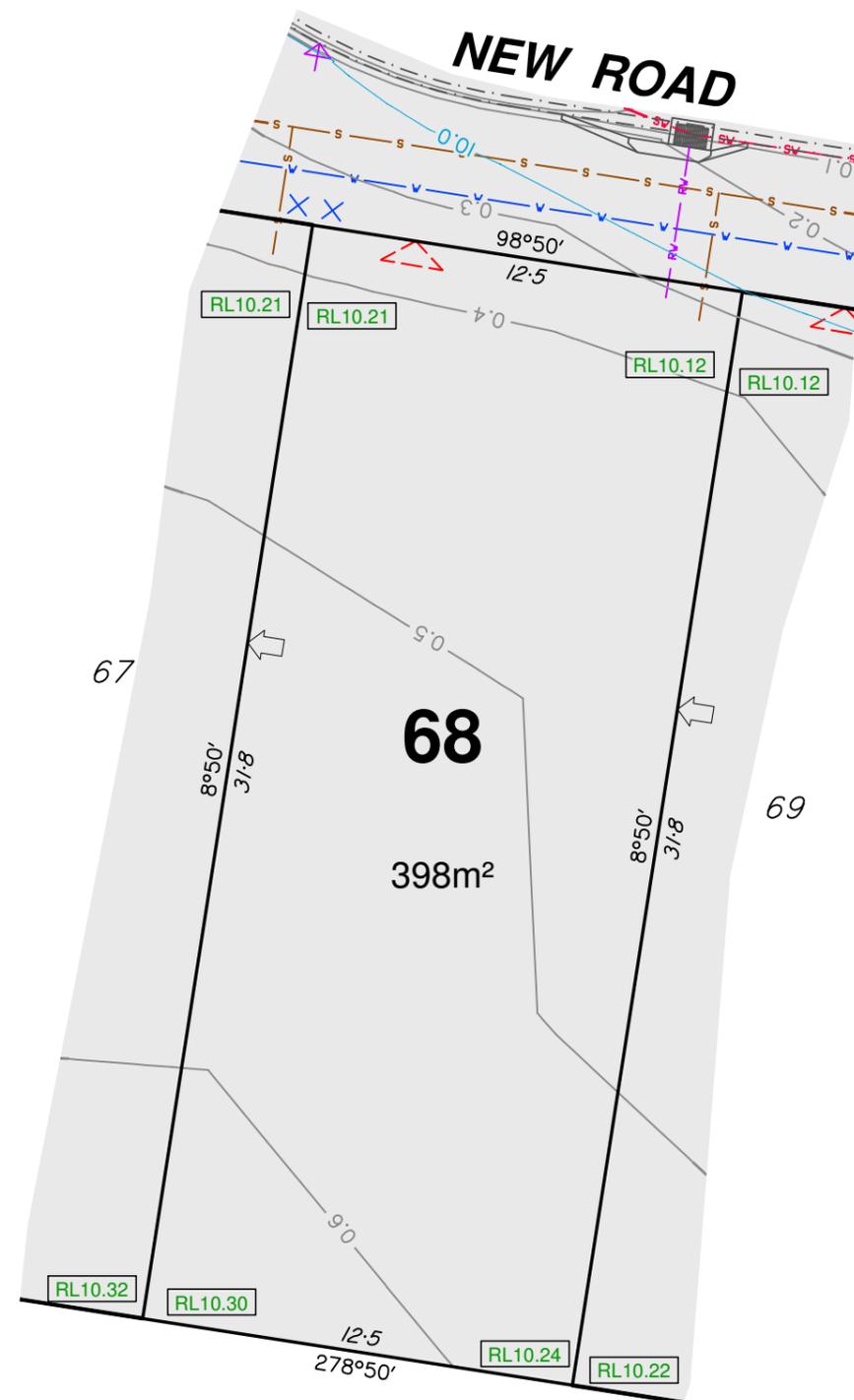
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-68 VERSION C



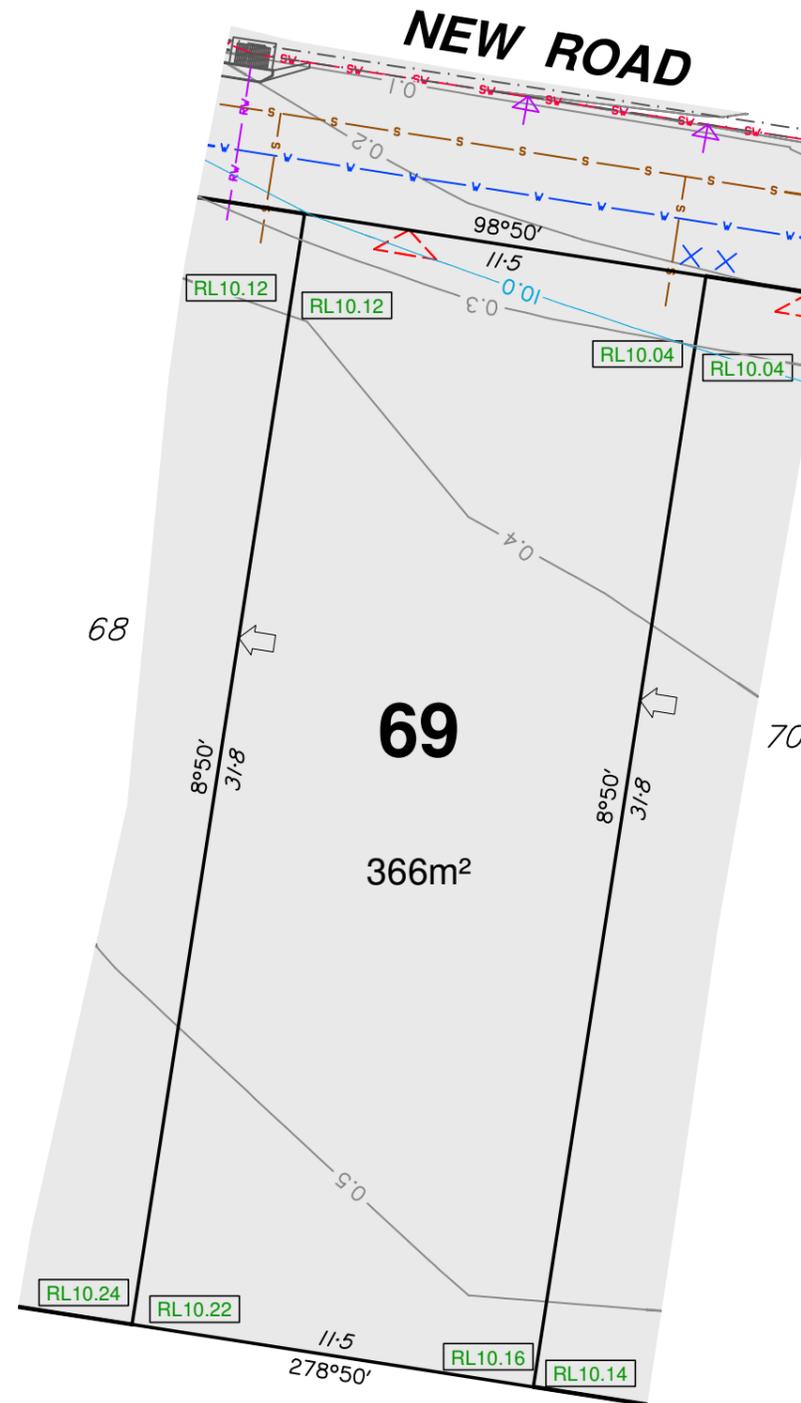
Future Stage

DISCLOSURE PLAN

For Proposed Lot 69
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
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 - Water/Water Meter
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-69 VERSION C

DISCLOSURE PLAN

For Proposed Lot 70
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

- Legend:**
- 46.0 Finished Surface Contours (0.5m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Water/Water Meter
 - Stormwater Gully Trap
 - Roofwater
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 - Design Pad Level
 - Proposed Driveway
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village
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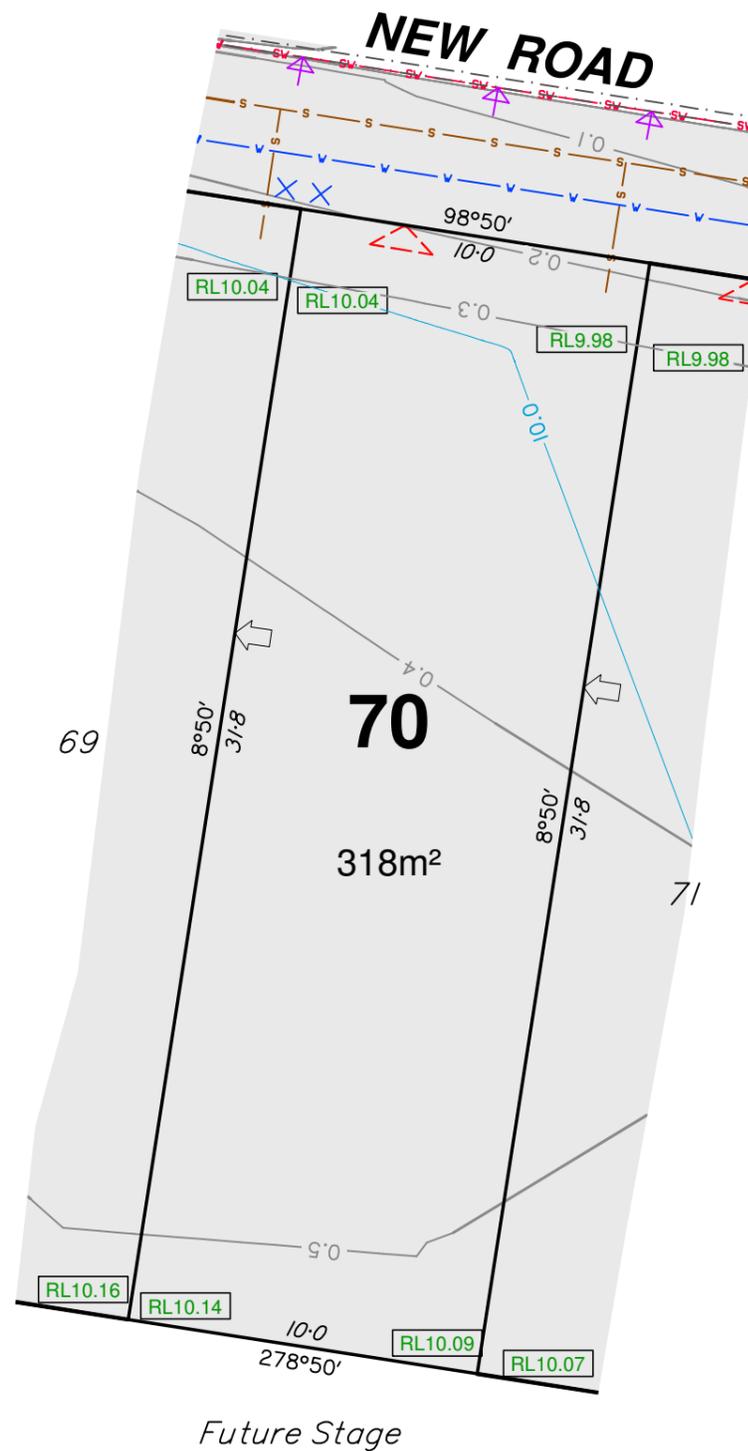
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-70 VERSION C

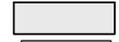
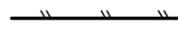


DISCLOSURE PLAN

For Proposed Lot 71
Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.5m Interval)
- 1.0 Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- - - Kerb Line
- s — s Sewer/Sewer Manhole
- sv — sv Stormwater/Stormwater Manhole
- v — v Water/Water Meter
-  Stormwater Gully Trap
- rv — rv Roofwater
-  Kerb Adapter
-  Area to be Filled
- RL57.32 Design Pad Level
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Acoustic Fence (Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

village

GREEN

 **WOLTER**
consulting group

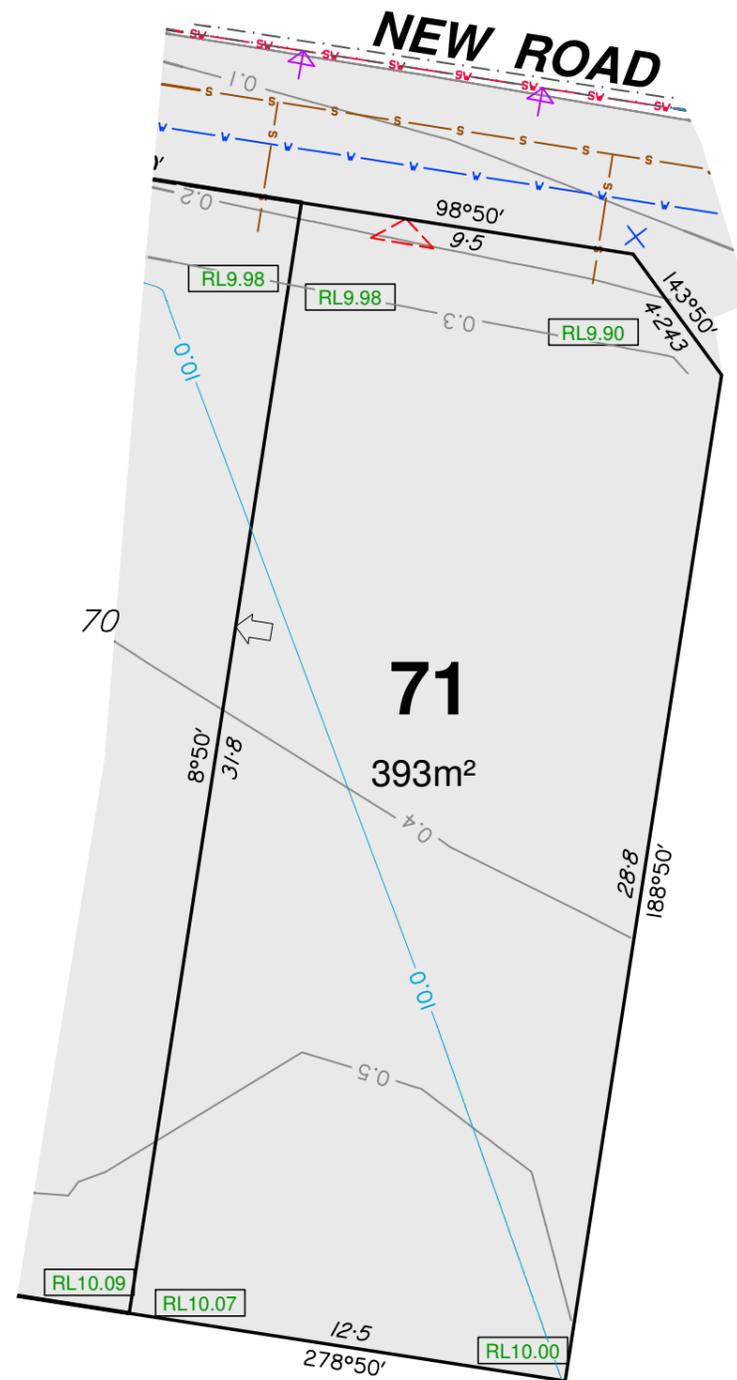
 Planning  Urban Design  Landscape  Environment  Surveying

HORIZONTAL MERIDIAN
MGA


Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-71 VERSION C



Future Stage

