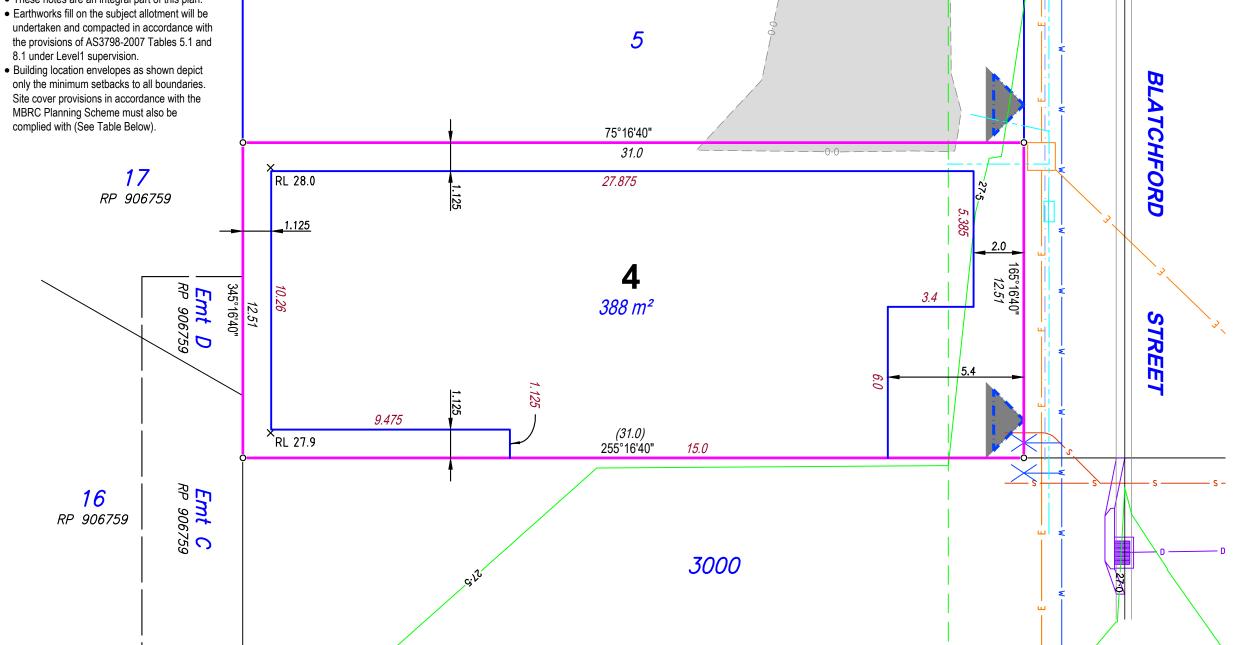
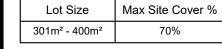
- Area & Dimensions are subject to Survey Plan
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
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- These notes are an integral part of this plan.
- undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be





The depth of fill on this lot is between 0.0m and 0.5m.

ALLOTMENT INFORMATION DIAGRAM

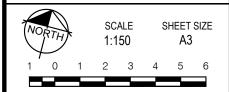
For Proposed Lot 4 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING

	, ,
Legend	
Area of Fill	
Proposed Surface Contour	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
Fill Depth Contour	*O:5 -
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	<u>→</u>
Proposed Stormwater Drainage & Manhole	D
Proposed Sewer Reticulation & Manhole	— s ——
Proposed Water/Endcap/ Fire Hyd/Meter/Valve	E-● W -× ->-
Proposed Shared Trench - Electricity - Communications (NBN) - Proposed Gas	_ E
Proposed Kerb &	





Channel & Gully Pit

RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

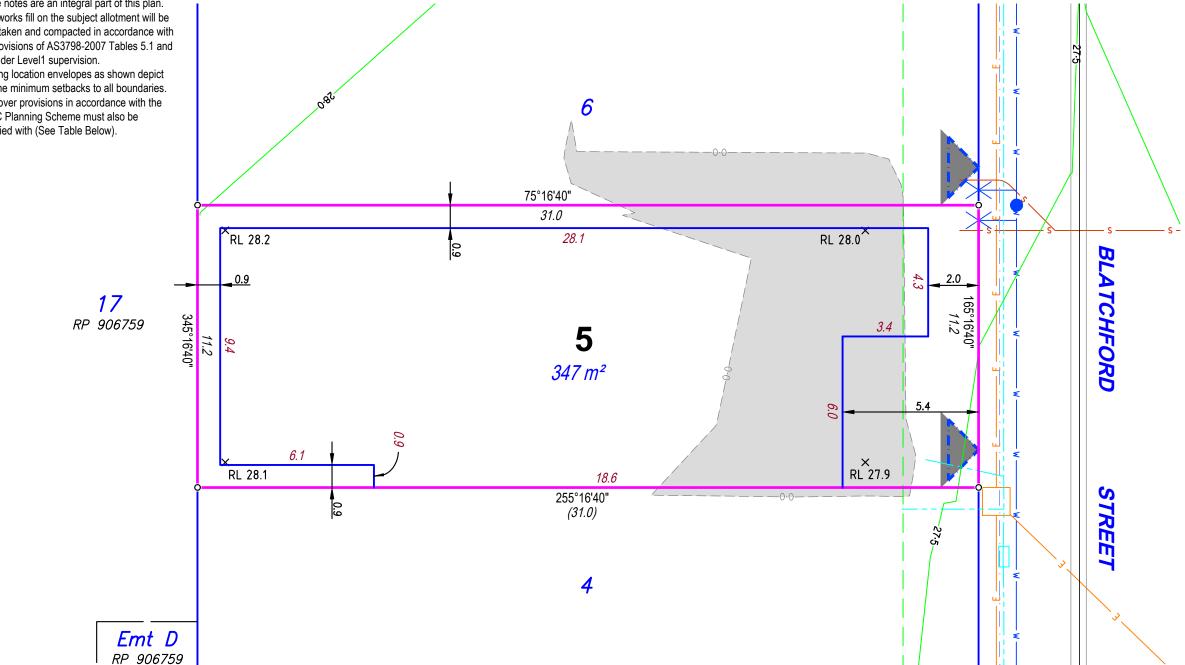
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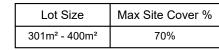
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DWG. 142823-Stg2-AID			SH.	1 of 1
DATE	PROJECT	PLAN	1	AMD.
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18/08/20 | 142823 | 4/4

- Area & Dimensions are subject to Survey Plan Registration.
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The depth of fill on this lot is between 0.0m and 0.5m.

ALLOTMENT INFORMATION DIAGRAM

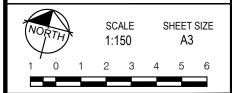
For Proposed Lot 5 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 Strathpine LOCALITY LOCAL AUTHORITY Moreton Bay Regional

THE LANDING

Legend	
Area of Fill	
Proposed Surface Contour	7,0
Fill Depth Contour	×0:5
Proposed Retaining Wall	
Proposed	
Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer Reticulation & Manhole	— s —
Proposed Water/Endcap/ Fire Hyd/Meter/Valve	E ● W -× ▶◀
Proposed Shared Trench - Electricity	— Е ——
Communications (NBN)Proposed Gas	
Proposed Kerb & Channel & Gully Pit	





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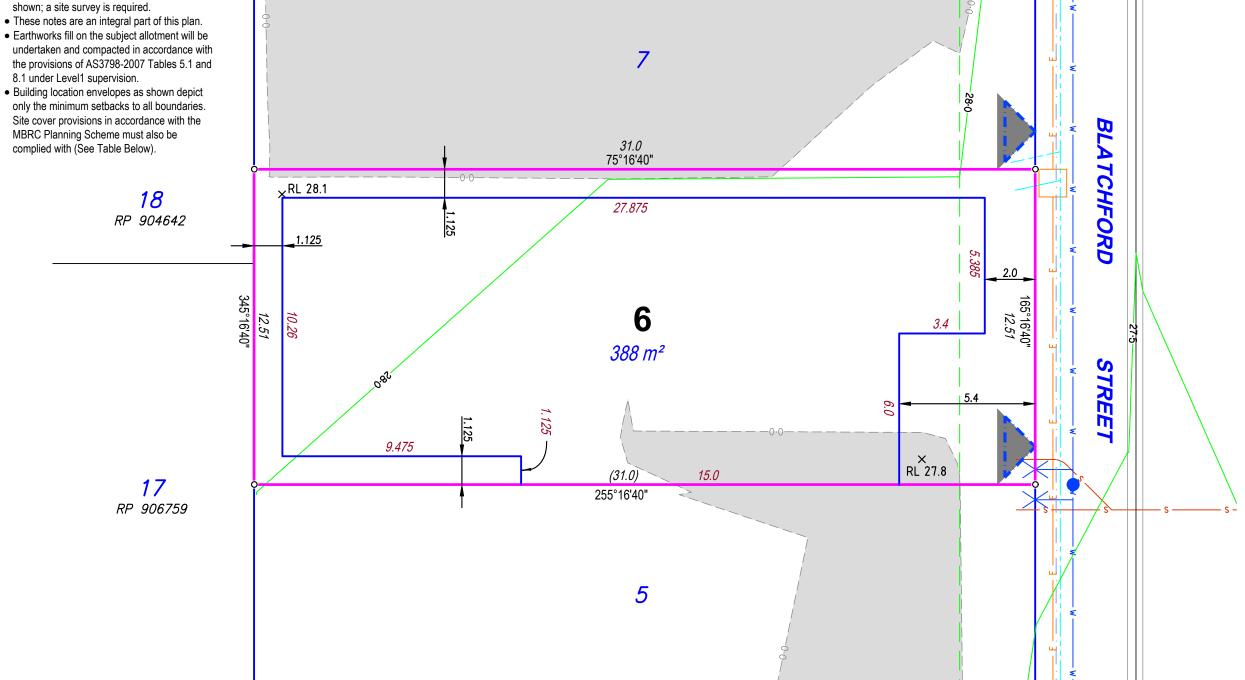
PO Box 1559 Fortitude Valley QLD 4006

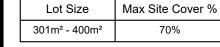
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DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/5	l -

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- only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).





The depth of fill on this lot is between 0.0m and 0.5m.

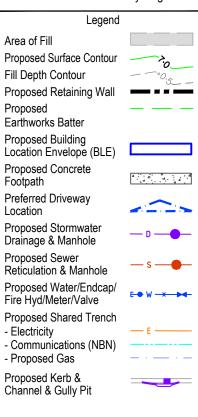
ALLOTMENT INFORMATION DIAGRAM

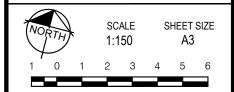
For Proposed Lot 6 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING







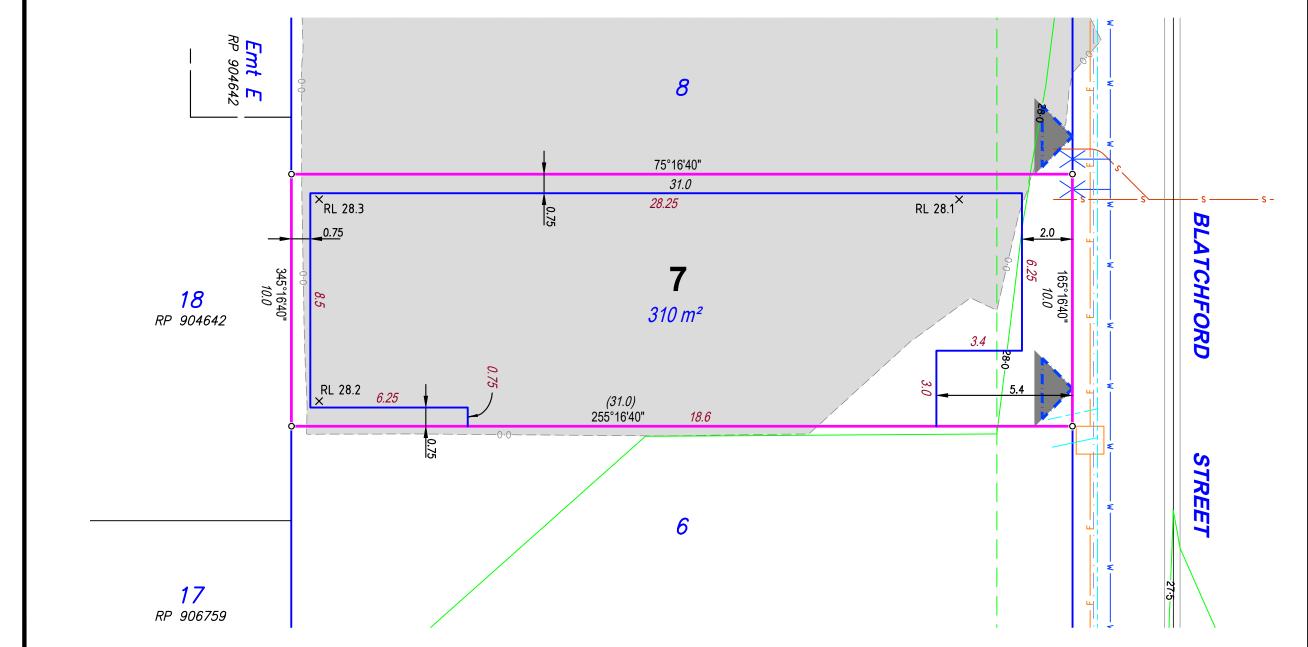
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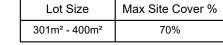
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DATE	PROJECT	PLAN	1	AMD.
18/08/20	142823	4/6		-

- Area & Dimensions are subject to Survey Plan Registration.
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The depth of fill on this lot is between 0.0m and 0.5m.

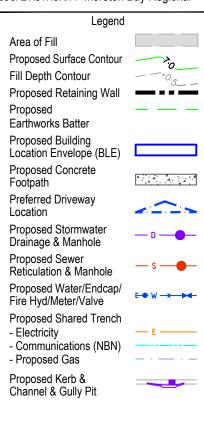
ALLOTMENT INFORMATION DIAGRAM

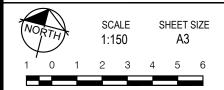
For Proposed Lot 7 on SP309548,

84 Samsonvale Road, Strathpine

THE LANDING

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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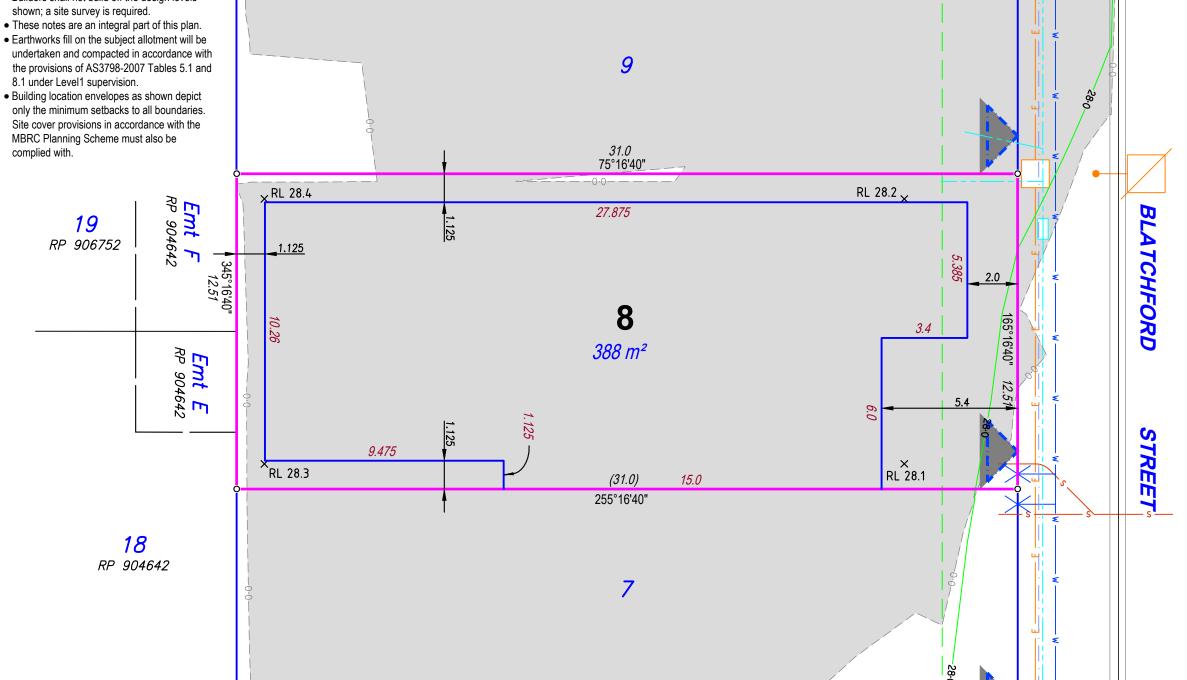
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vg. 142823-Stg2-AID			SH.	1 of 1
DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/7		-

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
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The depth of fill on this lot is between 0.0m and 0.5m.

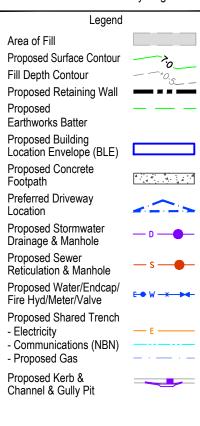
ALLOTMENT INFORMATION DIAGRAM

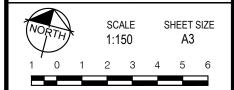
For Proposed Lot 8 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING







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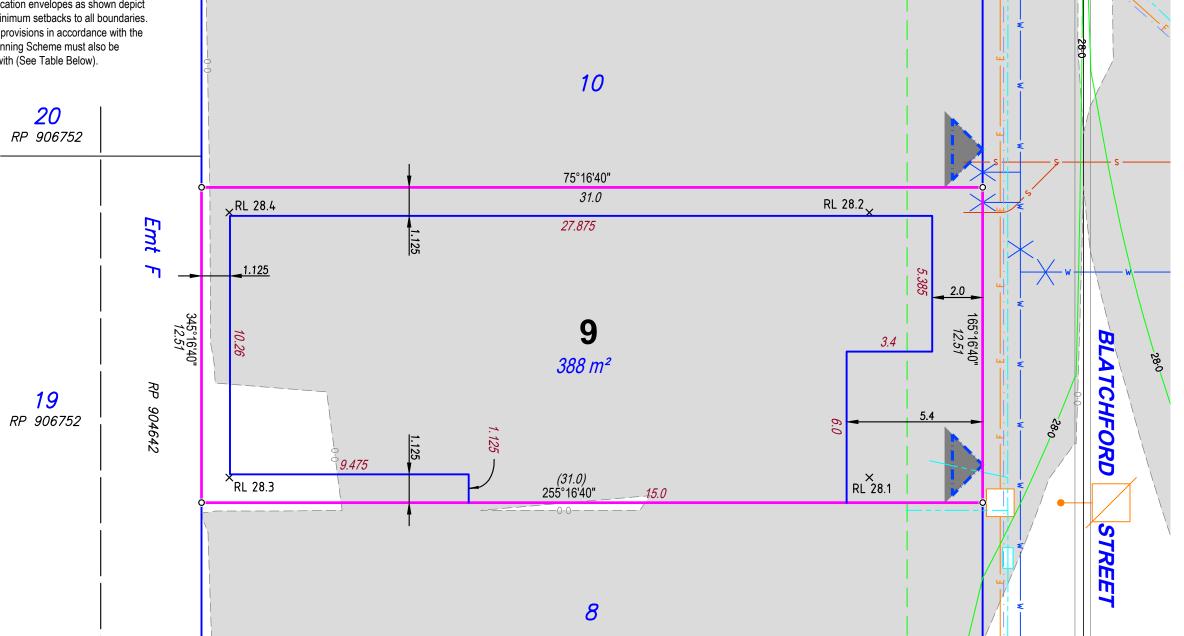
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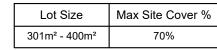
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DATE	PROJECT	PLAN	1	AMD.
18/08/20	142823	4/8		-

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The depth of fill on this lot is between 0.0m and 0.5m.

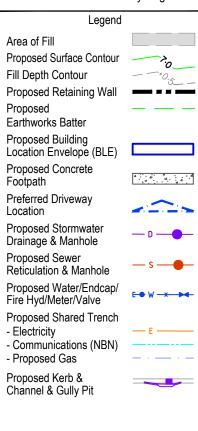
ALLOTMENT INFORMATION DIAGRAM

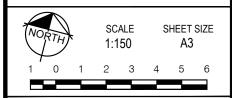
For Proposed Lot 9 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING







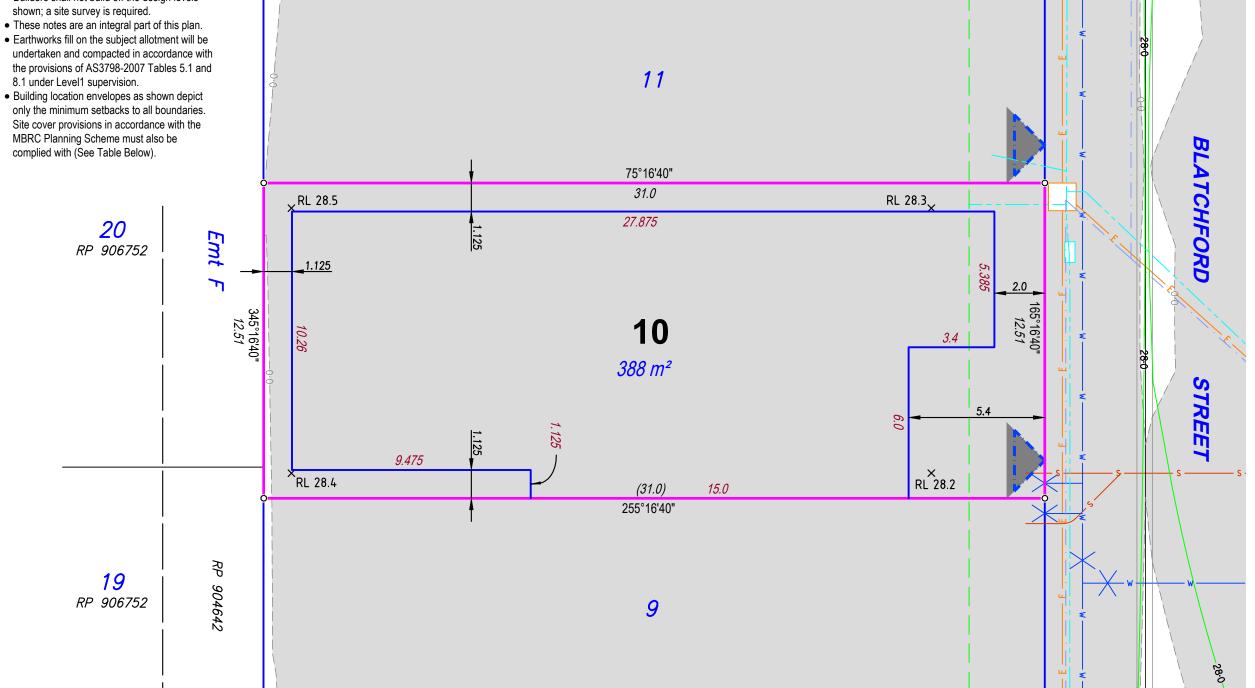
RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

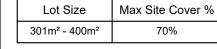
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DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/9		-

- Area & Dimensions are subject to Survey Plan
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The depth of fill on this lot is between 0.0m and 0.5m.

ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 10 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCA

THE LANDING

OCAL AUTHORITY Moreton Bay Regional			
Legend			
Area of Fill			
Proposed Surface Contour	۵.خ		
Fill Depth Contour	*O:5		
Proposed Retaining Wall			
Proposed			
Earthworks Batter			
Proposed Building Location Envelope (BLE)			
Proposed Concrete Footpath			
Preferred Driveway Location			
Proposed Stormwater Drainage & Manhole	— D —		

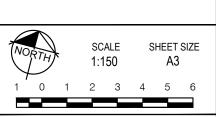
Fire Hyd/Meter/Valve Proposed Shared Trench - Electricity

Reticulation & Manhole Proposed Water/Endcap/

Proposed Sewer

- Communications (NBN) - Proposed Gas

Proposed Kerb & Channel & Gully Pit





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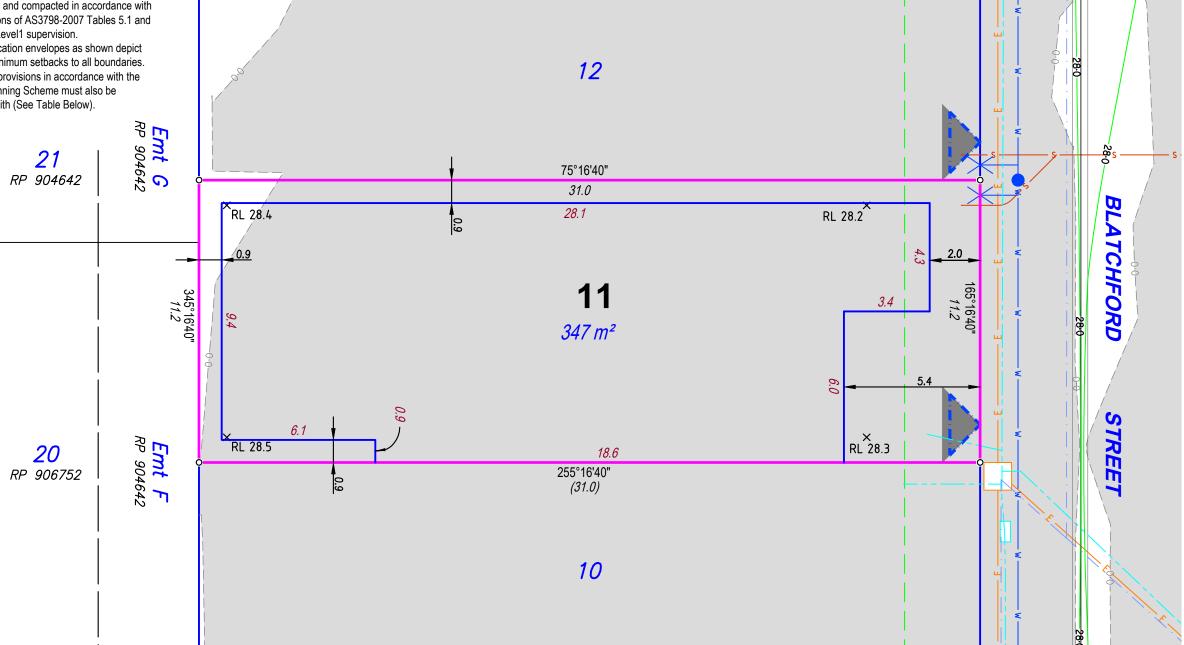
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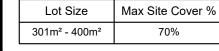
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SH. 1 of 1 DWG. 142823-Stg2-AID DATE PROJECT PLAN AMD. 18/08/20 142823 4/10

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The depth of fill on this lot is between 0.0m and 0.5m.

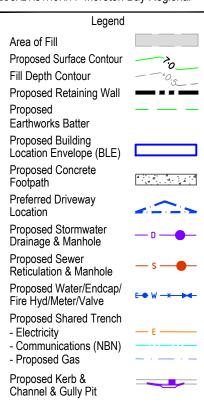
ALLOTMENT INFORMATION DIAGRAM

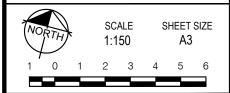
For Proposed Lot 11 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING







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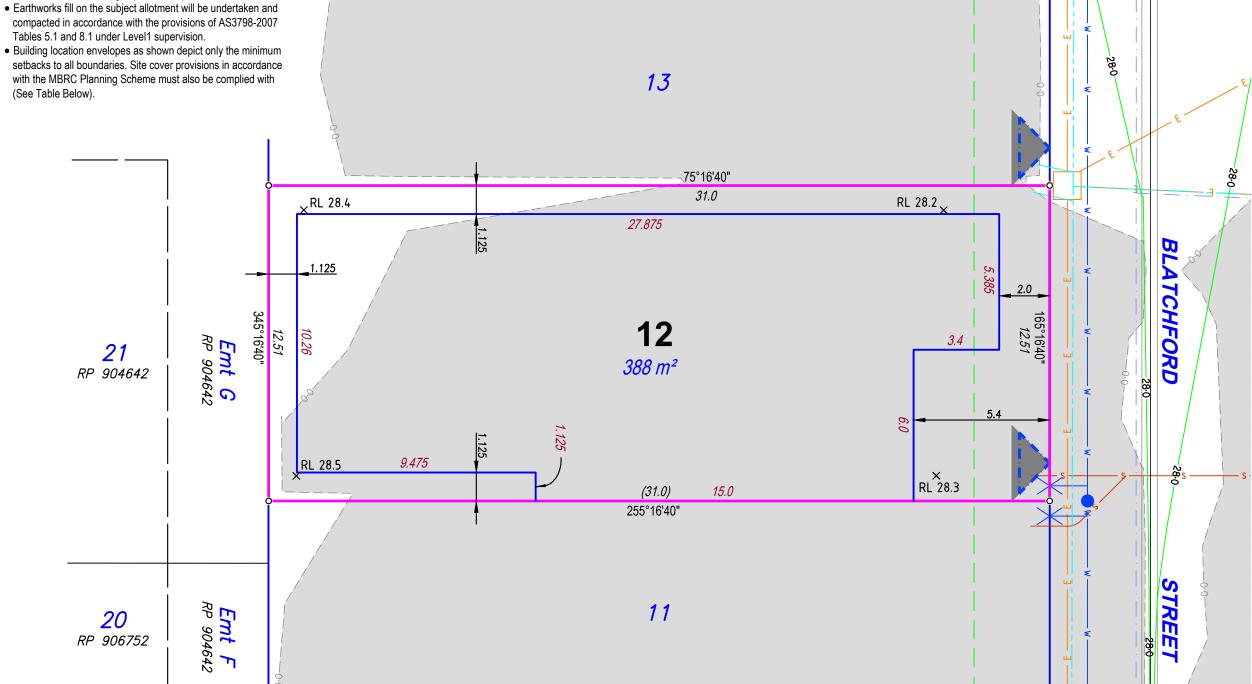
Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

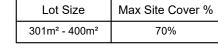
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DWG. 142823-Stg2-AID SH. 1 of 1

DATE PROJECT PLAN AMD. 18/08/20 142823 4/11

- Area & Dimensions are subject to Survey Plan Registration.
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The depth of fill on this lot is between 0.0m and 0.5m.

ALLOTMENT INFORMATION DIAGRAM

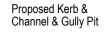
For Proposed Lot 12 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 Strathpine LOCALITY LOCAL AUTHORITY Moreton Bay Regional

THE LANDING

Legend	
Area of Fill	
Proposed Surface Contour	7.0
Fill Depth Contour	×0.5
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer Reticulation & Manhole	— s —
Proposed Water/Endcap/	50 W - V - N



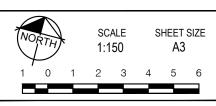
Fire Hyd/Meter/Valve

- Electricity

- Proposed Gas

Proposed Shared Trench

- Communications (NBN)





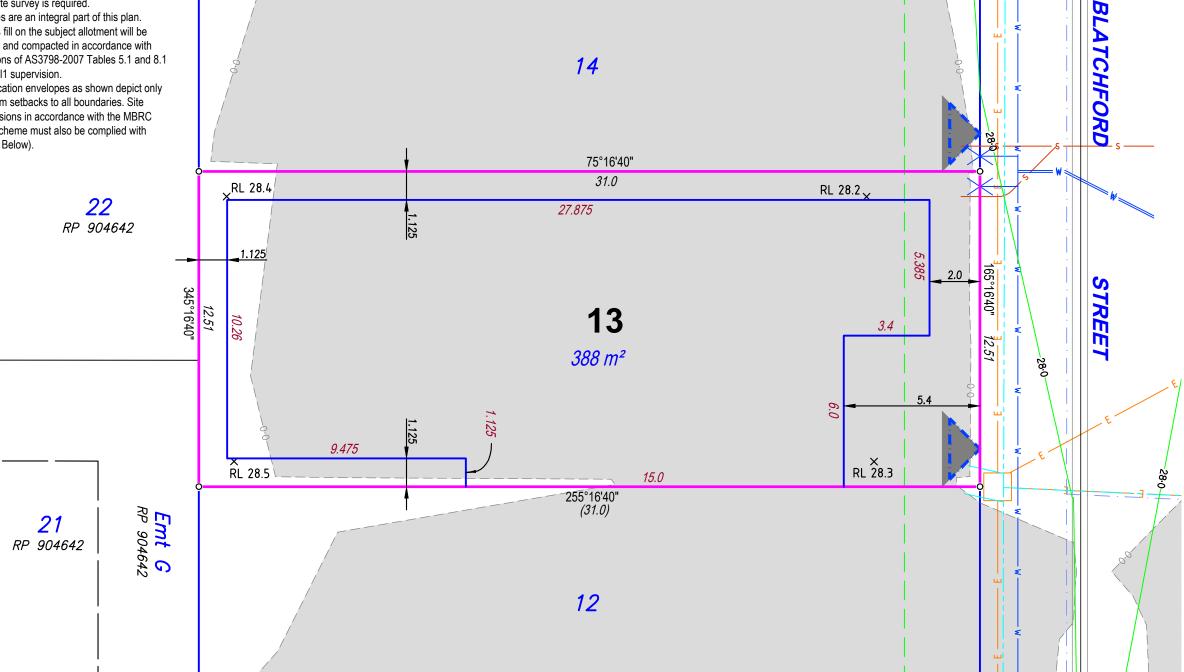
RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

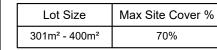
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DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/12	2	-

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The depth of fill on this lot is between 0.0m and 0.5m.

ALLOTMENT INFORMATION DIAGRAM

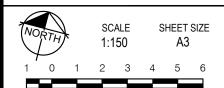
For Proposed Lot 13 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING

Legend	
Area of Fill	
Proposed Surface Contour	70
Fill Depth Contour	*O.5 -
Proposed Retaining Wall	
Proposed	
Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	100.300
Preferred Driveway Location	<u> </u>
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer Reticulation & Manhole	— s ——
Proposed Water/Endcap/ Fire Hyd/Meter/Valve	E ■ W — X ■ ■
Proposed Shared Trench	
- Electricity	— E ———
- Communications (NBN) - Proposed Gas	-·
Proposed Kerb & Channel & Gully Pit	
Onamier & Gully I it	





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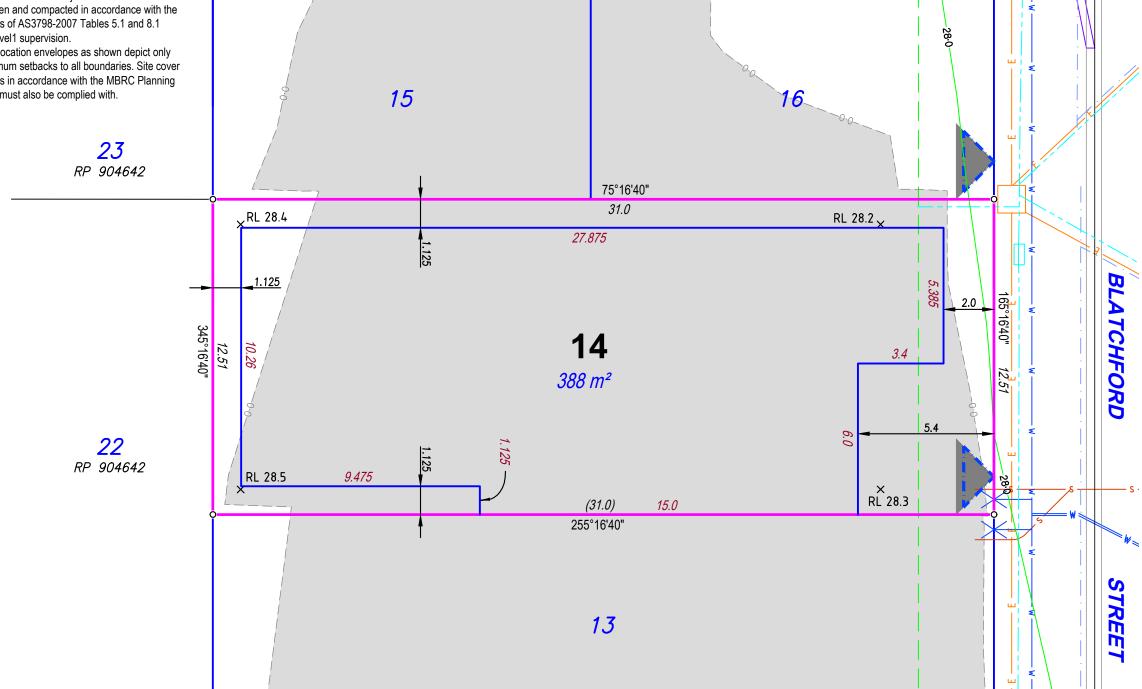
Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762

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DWG. 142823-DATE PROJECT PLAN AMD. 18/08/20 142823 4/13

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The depth of fill on this lot is between 0.0m and 0.5m.

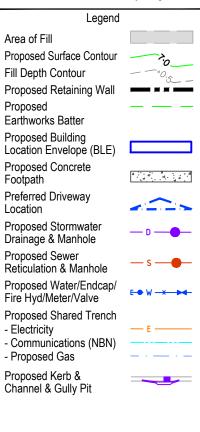
ALLOTMENT INFORMATION DIAGRAM

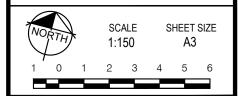
For Proposed Lot 14 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING







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DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/14		-

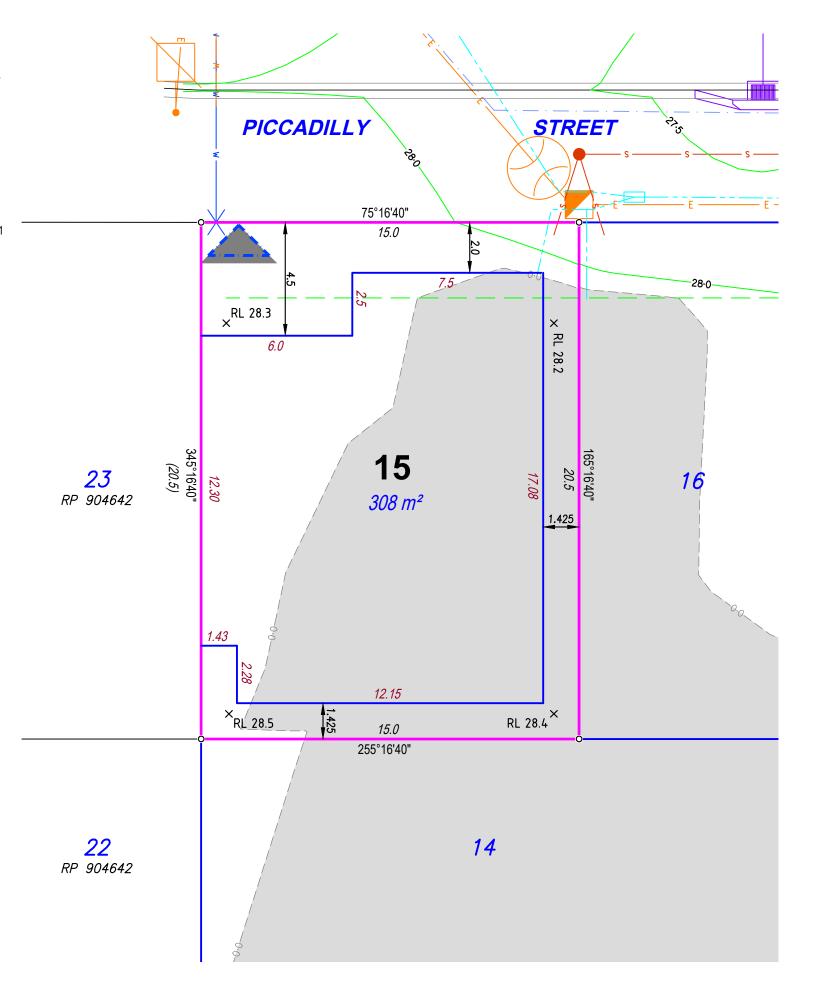
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- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
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Max Site Cover %

70%

Lot Size

301m² - 400m²





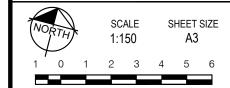
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 15 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

70
×0.5
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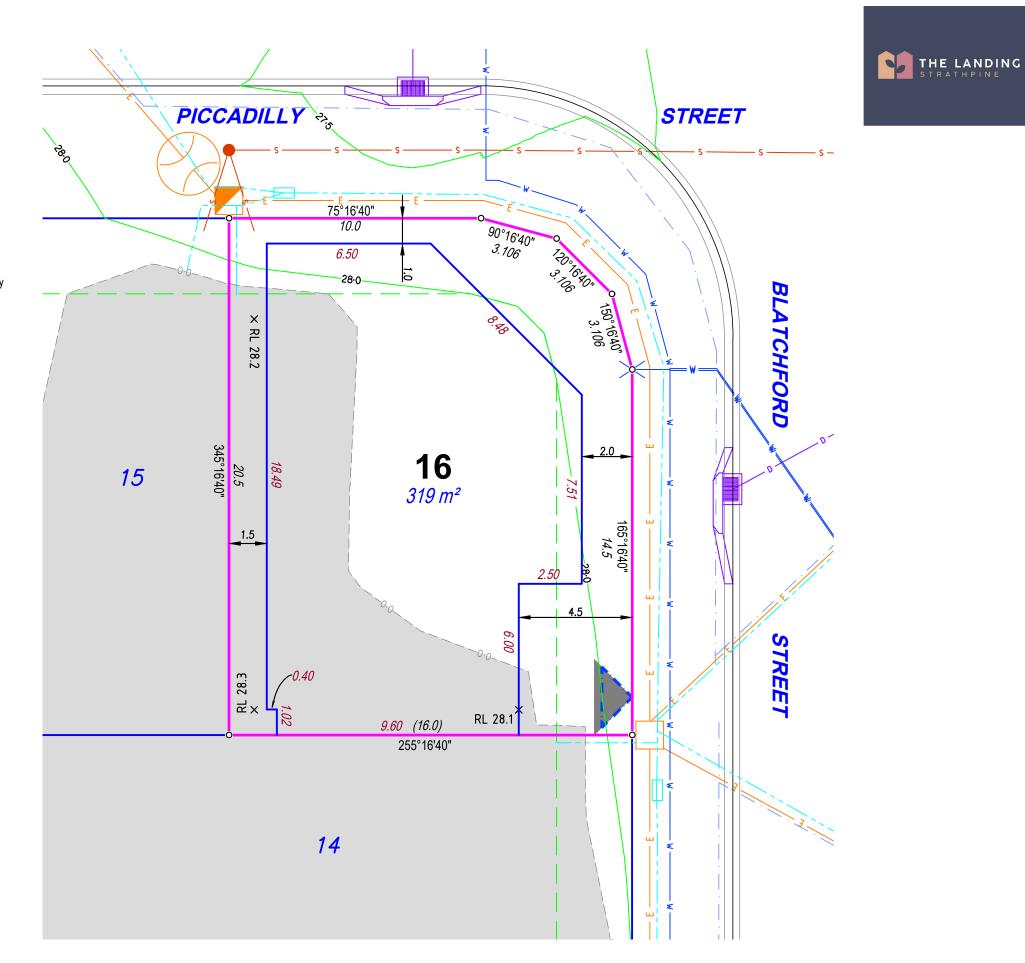
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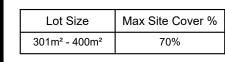
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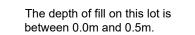
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DWG. 14282	SH.	1 of 1		
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/15		-

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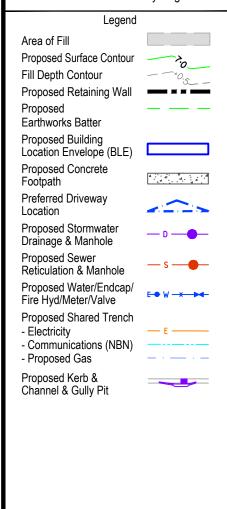


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 16 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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18/08/20 | 142823

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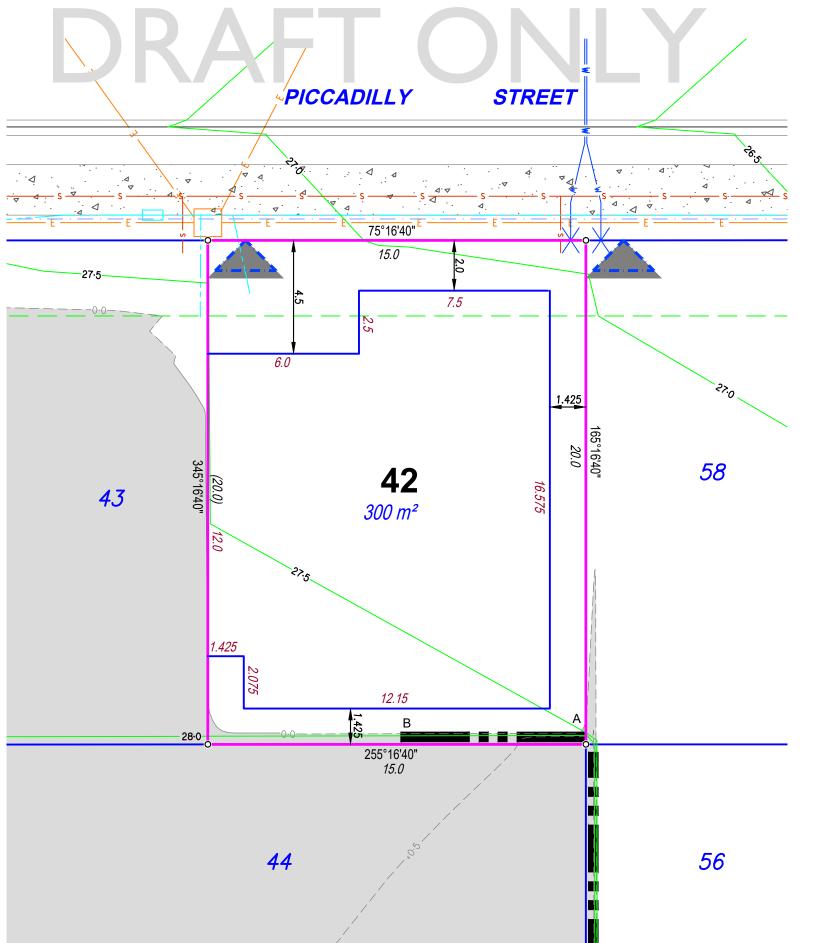
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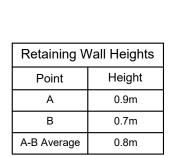
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DATE	PROJECT	PLAN	1	AMD.

4/16

- Area & Dimensions are subject to Survey Plan Registration.
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Lot Size	Max Site Cover %
300m² and Less	75%

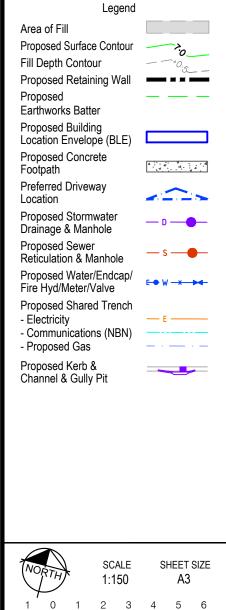


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 42 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional





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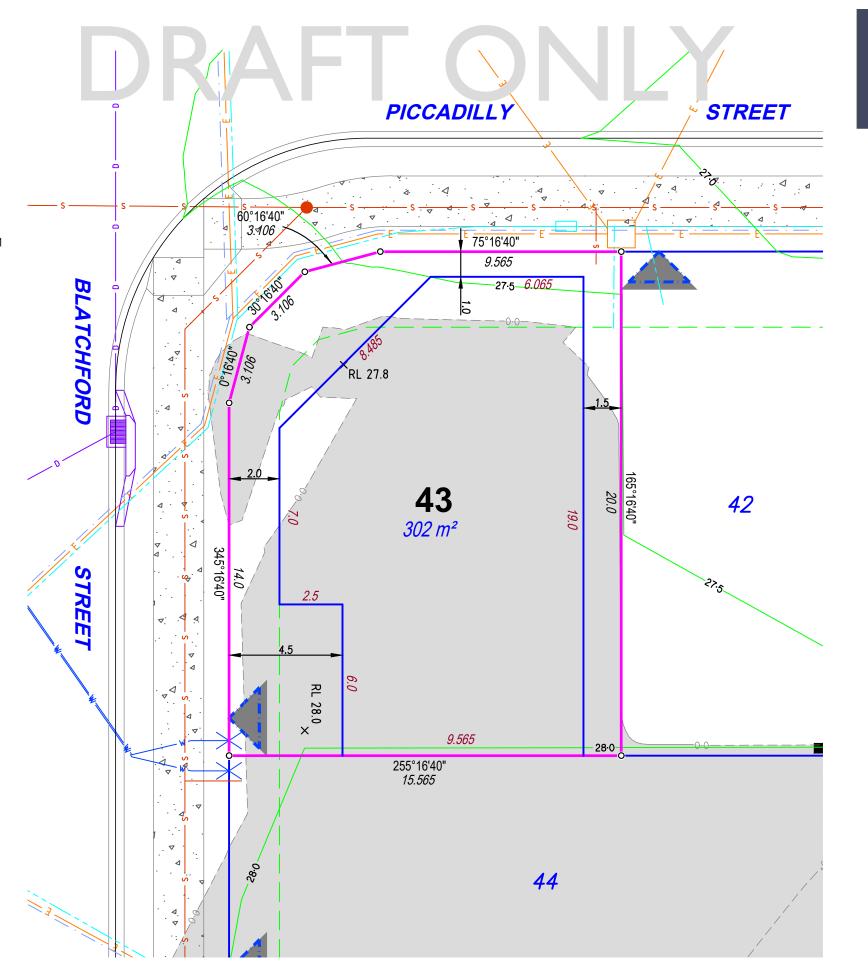
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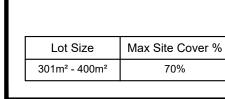
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DATE	PROJECT	PLAN	I	AMD.
8/08/20	142823	4/42	4/42	

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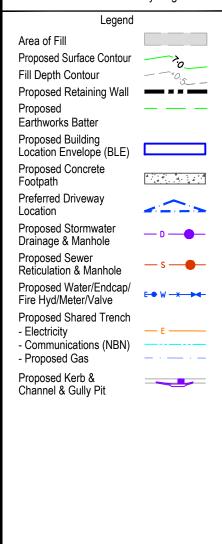
THE LANDING



For Proposed Lot 43 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional





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SHEET SIZE

А3

4 5 6

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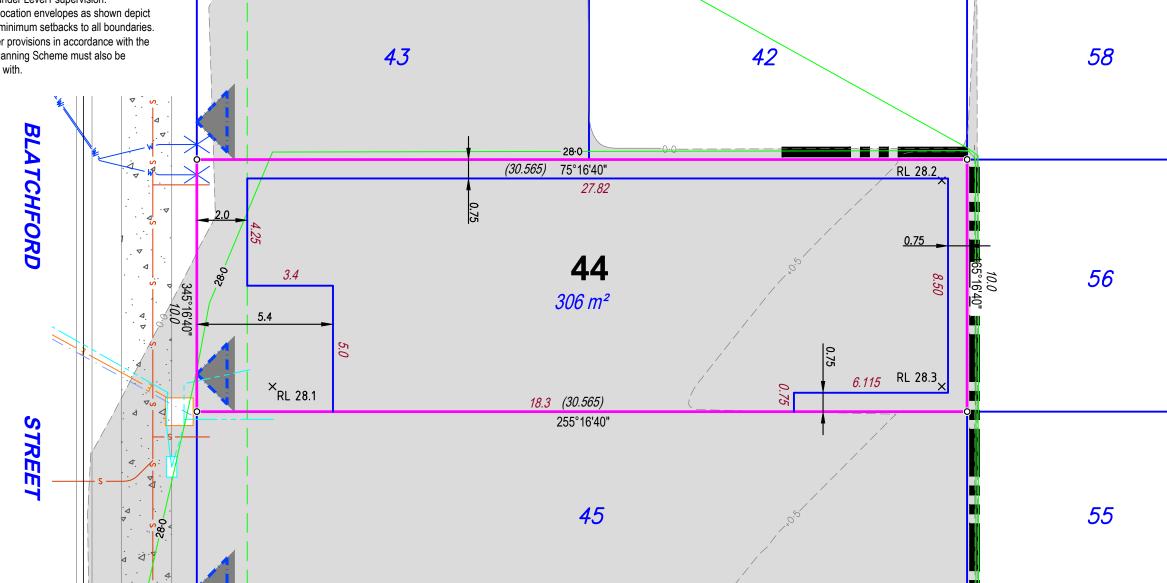
DWG. 142823-Stg2-AID				1 of 1
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/43		-

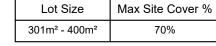
SCALE

1:150

3

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The depth of fill on this lot is between 0.0m and 1.0m.

THE LANDING
STRATHPINE

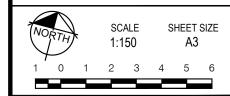
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 44 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 Strathpine LOCALITY LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	7,0
Fill Depth Contour	*O.5
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	<u></u>
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer Reticulation & Manhole	— s —
Proposed Water/Endcap/ Fire Hyd/Meter/Valve	E-● W -× ▶
Proposed Shared Trench - Electricity - Communications (NBN) - Proposed Gas	— E ——————————————————————————————————
Proposed Kerb & Channel & Gully Pit	





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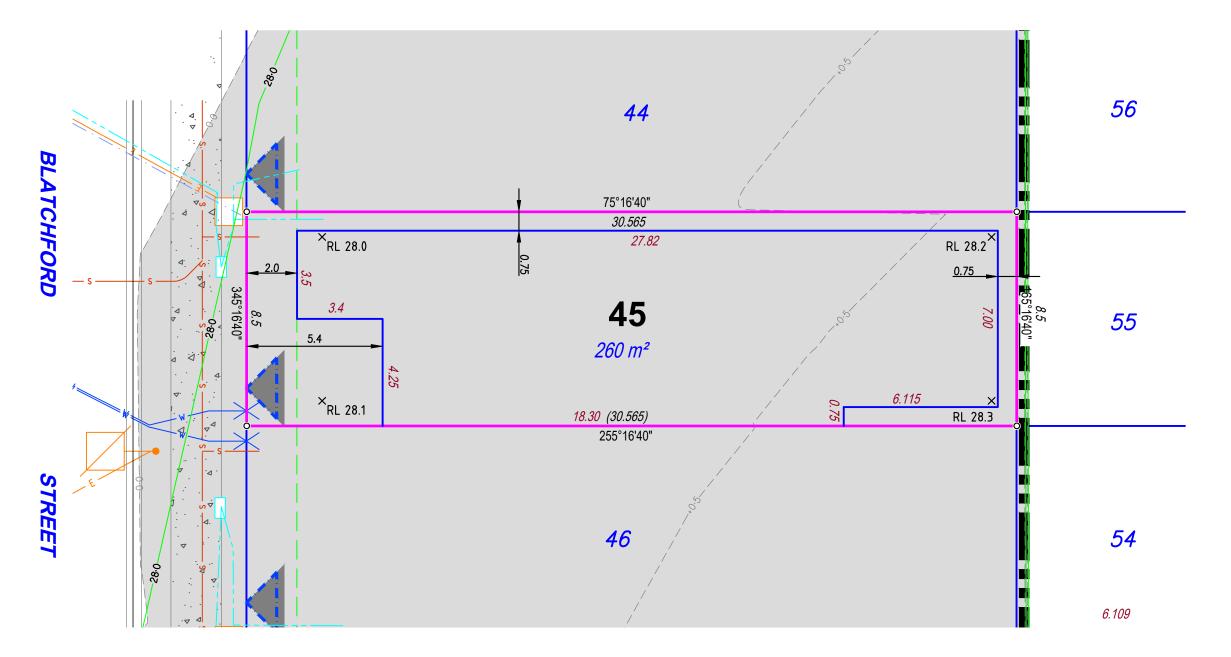
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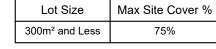
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DWG. 14282	SH.	1 of 1		
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/44		-

- Area & Dimensions are subject to Survey Plan Registration.
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The depth of fill on this lot is between 0.0m and 1.0m.

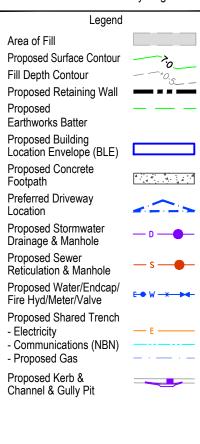
THE LANDING

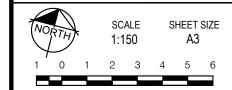
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 45 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







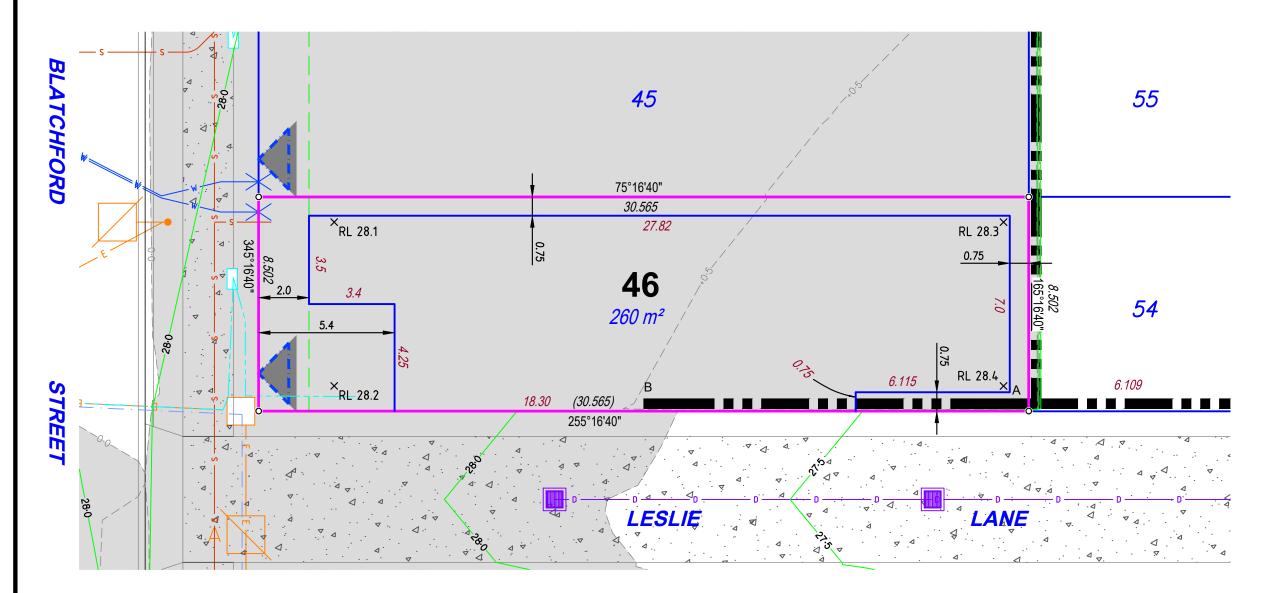
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DATE	PROJECT	PLAN		AMD.
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Lot Size	Max Site Cover %
300m² and Less	75%

	Retaining Wall Heights				
Point Heigh					
	А	1.3m			
	В	0.5m			
	A-B Average	0.9m			

The depth of fill on this lot is between 0.0m and 1.0m.

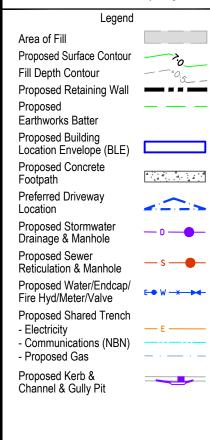
THE LANDING

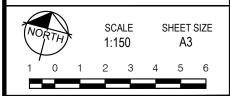
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 46 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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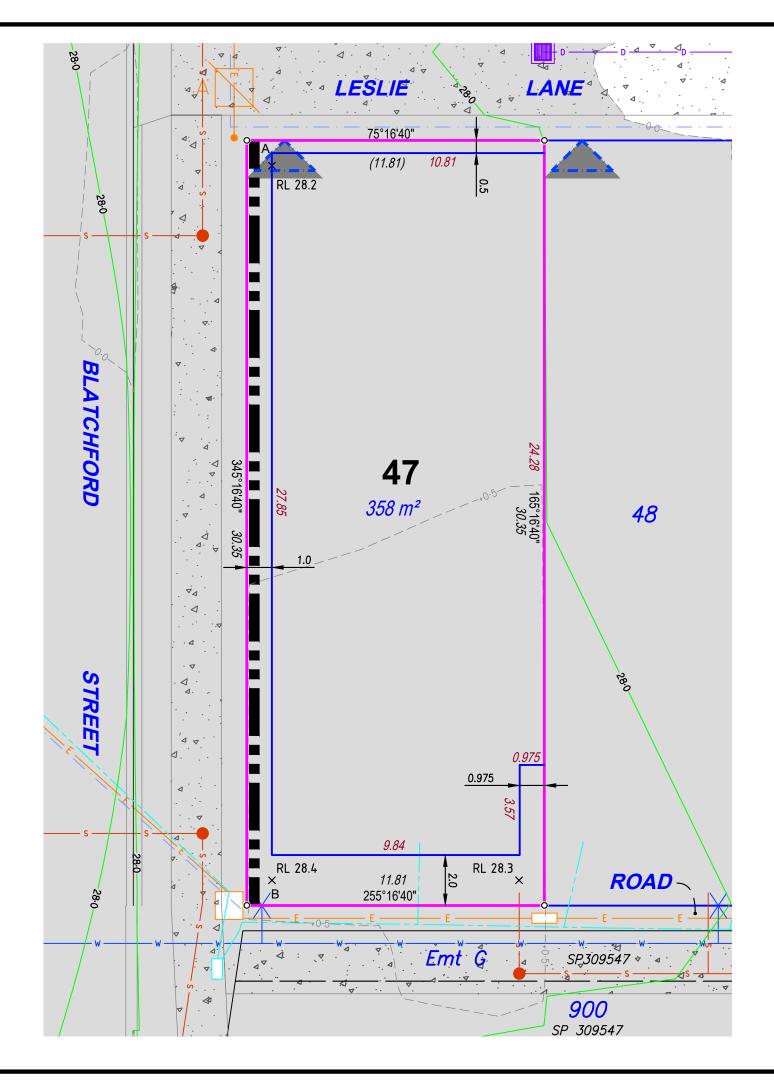
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ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 47 on SP309548,

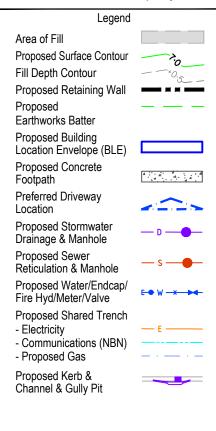
84 Samsonvale Road, Strathpine

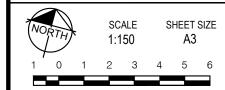
CURRENTLY DESCRIBED AS

RPD Lot 1 on RP105238

LOCALITY Strathpine

LOCAL AUTHORITY Moreton Bay Regional







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DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/47	7	-

Retaining Wall Heights

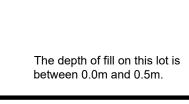
Point Height

A 0.3m

B 0.4m

A-B Average 0.35m

Lot Size	Max Site Cover %
301m² - 400m²	70%



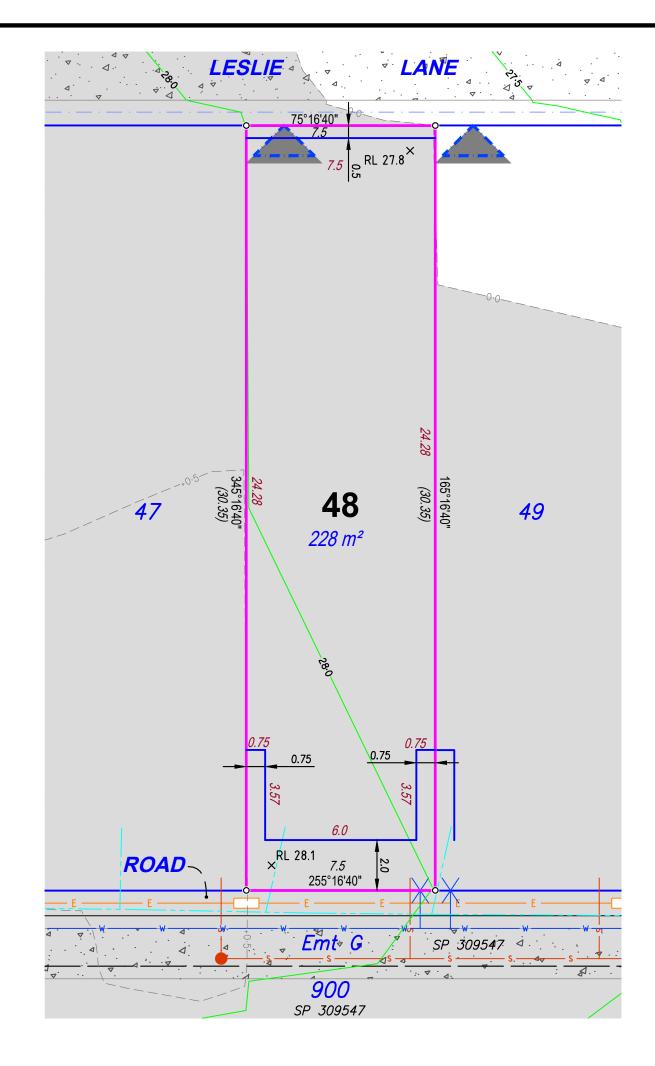
- Area & Dimensions are subject to Survey Plan Registration.
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Max Site Cover %

75%

Lot Size

300m² and Less



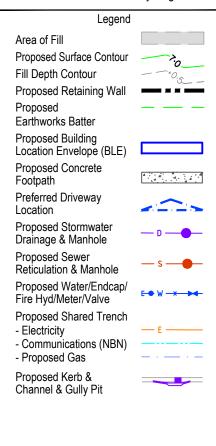


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 48 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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DWG. 14282	1 of 1			
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/48	}	-

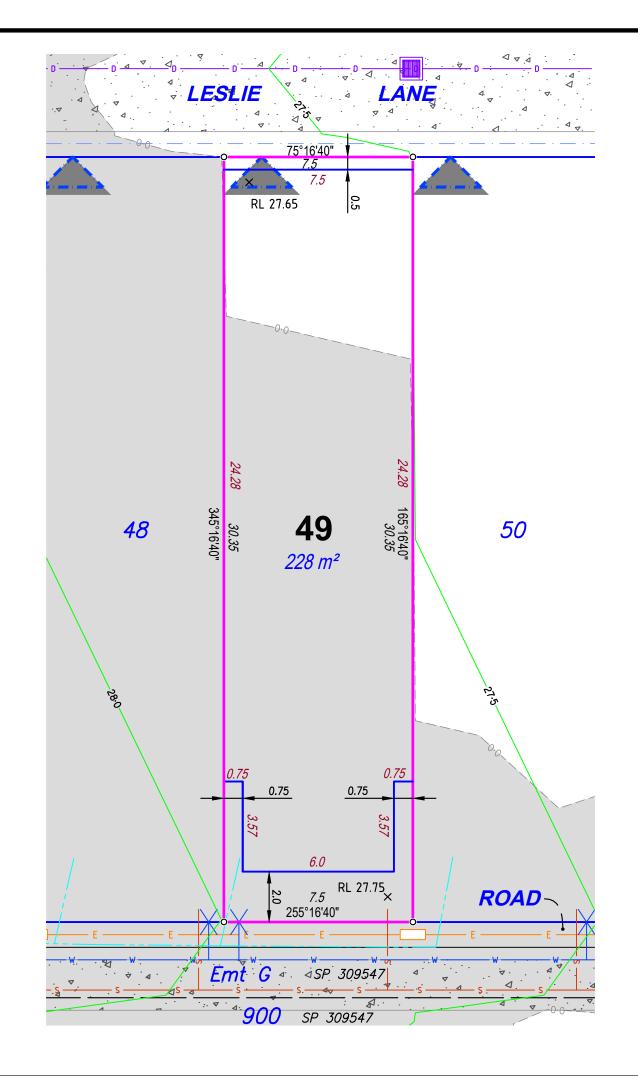
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Max Site Cover %

75%

Lot Size

300m² and Less





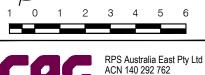
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 49 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

Legend Area of Fill Proposed Surface Contour Fill Depth Contour Proposed Retaining Wall Proposed Earthworks Batter Proposed Building Location Envelope (BLE) Proposed Concrete Footpath Preferred Driveway Location Proposed Stormwater Drainage & Manhole Proposed Sewer Reticulation & Manhole Proposed Water/Endcap/ Fire Hyd/Meter/Valve Proposed Shared Trench - Electricity - Communications (NBN) - Proposed Gas Proposed Kerb & Channel & Gully Pit



SCALE

1:150



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SHEET SIZE

A3

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DATE	PROJECT	PLAN	AMD.
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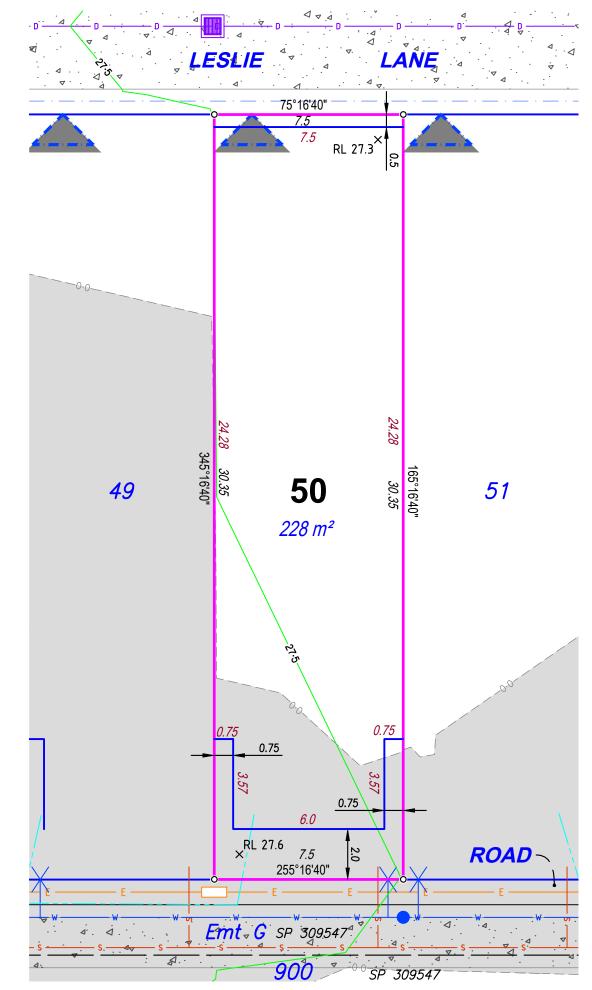
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Max Site Cover %

75%

Lot Size

300m² and Less



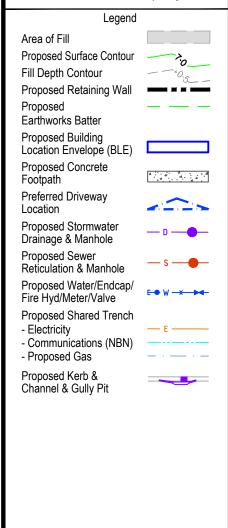


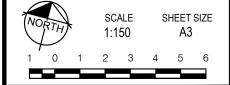
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 50 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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The depth of fill on this lot is

between 0.0m and 0.5m.

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wg. 142823-Stg2-AID SH. 1 of 1				
DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/50		-

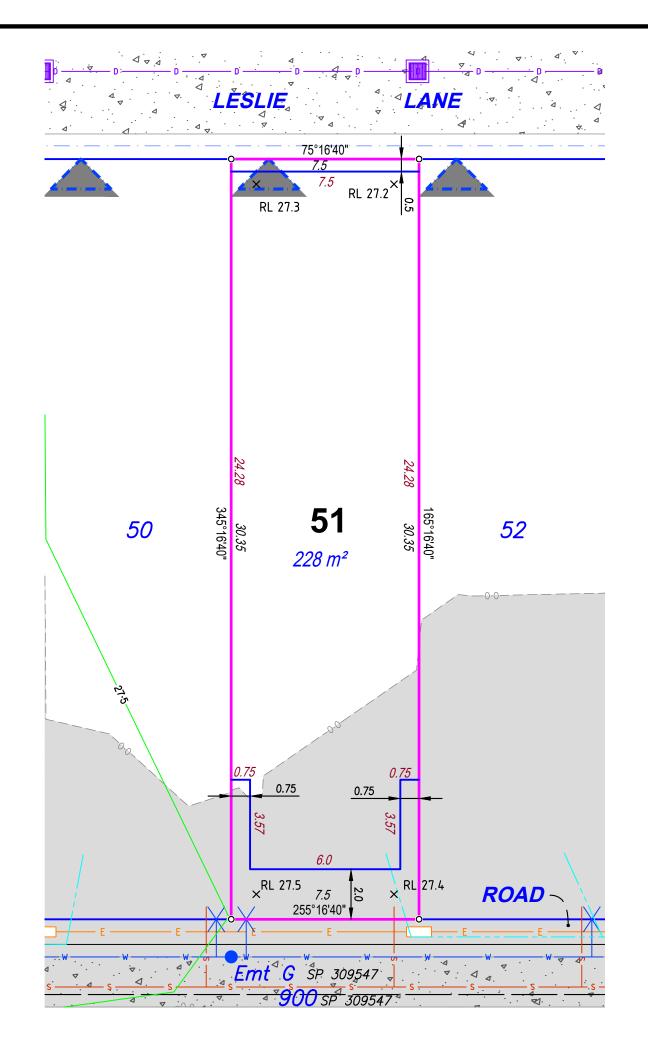
- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
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- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.

Lot Size

300m² and Less

Max Site Cover %

75%



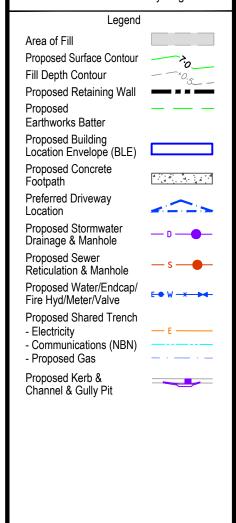


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 51 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional







ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South

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SHEET SIZE

A3

4 5 6

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 DWG. 142823-Stg2-AID
 SH. 1 of 1

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 PLAN
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 18/08/20
 142823
 4/51

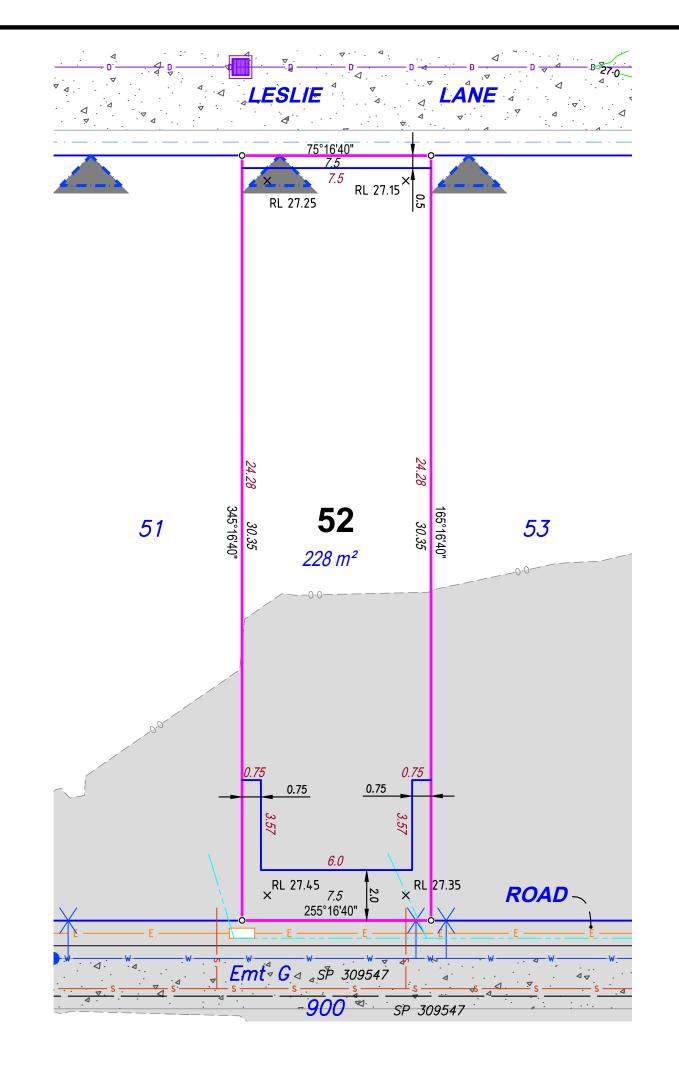
- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
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Max Site Cover %

75%

Lot Size

300m² and Less





ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 52 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	70.
Fill Depth Contour	*O:5
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	<u> </u>
Proposed Stormwater Drainage & Manhole	_ D
Proposed Sewer Reticulation & Manhole	— s ——
Proposed Water/Endcap/ Fire Hyd/Meter/Valve	E ● W —×
Proposed Shared Trench	
ElectricityCommunications (NBN)	— E ———
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	
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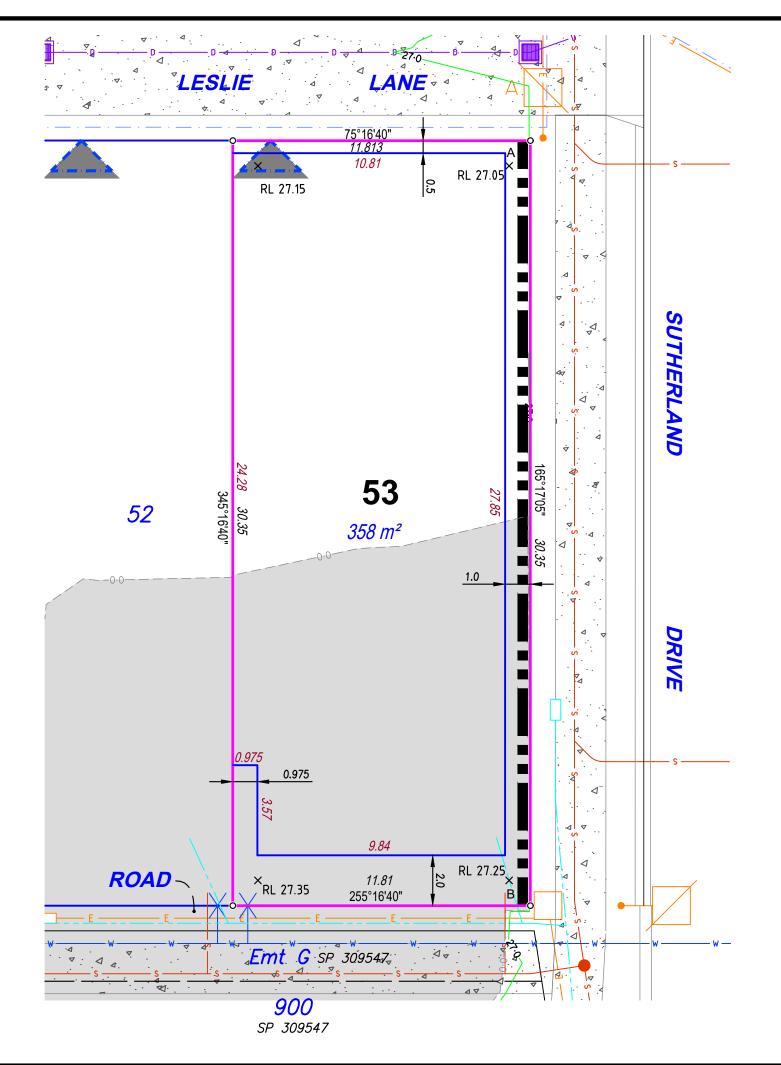
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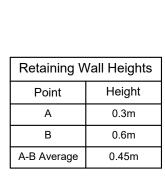
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wg. 14282	1 of 1			
DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/52		-

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Lot Size	Max Site Cover %
301m² - 400m²	70%

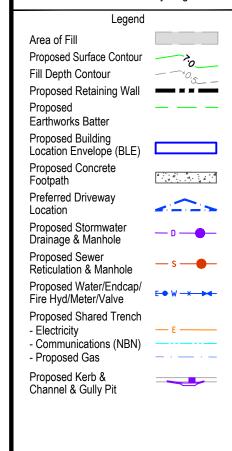


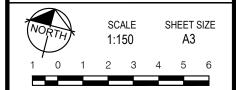
For Proposed Lot 53 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

THE LANDING







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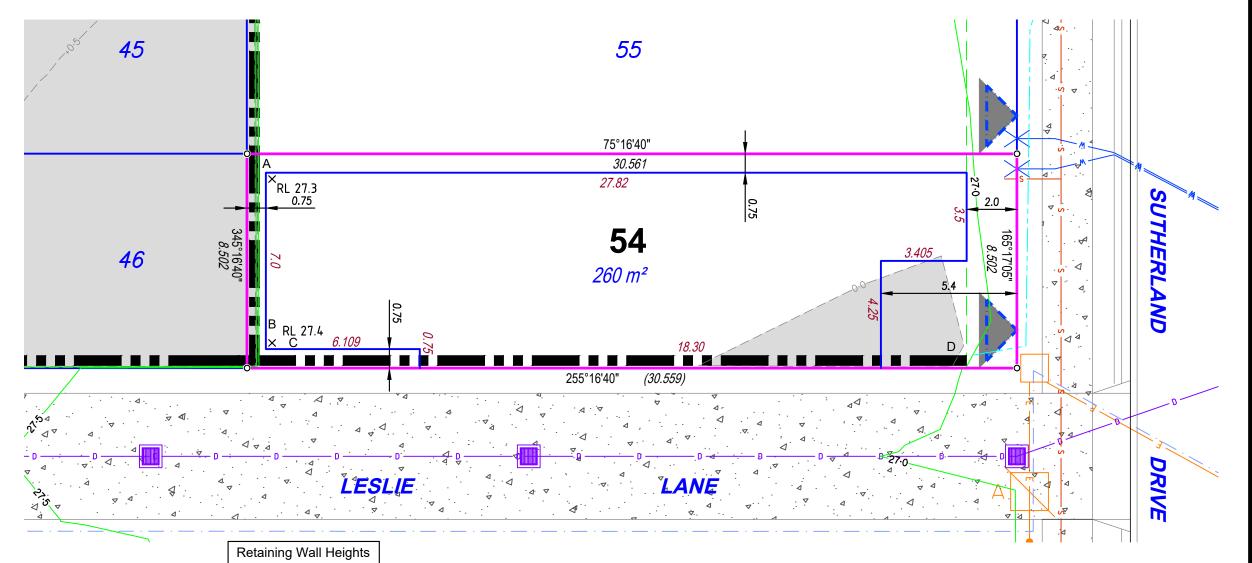
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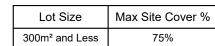
4/53

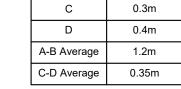
DWG. 142823-Stg2-AID			SH.	1 of 1
DATE	PROJECT	PLAN	_	AMD.

142823

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
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Height

1.2m

1.2m

Point

В

The depth of fill on this lot is between 0.0m and 0.5m.

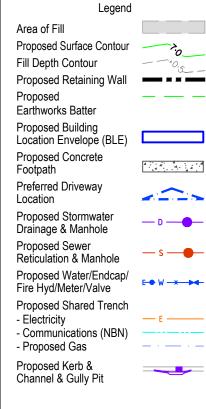
THE LANDING

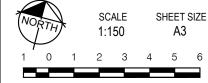
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 54 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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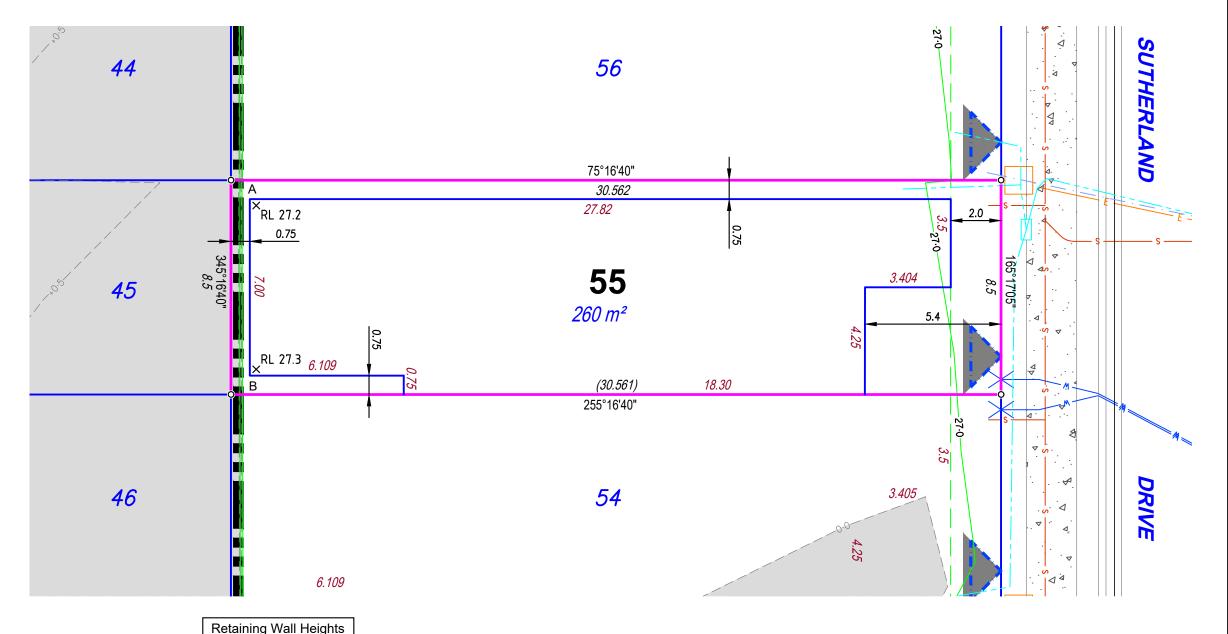
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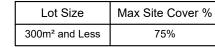
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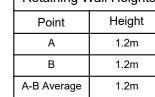
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DWG. 142823-Stg2-AID			SH.	1 of 1
DATE	PROJECT	PLAN	I	AMD.
18/08/20	142823	4/54	Ļ	-

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
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- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with.







The depth of fill on this lot is between 0.0m and 0.5m.

THE LANDING

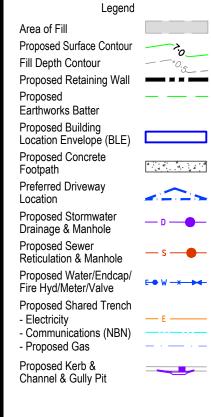
ALLOTMENT INFORMATION

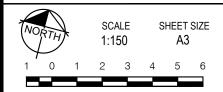
DIAGRAM

For Proposed Lot 55 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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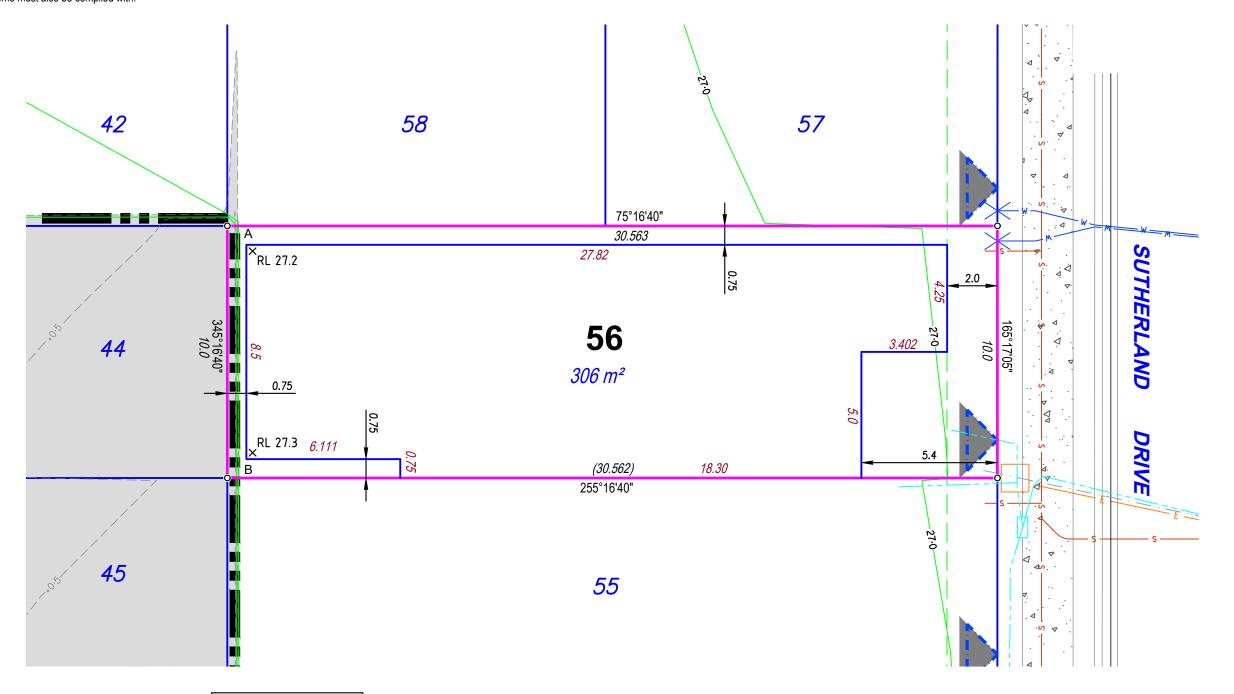
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DATE	PROJECT	PLAN	l	AMD.
18/08/20	142823	4/55	5	-

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Retaining Wall Heights		
Point	Height	
А	1.2m	
В	1.2m	
A-B Average	1.2m	

The depth of fill on this lot is between 0.0m and 0.5m.

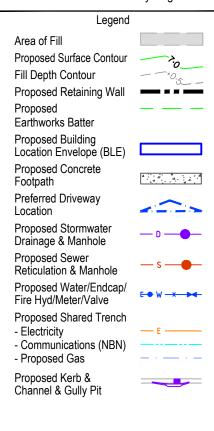
THE LANDING

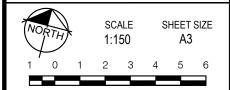
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 56 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

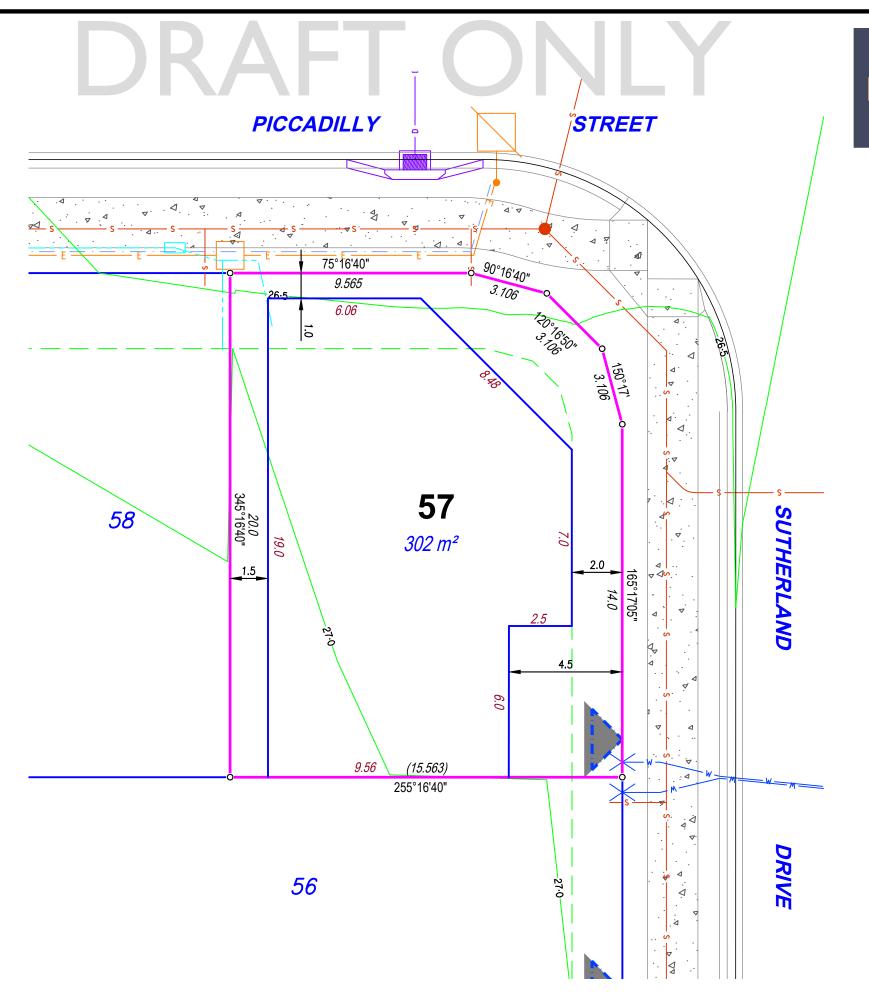
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DATE	PROJECT	PLAN	١	AMD.
18/08/20	142823	4/56	3	-

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For Proposed Lot 57 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

THE LANDING

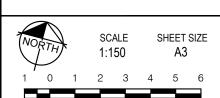
LOCAL AUTHORITY MOTELOTI	Bay Regional
Legend	
Area of Fill	
Proposed Surface Contour	70
Fill Depth Contour	×0.5 -
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	<u> →</u>
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer Reticulation & Manhole	— s —
Proposed Water/Endcap/	F W X X



Fire Hyd/Meter/Valve

- Proposed Gas

Proposed Kerb & Channel & Gully Pit





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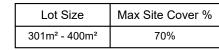
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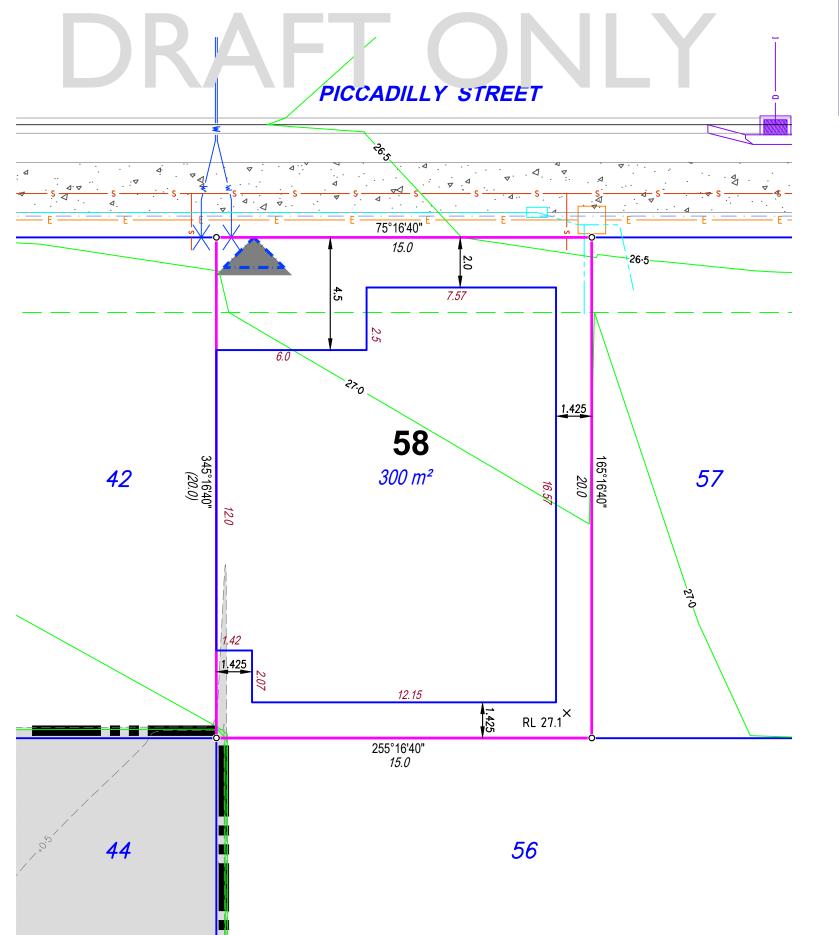
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 18/08/20
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 4/57



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ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 58 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

LOCAL AUTHORITY INIOTELOTT	bay Regional
Legend	
Area of Fill	
Proposed Surface Contour	7,0
Fill Depth Contour	×0.5
Proposed Retaining Wall	
Proposed	
Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	<u> →</u>
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer	

Proposed Shared Trench - Electricity

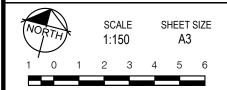
Reticulation & Manhole Proposed Water/Endcap/

Fire Hyd/Meter/Valve

- Communications (NBN) - Proposed Gas

Proposed Kerb & Channel & Gully Pit







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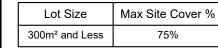
ACN 140 292 762

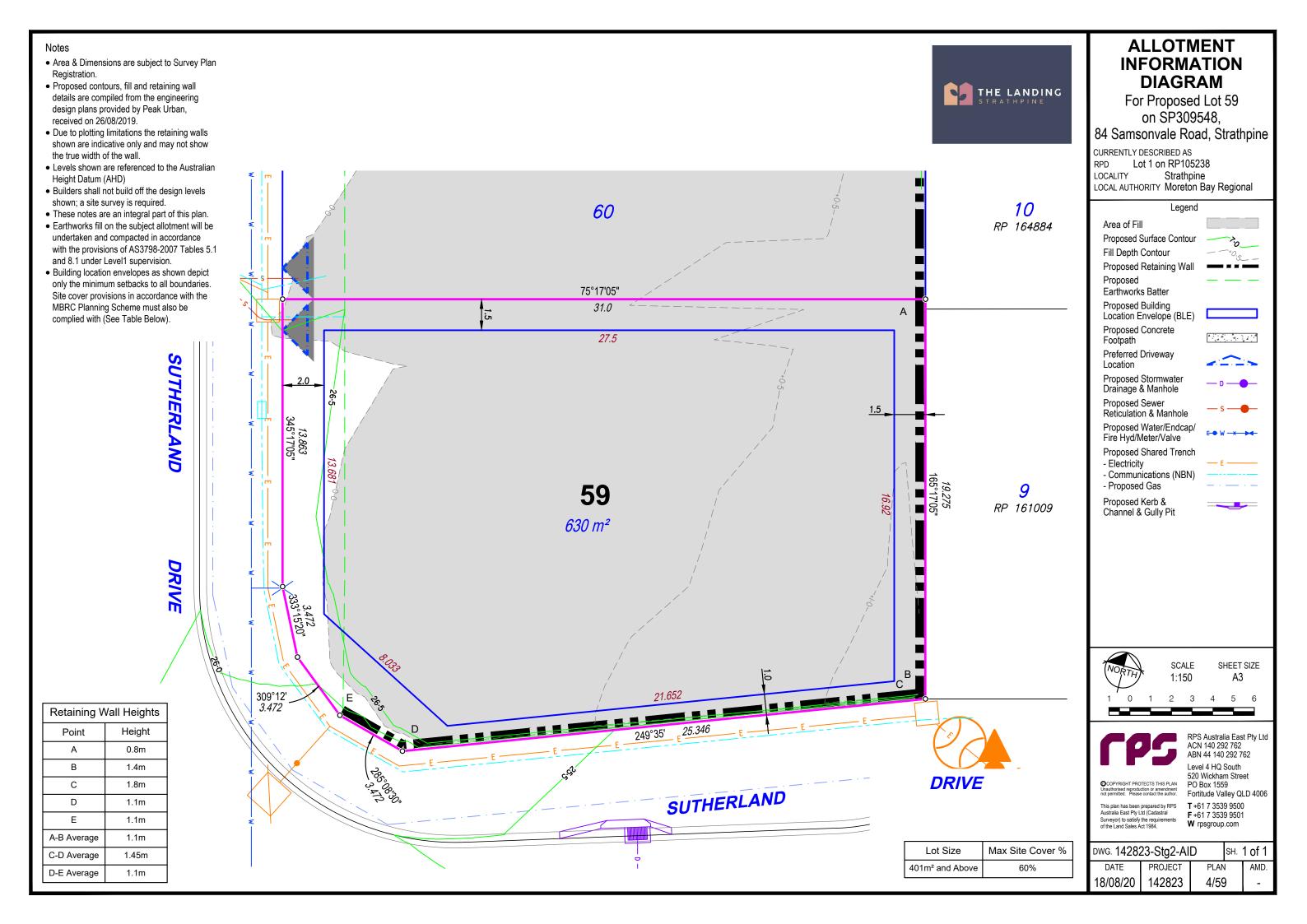
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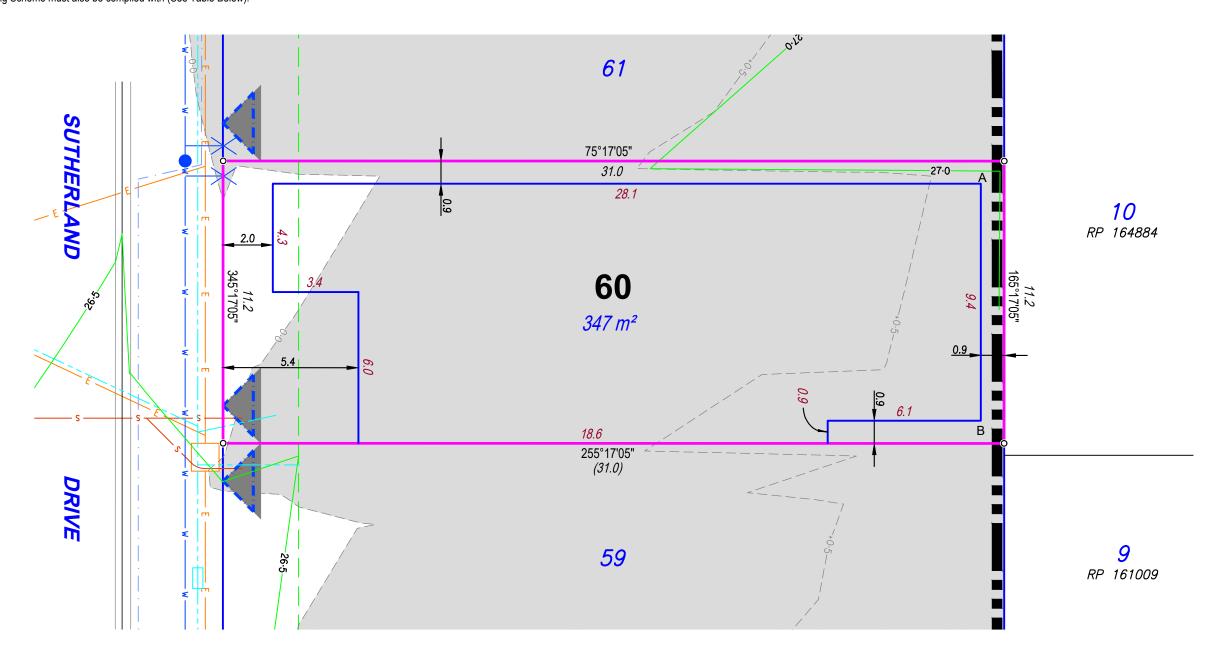
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DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/58	}	-





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Retaining Wall Heights		
Point	Height	
А	0.9m	
В	0.9m	
A-B Average	0.9m	

Lot Size	Max Site Cover %
301m² - 400m²	70%

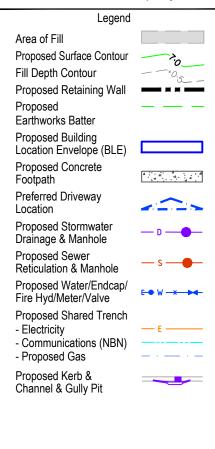
THE LANDING

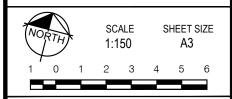
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 60 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional







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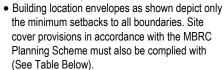
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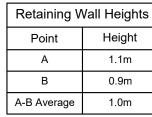
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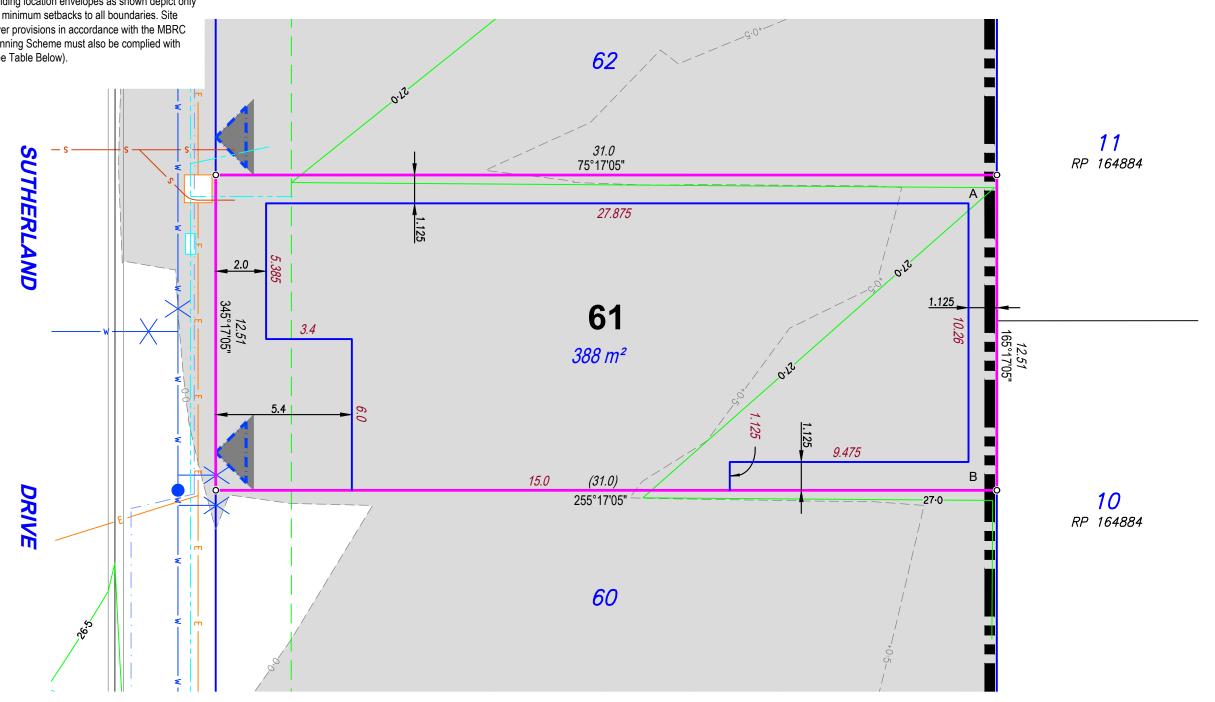
DWG. 14282	D SH.	1 of 1	
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/60	-

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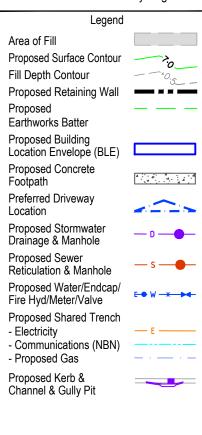


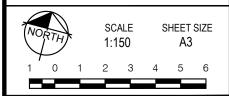
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 61 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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Lot Size

301m² - 400m²

Max Site Cover %

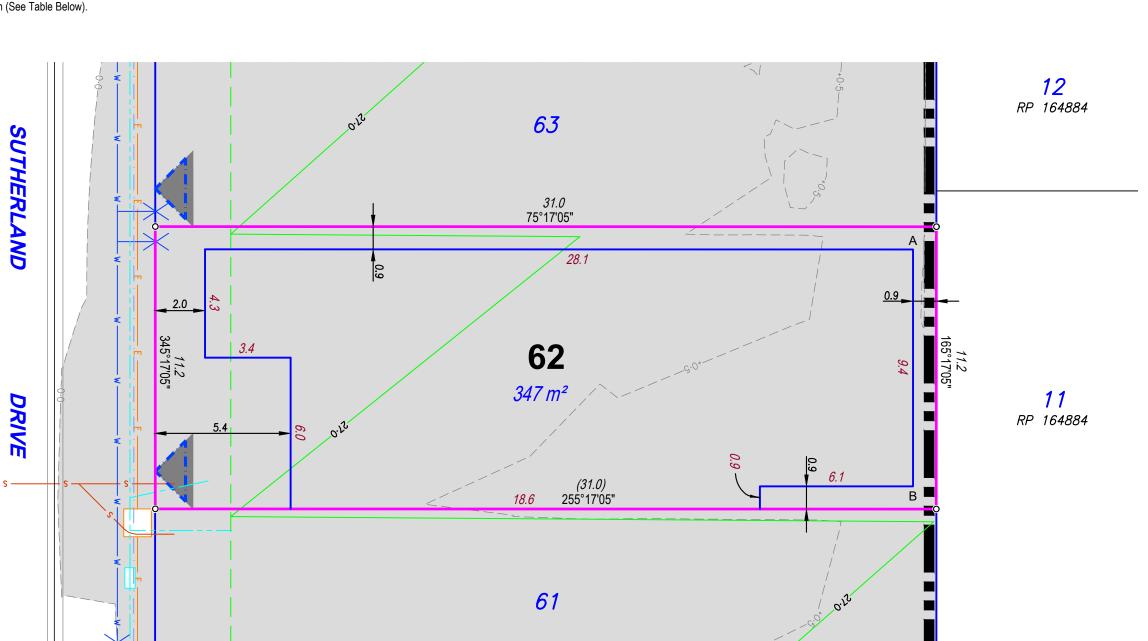
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DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/61	1	-

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- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Retaining Wall Height			
Point	Height		
А	1.1m		
В	0.9m		
A-B Average	1.0m		



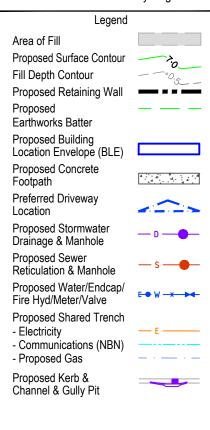


ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 62 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







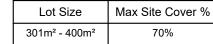
ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

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wg. 142823-Stg2-AID			SH.	1 of 1
DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/62		-



- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only

the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

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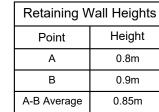


Max Site Cover %

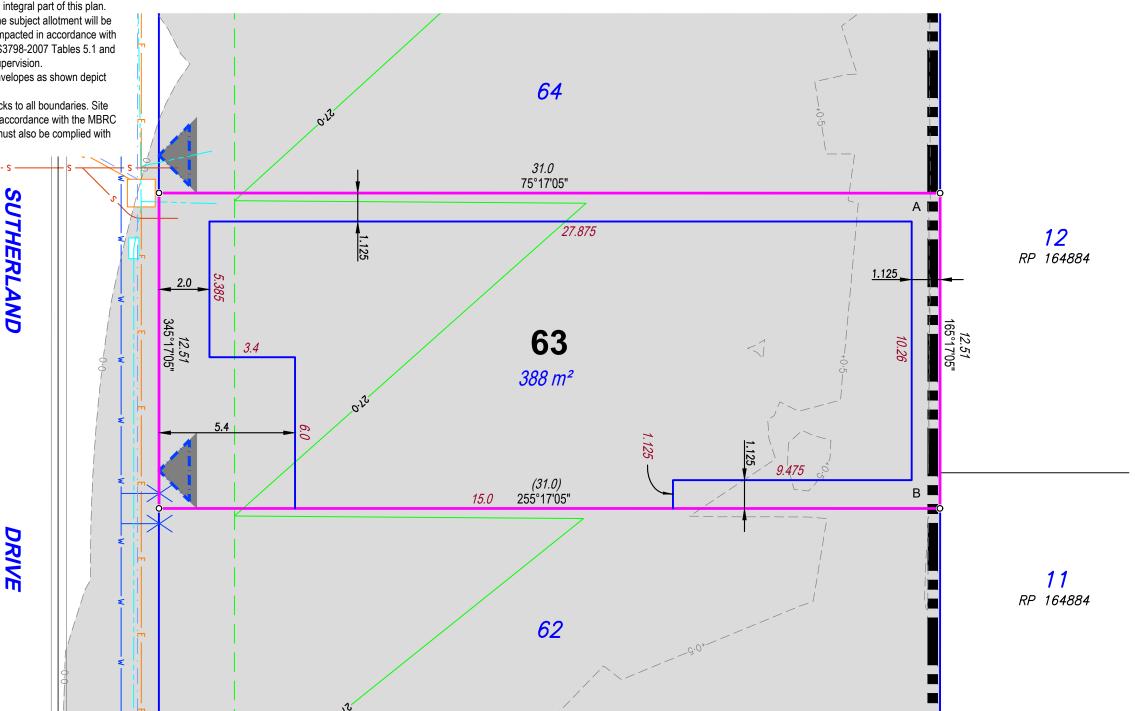
70%

Lot Size

301m² - 400m²





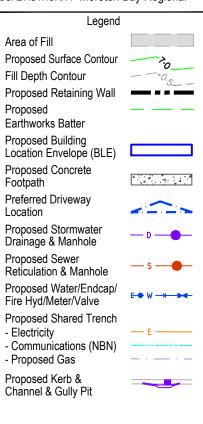


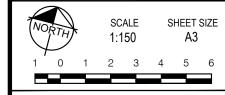
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 63 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South

520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 This plan has been prepared by RPS
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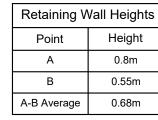
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DWG. 142823-Stg2-AID				1 of 1
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/63		-

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- only

the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

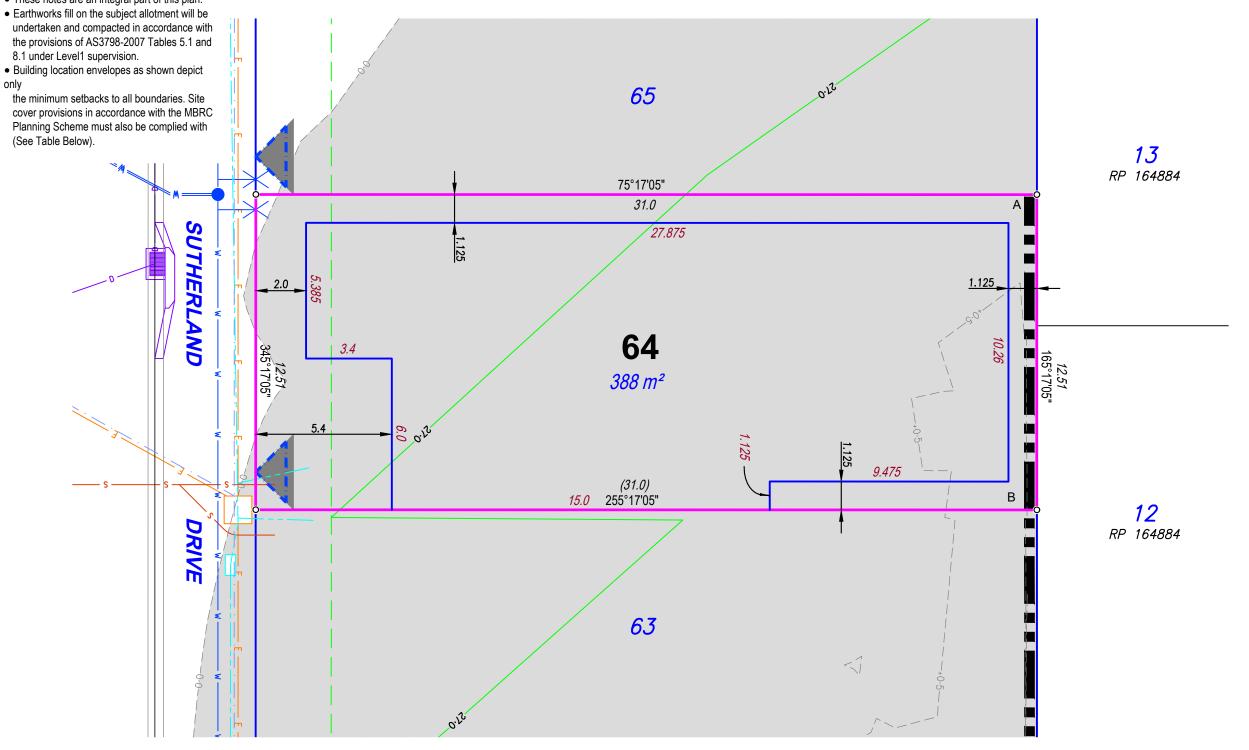




Lot Size

301m² - 400m²

Max Site Cover %

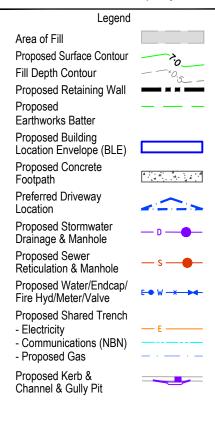


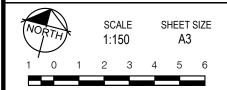
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 64 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street

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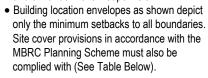
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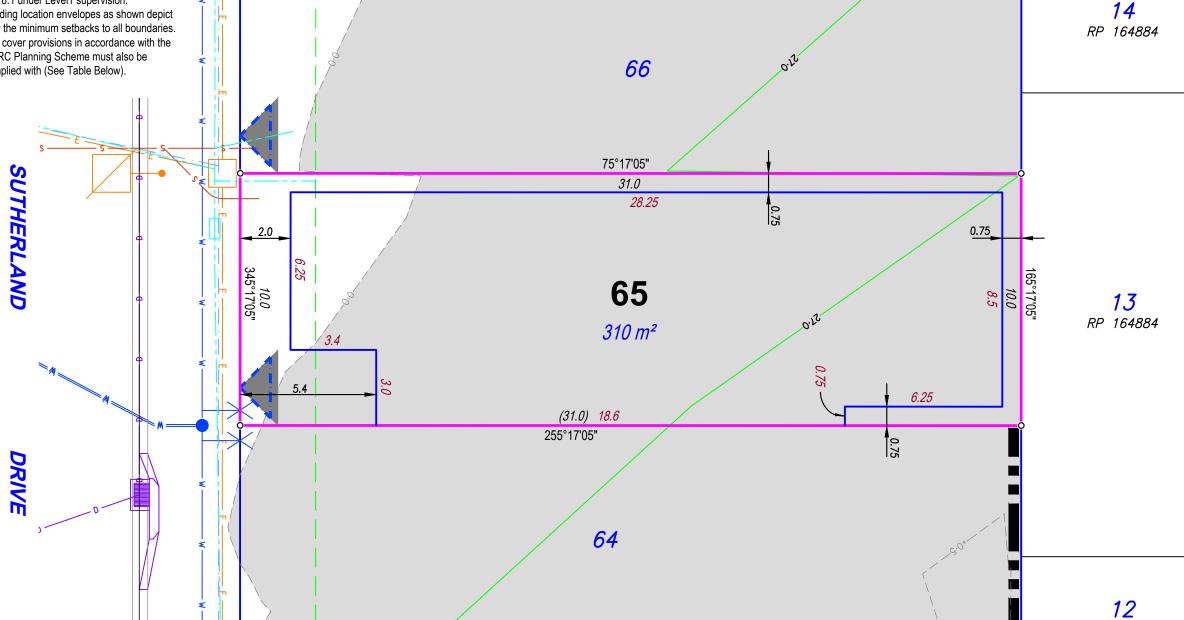
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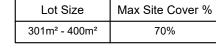
RPS Australia East Pty Ltd

DWG. 142823-Stg2-AID SH. 1 of 1				
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/64	1	-

- Area & Dimensions are subject to Survey Plan Registration.
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.







The depth of fill on this lot is between 0.0m and 0.5m.

RP 164884

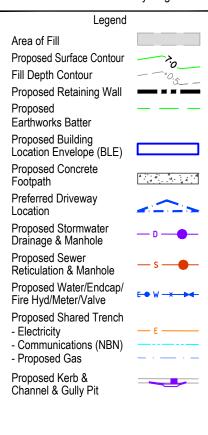
THE LANDING

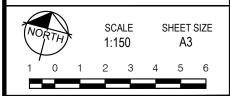
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 65 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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vg. 142823-Stg2-AID			SH.	1 of 1
DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/65	5	-

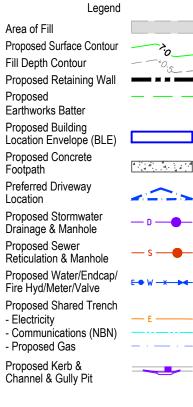
Notes Area & Dimensions are subject to Survey Plan Registration. • Proposed contours, fill and retaining wall THE LANDING details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019. • Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall. • Levels shown are referenced to the Australian Height Datum (AHD) • Builders shall not build off the design levels shown; a site survey is required. • These notes are an integral part of this plan. • Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision. • Building location envelopes as shown depict only the minimum setbacks to all boundaries. 67 Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below). 75°17'05" 14 31.0 SUTHERLAND RP 164884 27.875 2.0 1.125 *12.51* 345°17'05" 165°17'05" 12.51 66 10.26 3.4 388 m² DRIVE 9.475 15.0 (31.0)255°17'05" 13 RP 164884 *65* Lot Size Max Site Cover % The depth of fill on this lot is 301m² - 400m² 70% between 0.0m and 0.5m. 18/08/20

ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 66 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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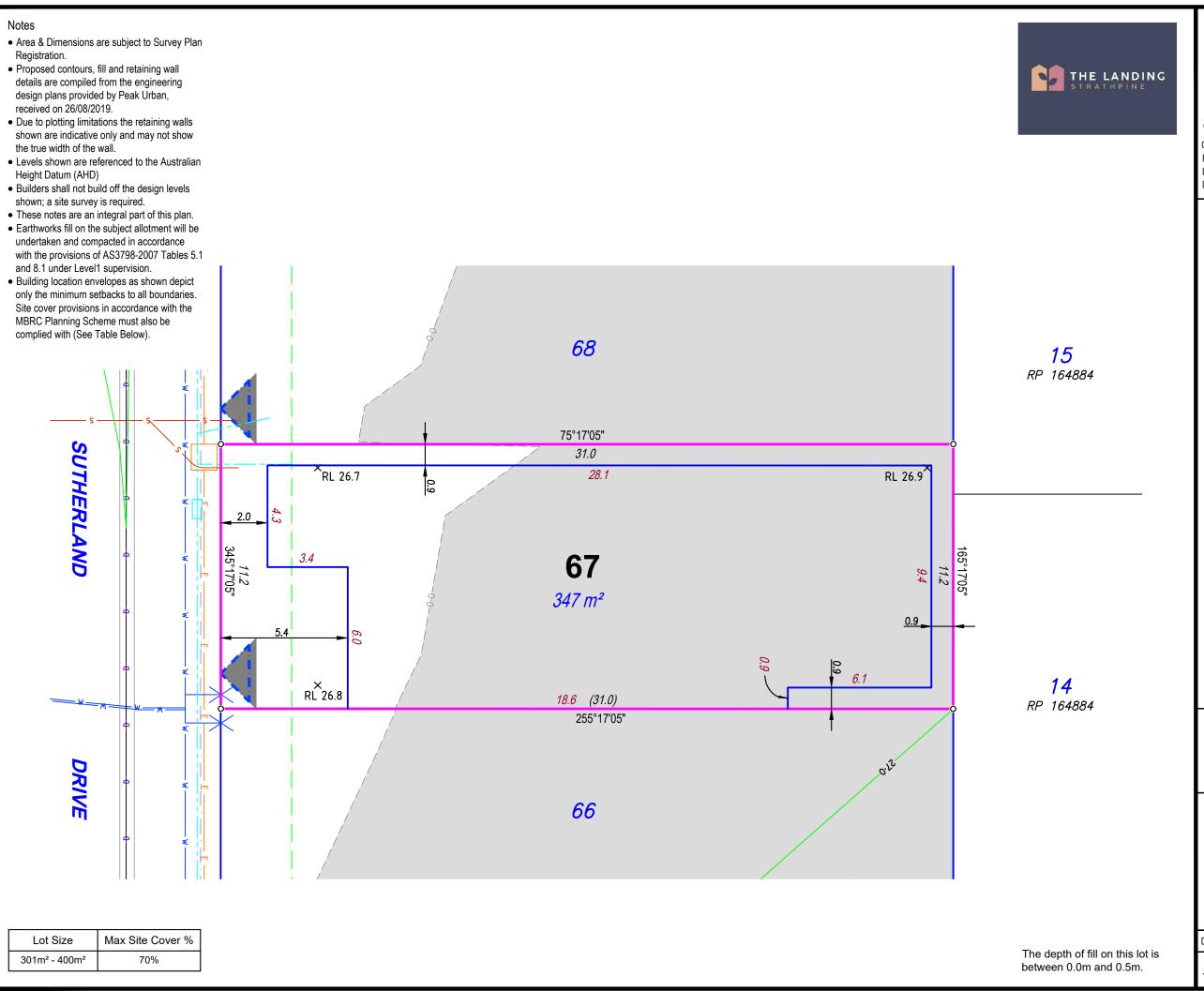
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4/66

DWG. 142823-Stg2-AID				1 of 1
DATE	PROJECT	PLAN		AMD.

142823

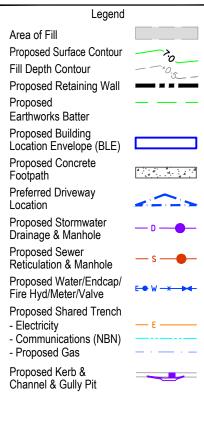


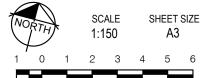
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 67 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional





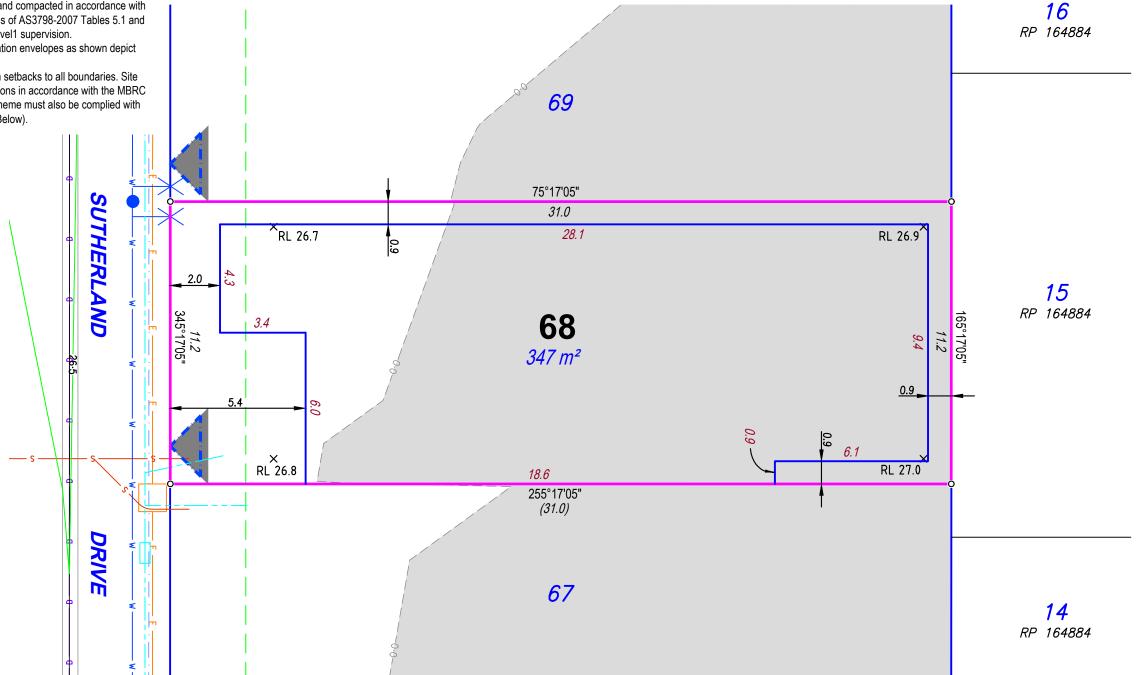


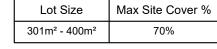
RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

DWG. 14282	SH.	1 of 1		
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/67		-

- Area & Dimensions are subject to Survey Plan
- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD)
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only

the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).





The depth of fill on this lot is between 0.0m and 0.5m.

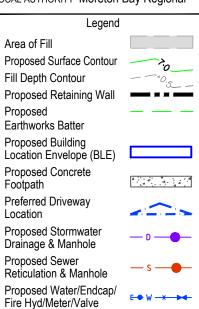
THE LANDING

ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 68 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional



Proposed Shared Trench

- Communications (NBN) - Proposed Gas

- Electricity

Proposed Kerb & Channel & Gully Pit



SCALE 1:150

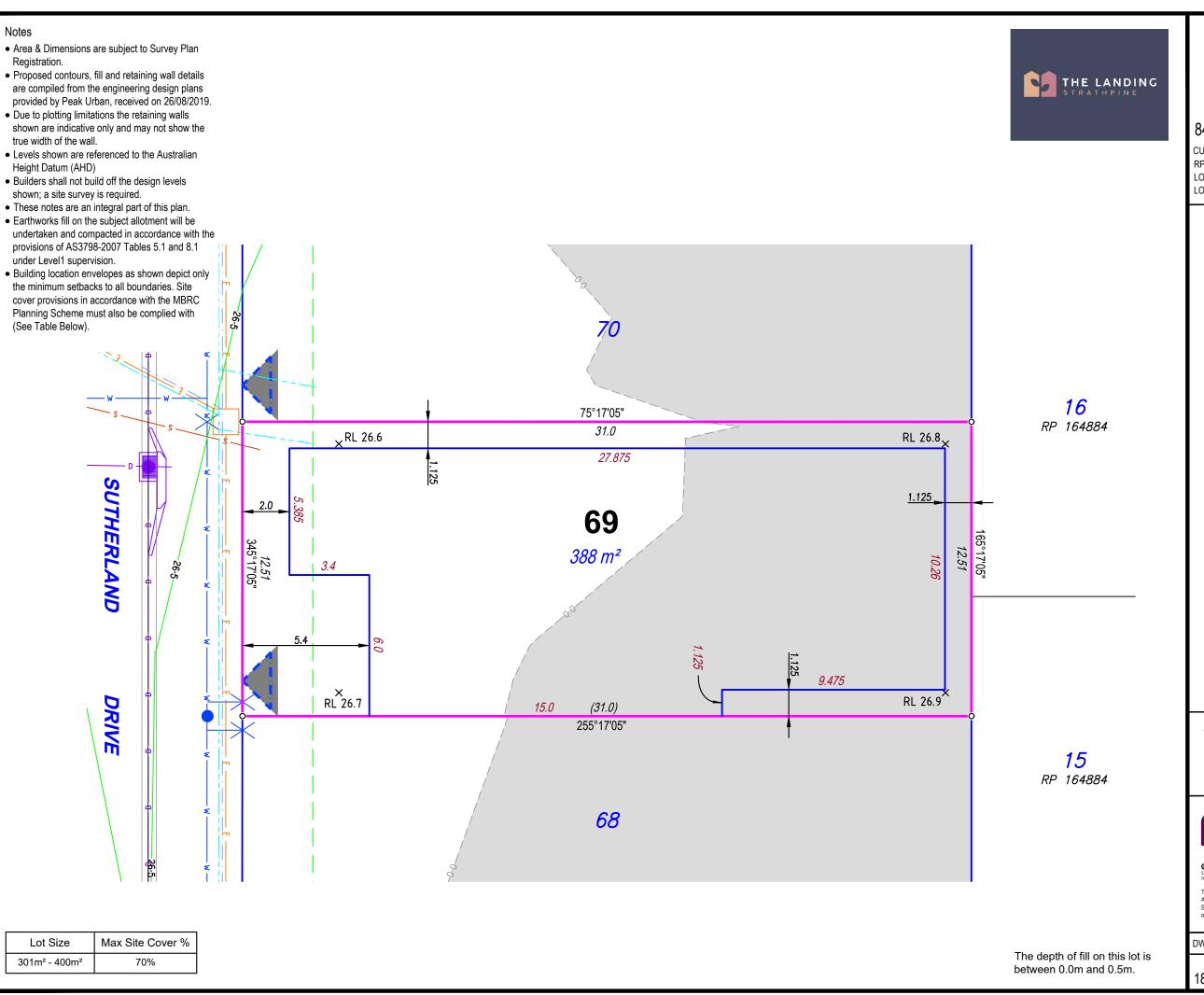
SHEET SIZE A3 3 4 5 6



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DWG. 142823-Stg2-AID SH. 1				
DATE	PROJECT	PLAN	_	AMD.
18/08/20	142823	4/68		-



ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 69 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	7,0
Fill Depth Contour	*O:5
Proposed Retaining Wall	
Proposed Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	
Preferred Driveway Location	<u> </u>
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer Reticulation & Manhole	— s —
Proposed Water/Endcap/ Fire Hyd/Meter/Valve	E ● W × ▶ ■
Proposed Shared Trench - Electricity - Communications (NBN)	— E ———
- Proposed Gas	
Proposed Kerb & Channel & Gully Pit	



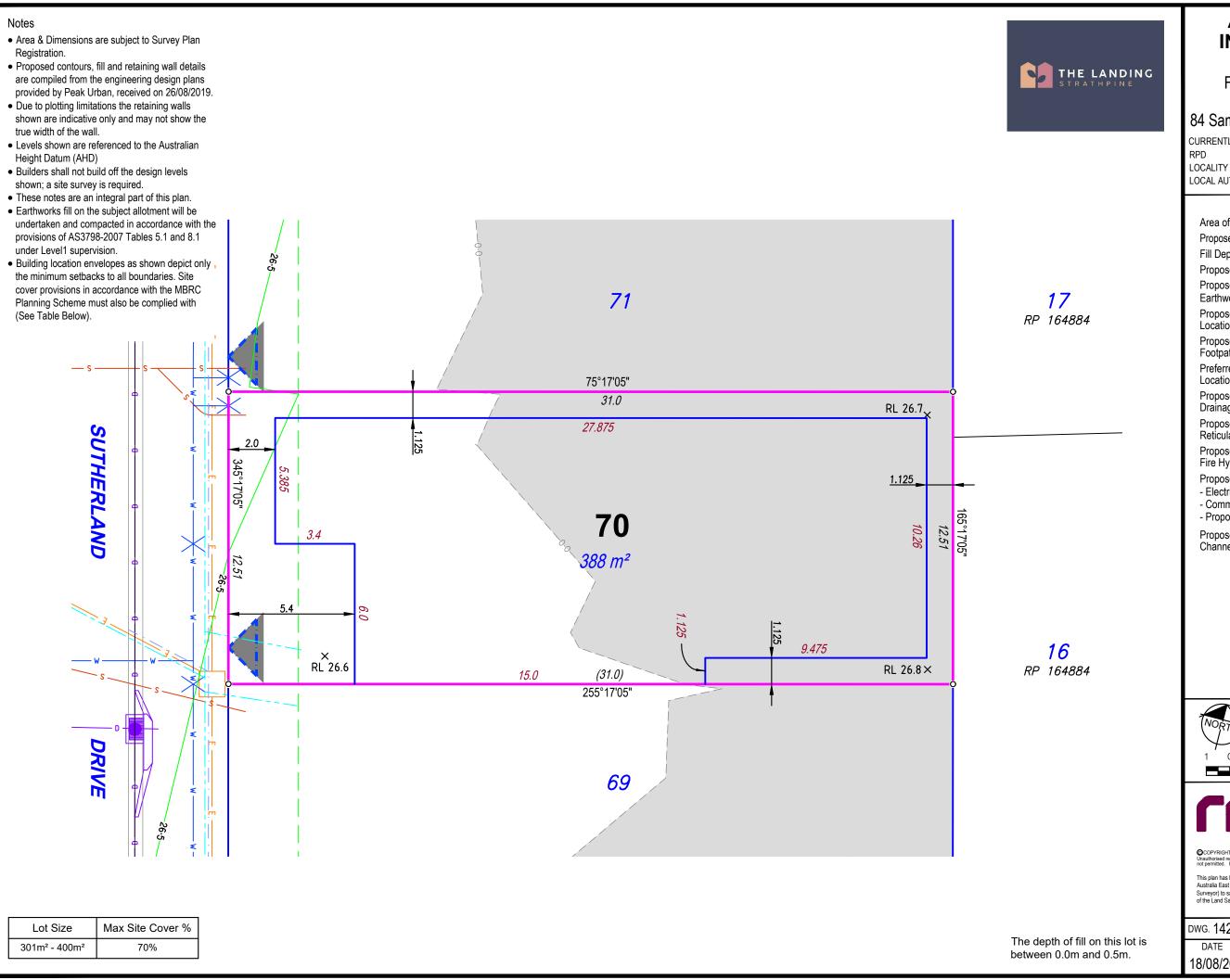


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520 Wickham Street

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DWG. 14282	H. 1 of 1		
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/69	-



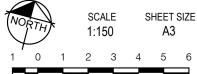
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 70 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 Strathpine LOCAL AUTHORITY Moreton Bay Regional

Legend	
rea of Fill	
oposed Surface Contour	7,0
Il Depth Contour	*O:5
oposed Retaining Wall	
roposed	
arthworks Batter	
oposed Building ocation Envelope (BLE)	
roposed Concrete potpath	
referred Driveway ocation	<u>→</u>
roposed Stormwater rainage & Manhole	— D —
roposed Sewer eticulation & Manhole	— s —
roposed Water/Endcap/ re Hyd/Meter/Valve	E-● W -× -
roposed Shared Trench Electricity	— F ———
Communications (NBN)	
Proposed Gas	
oposed Kerb & hannel & Gully Pit	





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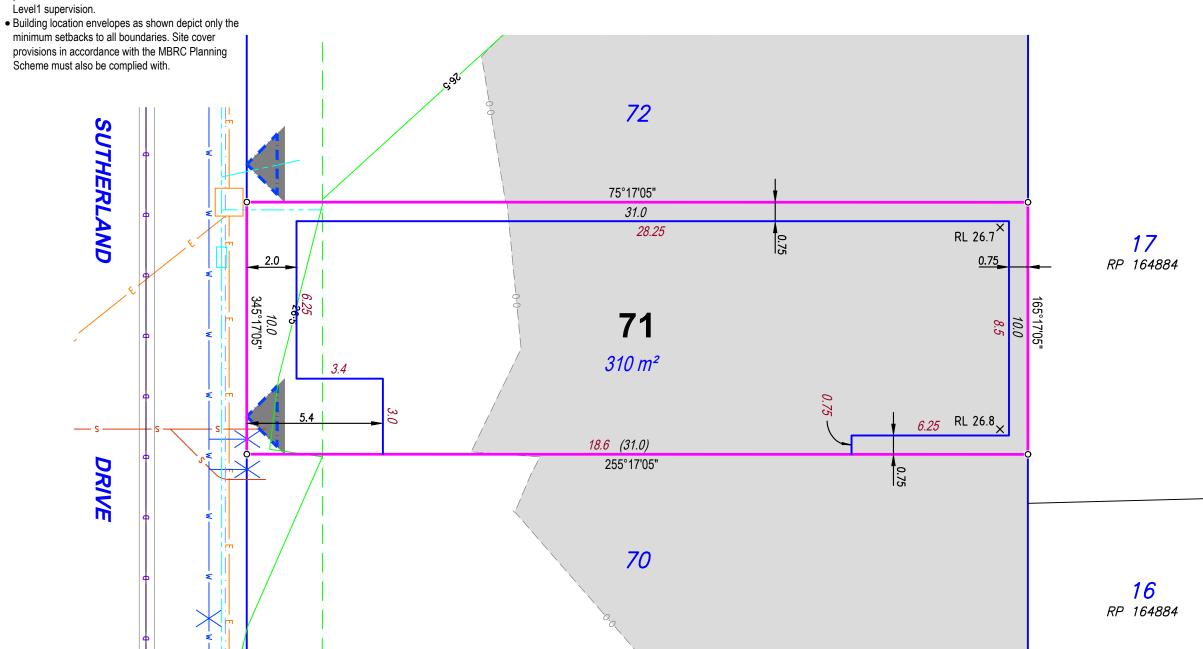
A3

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DWG. 142823-Stg2-AID				1 of 1
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/70)	-

- Area & Dimensions are subject to Survey Plan Registration.
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- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under



Lot Size Max Site Cover % 301m² - 400m² 70%

The depth of fill on this lot is between 0.0m and 0.5m.

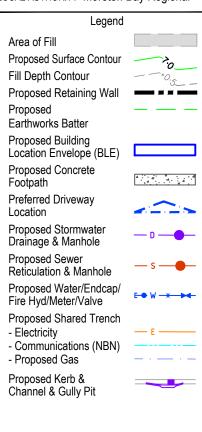
THE LANDING

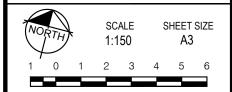
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 71 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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DWG. 142823-Stg2-AID				1 of 1
DATE	PROJECT	PLAN		AMD.

18/08/20 | 142823 | 4/71

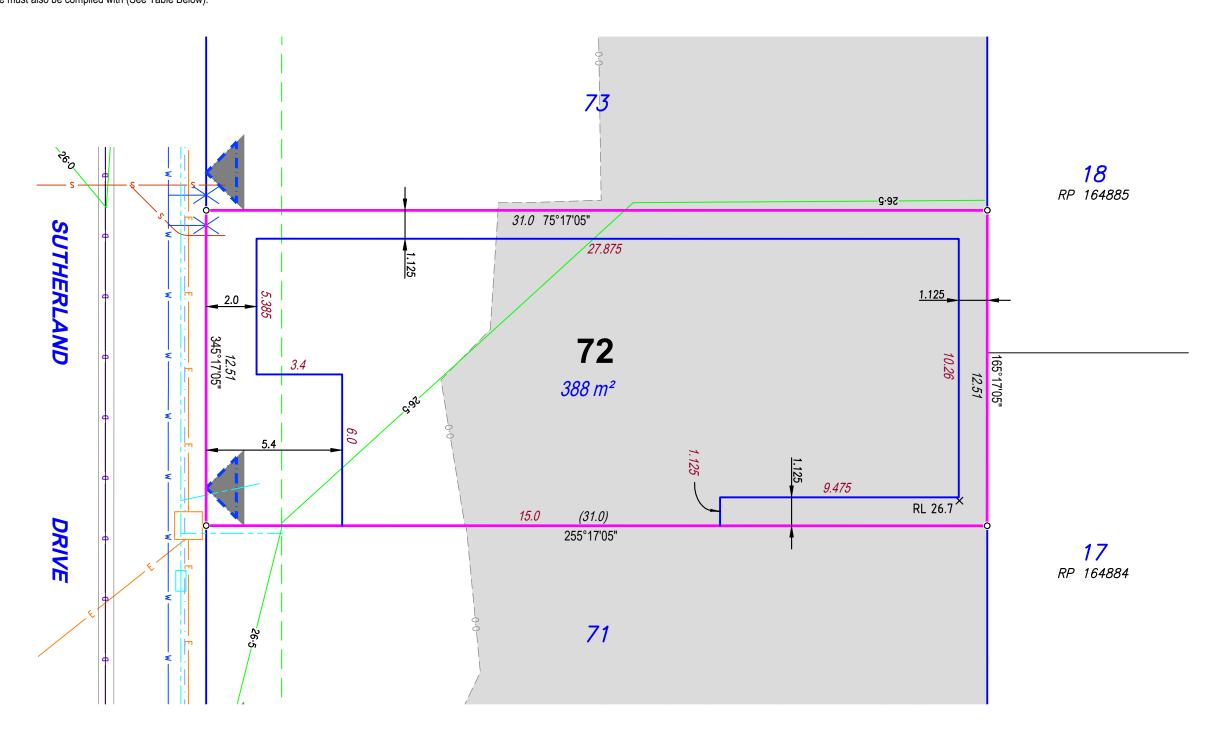
- Area & Dimensions are subject to Survey Plan Registration.
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- Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall.
- Levels shown are referenced to the Australian Height Datum (AHD) .
- Builders shall not build off the design levels shown; a site survey is required.
- These notes are an integral part of this plan.
- Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision.
- Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below).

Max Site Cover %

70%

Lot Size

301m² - 400m²





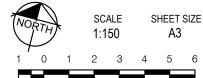
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 72 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 Strathpine LOCALITY LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	~~~
Fill Depth Contour	x0:5
Proposed Retaining Wall	
Proposed	
Earthworks Batter	
Proposed Building Location Envelope (BLE)	
Proposed Concrete Footpath	4 4 4
Preferred Driveway Location	
Proposed Stormwater Drainage & Manhole	— D —
Proposed Sewer Reticulation & Manhole	— s —
Proposed Water/Endcap/ Fire Hyd/Meter/Valve	E ■ W —× →
Proposed Shared Trench - Electricity	— Е ———
- Communications (NBN) - Proposed Gas	
Proposed Kerb & Channel & Gully Pit	-





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A3

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DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/72) -	-

The depth of fill on this lot is between 0.0m and 0.5m.

ALLOTMENT Notes **INFORMATION** • Area & Dimensions are subject to Survey Plan **DIAGRAM** • Proposed contours, fill and retaining wall details THE LANDING are compiled from the engineering design plans For Proposed Lot 73 provided by Peak Urban, received on on SP309548, 26/08/2019. • Due to plotting limitations the retaining walls 84 Samsonvale Road, Strathpine shown are indicative only and may not show the CURRENTLY DESCRIBED AS true width of the wall. Lot 1 on RP105238 • Levels shown are referenced to the Australian LOCALITY Strathpine Height Datum (AHD) LOCAL AUTHORITY Moreton Bay Regional • Builders shall not build off the design levels shown; a site survey is required. Legend • These notes are an integral part of this plan. Area of Fill • Earthworks fill on the subject allotment will be undertaken and compacted in accordance with Proposed Surface Contour the provisions of AS3798-2007 Tables 5.1 and Fill Depth Contour 8.1 under Level1 supervision. Proposed Retaining Wall • Building location envelopes as shown depict Proposed 19 Earthworks Batter the minimum setbacks to all boundaries. Site RP 164885 Proposed Building cover provisions in accordance with the MBRC 74 Location Envelope (BLE) Planning Scheme must also be complied with (See Table Below). Proposed Concrete Footpath Preferred Driveway Location Proposed Stormwater SUTHERLAND Drainage & Manhole 75°17'05" Proposed Sewer 31.0 Reticulation & Manhole Proposed Water/Endcap/ 28.1 Fire Hyd/Meter/Valve Proposed Shared Trench - Electricity 2.0 - Communications (NBN) - Proposed Gas **73** *11.2* 345°17'05" 165°17'05" 11.2 Proposed Kerb & Channel & Gully Pit 347 m² 18 0.9 RP 164885 6.1 18.6 -6.92 255°17'05" *(31.0)* DRIVE SCALE SHEET SIZE 1:150 A3 3 4 5 6 72 RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street 17 PO Box 1559 Fortitude Valley QLD 4006 This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. T +61 7 3539 9500 F +61 7 3539 9501 W rpsgroup.com RP 164884 Max Site Cover % Lot Size DWG. 142823-Stg2-AID SH. 1 of 1 The depth of fill on this lot is DATE PROJECT PLAN AMD. 301m² - 400m² 70% between 0.0m and 0.5m. 18/08/20 142823 4/73

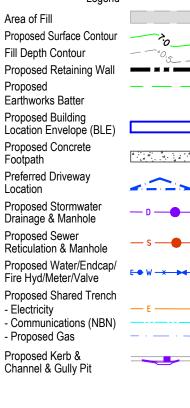
Notes • Area & Dimensions are subject to Survey Plan Registration. • Proposed contours, fill and retaining wall details are THE LANDING compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019. • Due to plotting limitations the retaining walls shown are indicative only and may not show the true width of the wall. CURRENTLY DESCRIBED AS • Levels shown are referenced to the Australian Height Datum (AHD) LOCALITY • Builders shall not build off the design levels shown; a site survey is required. • These notes are an integral part of this plan. Legend • Earthworks fill on the subject allotment will be Area of Fill undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision. Fill Depth Contour • Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover Proposed provisions in accordance with the MBRC Planning Earthworks Batter Scheme must also be complied with (See Table Proposed Building Below). *75* Proposed Concrete Footpath Preferred Driveway Location Proposed Stormwater Drainage & Manhole 75°17'05" SUTHERLAND Proposed Sewer 31.0 19 28.1 RP 164885 Fire Hyd/Meter/Valve - Electricity 2.0 - Proposed Gas *11.2* 345°17'05" Proposed Kerb & 3.4 74 Channel & Gully Pit 347 m² 0.9 RL 26.2 6.1 18.6 255°17'05' DRIVE (31.0)18 RP 164885 73 This plan has been prepared by RPS Australia East Pty Ltd (Cadastral Surveyor) to satisfy the requirements of the Land Sales Act 1984. T +61 7 3539 9500 F +61 7 3539 9501 W rpsgroup.com Max Site Cover % Lot Size The depth of fill on this lot is 301m² - 400m² 70% between 0.0m and 0.5m. 18/08/20 | 142823 |

ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 74 on SP309548,

84 Samsonvale Road, Strathpine

Lot 1 on RP105238 Strathpine LOCAL AUTHORITY Moreton Bay Regional



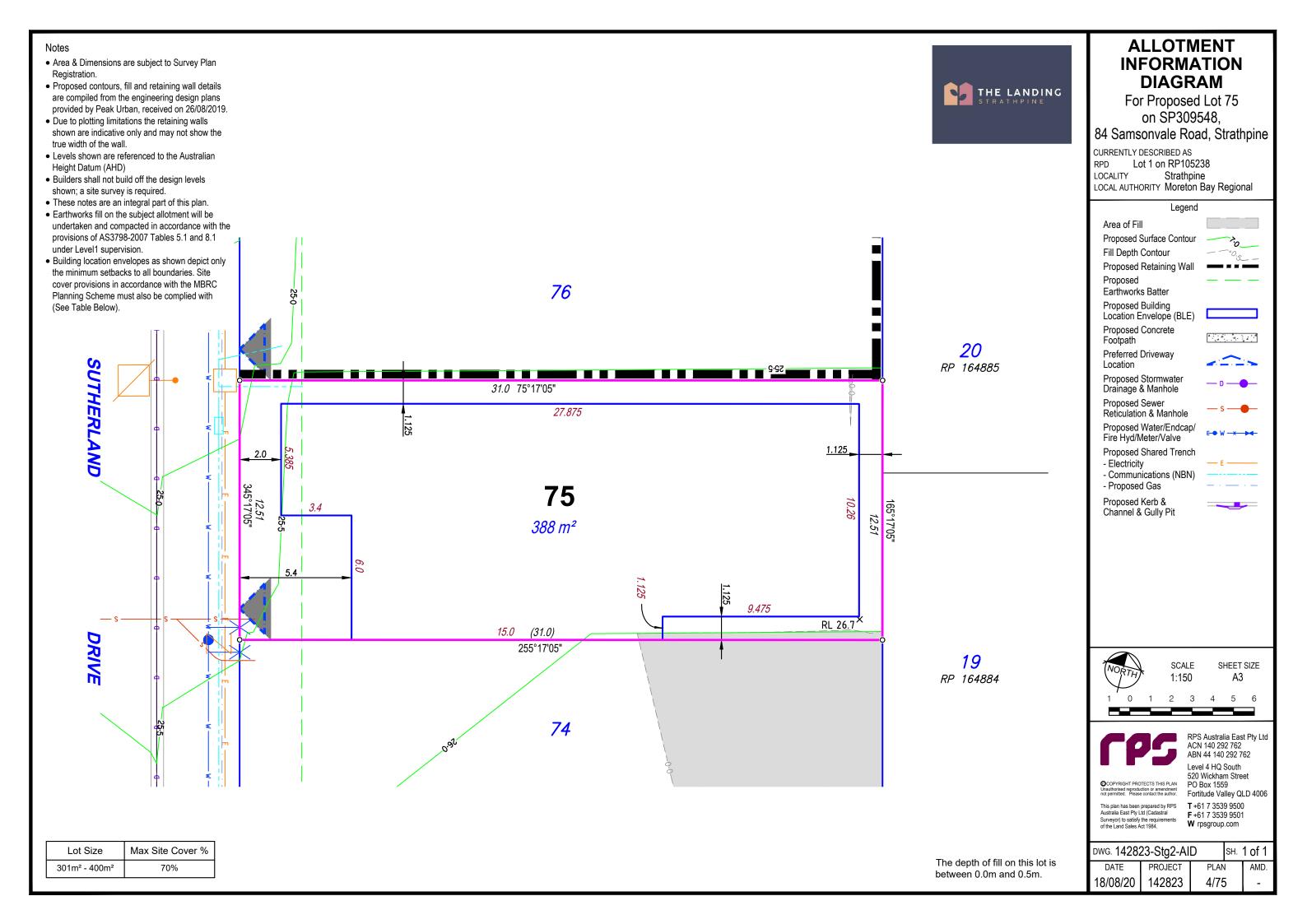


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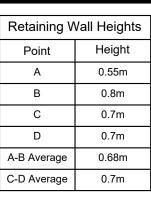
520 Wickham Street PO Box 1559

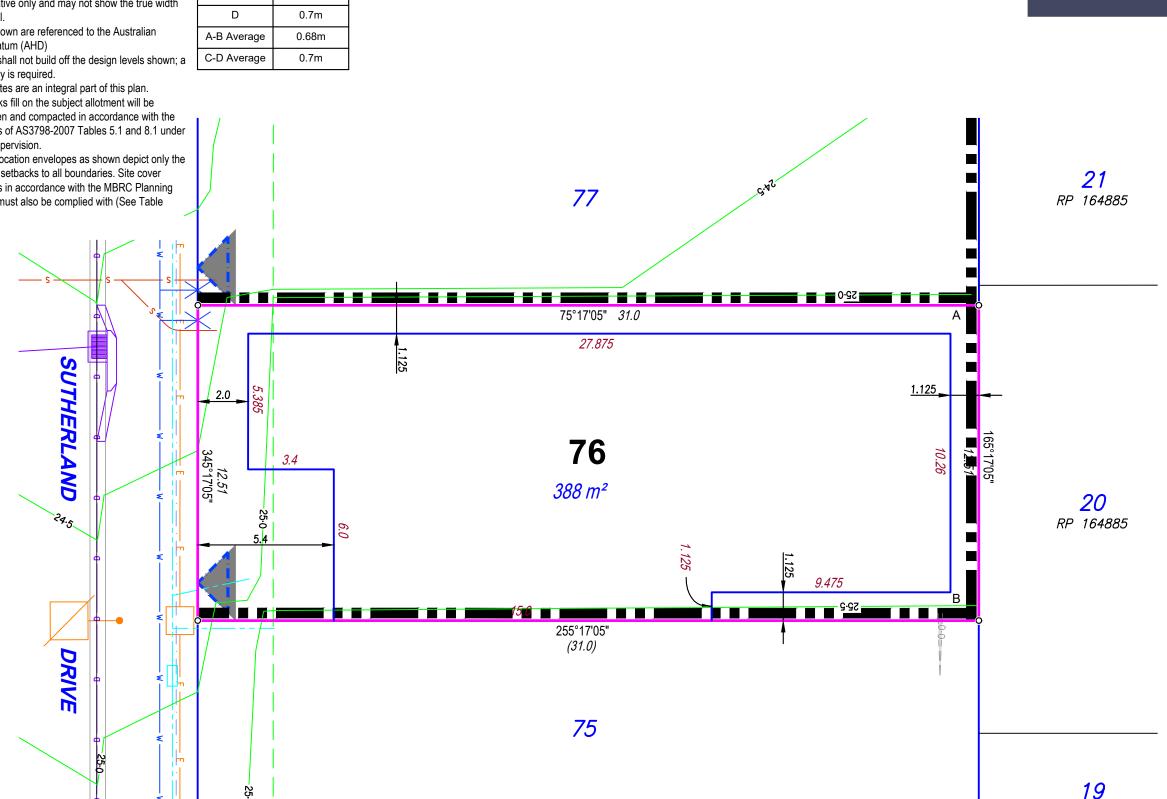
Fortitude Valley QLD 4006

DWG. 14282	SH.	1 of 1		
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/74	Ļ	-



Notes • Area & Dimensions are subject to Survey Plan Registration. • Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided В by Peak Urban, received on 26/08/2019. • Due to plotting limitations the retaining walls shown С are indicative only and may not show the true width D of the wall. • Levels shown are referenced to the Australian Height Datum (AHD) Builders shall not build off the design levels shown; a site survey is required. • These notes are an integral part of this plan. • Earthworks fill on the subject allotment will be undertaken and compacted in accordance with the provisions of AS3798-2007 Tables 5.1 and 8.1 under Level1 supervision. • Building location envelopes as shown depict only the minimum setbacks to all boundaries. Site cover provisions in accordance with the MBRC Planning Scheme must also be complied with (See Table Below). 2.0





Lot Size	Max Site Cover %
301m² - 400m²	70%

The depth of fill on this lot is between 0.0m and 0.5m.

RP 164885

THE LANDING

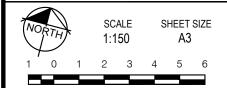
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 76 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional

Legend	
Area of Fill	
Proposed Surface Contour	7.0
Fill Depth Contour	×0.5
Proposed Retaining Wall	
Proposed	
Earthworks Batter	
Proposed Building	
Location Envelope (BLE)	
Proposed Concrete	A **
Footpath	
Preferred Driveway	
Location	
Proposed Stormwater	— D —
Drainage & Manhole	
Proposed Sewer	_ s
Reticulation & Manhole	
Proposed Water/Endcap/	E ₩ - × -
Fire Hyd/Meter/Valve	
Proposed Shared Trench	
- Electricity	— E ——
- Communications (NBN)	
- Proposed Gas	
Proposed Kerb &	
Channel & Gully Pit	

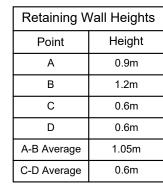


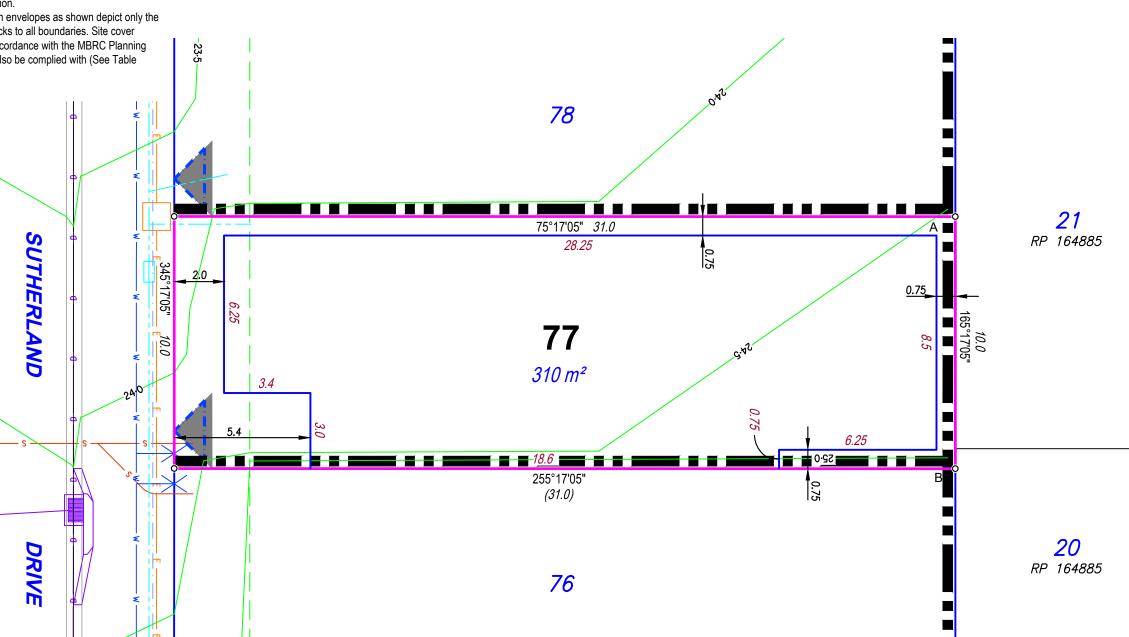


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DWG. 142823-Stg2-AID SH.			1 of 1
DATE	PROJECT	PLAN	AMD.
18/08/20	142823	4/76	-

- Area & Dimensions are subject to Survey Plan Registration.
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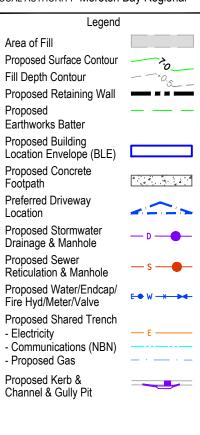


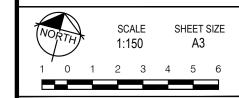
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 77 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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This plan has been prepared by RPS
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wg. 142823-Stg2-AID SH. 1 of 1				1 of 1
DATE	PROJECT	PLAN	1	AMD.
8/08/20	142823	4/77	7	-

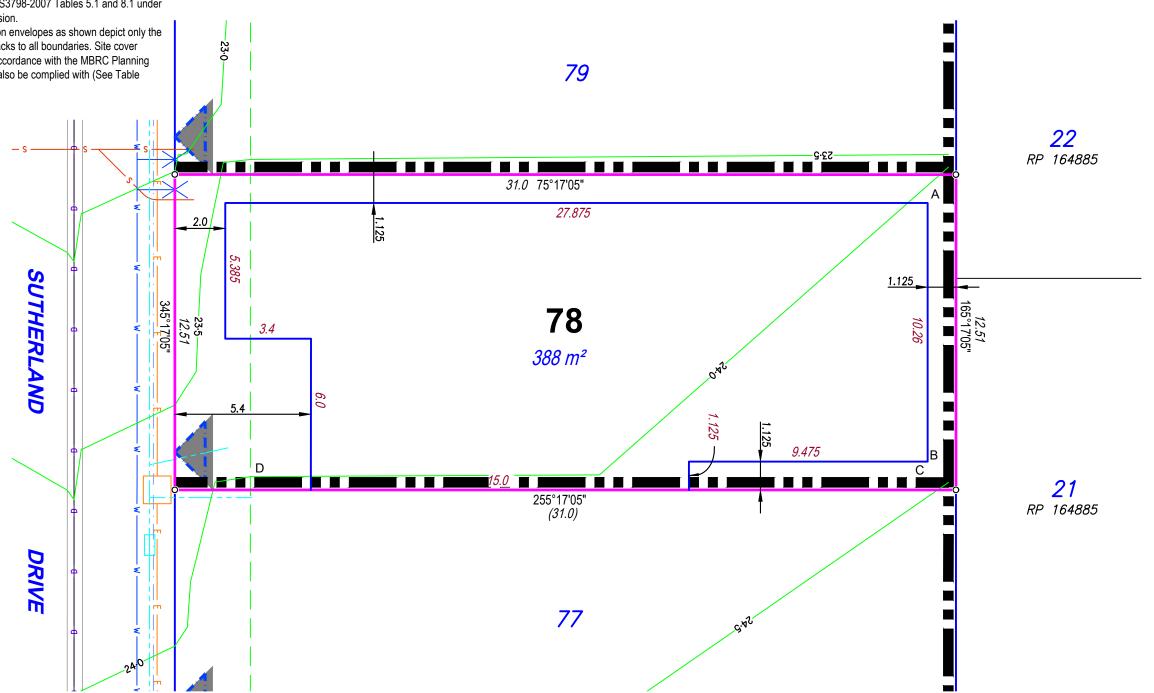
Lot Size Max Site Cover % The depth of fill on this lot is 301m² - 400m² 70% between 0.0m and 0.5m.

• Area & Dimensions are subject to Survey Plan Registration.

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Retaining Wall Heights		
Point	Height	
А	1.0m	
В	1.3m	
С	0.6m	
D	0.6m	
A-B Average	1.15m	
C-D Average	0.6m	



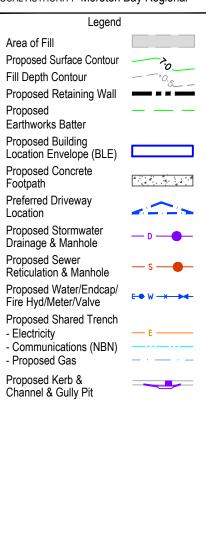


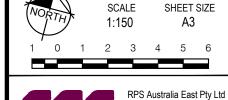
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 78 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







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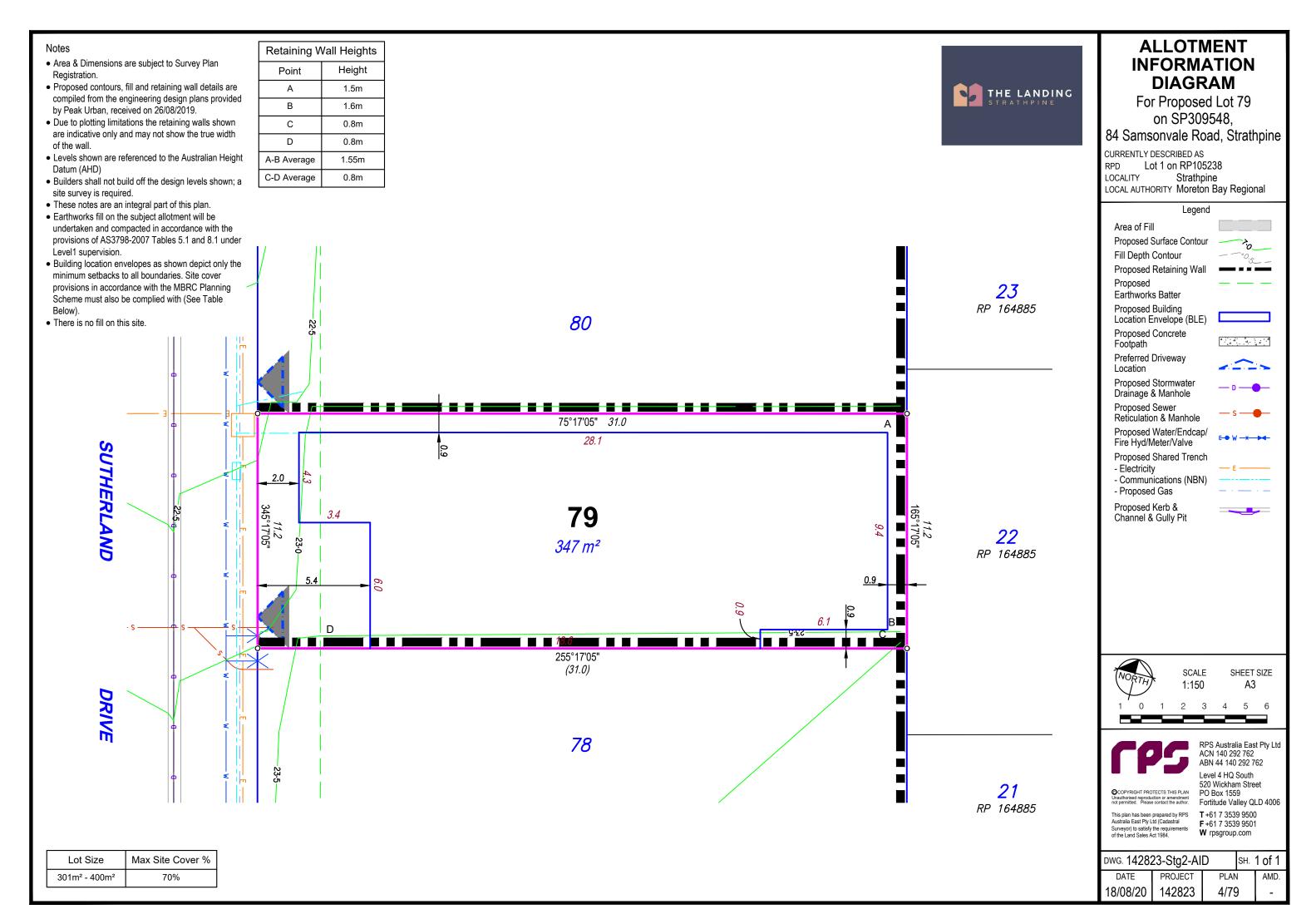
Fortitude Valley QLD 4006 This plan has been prepared by RPS
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of the Land Sales Act 1984.

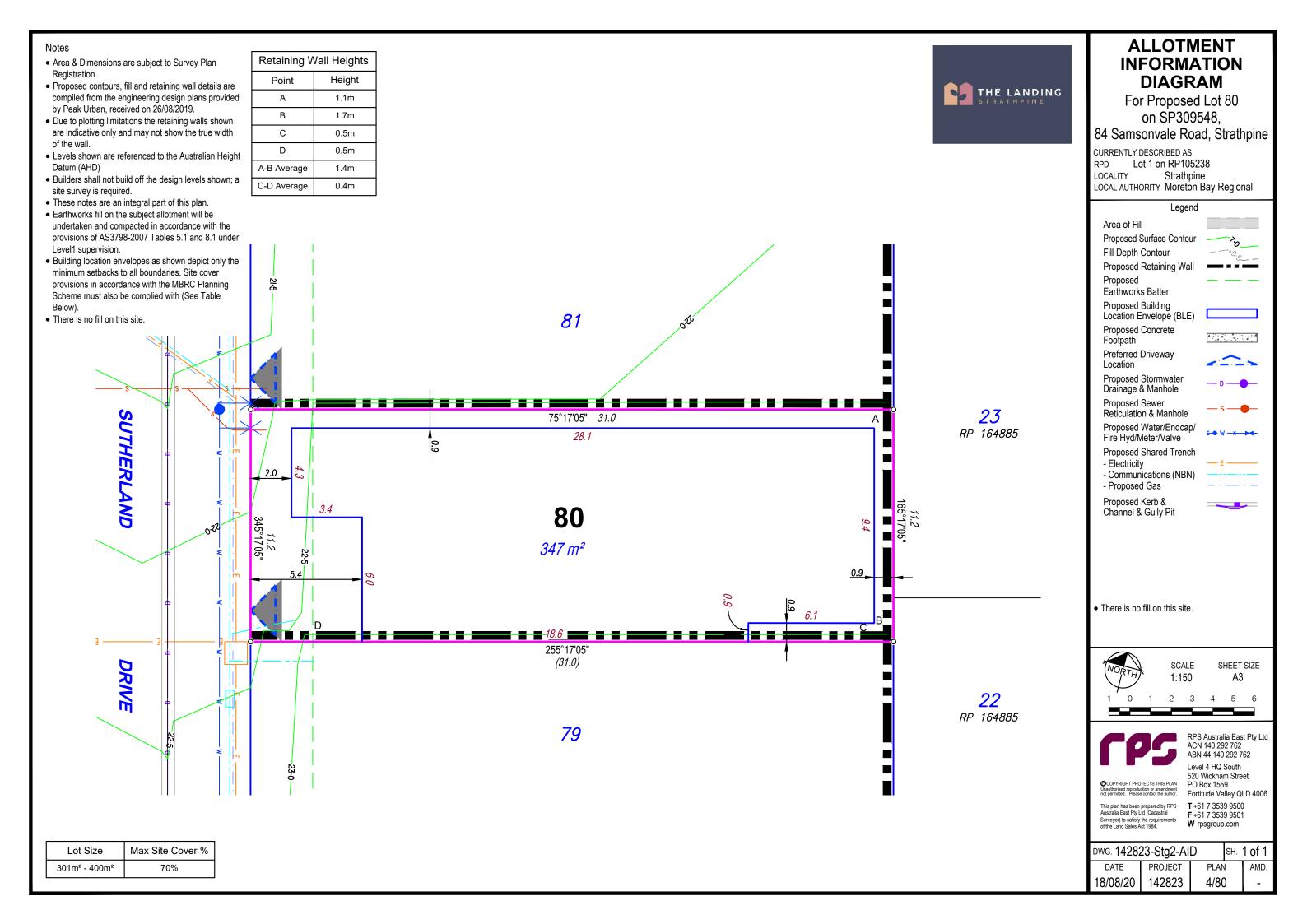
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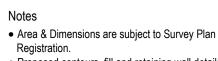
owg. 142823-Stg2-AID			SH.	1 of 1
DATE	PROJECT	PLAN	I	AMD.
18/08/20	142823	4/78	3	-

Lot Size Max Site Cover % 301m² - 400m² 70%

The depth of fill on this lot is between 0.0m and 0.5m.







- Proposed contours, fill and retaining wall details are compiled from the engineering design plans provided by Peak Urban, received on 26/08/2019.
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2.0

345°17'05"

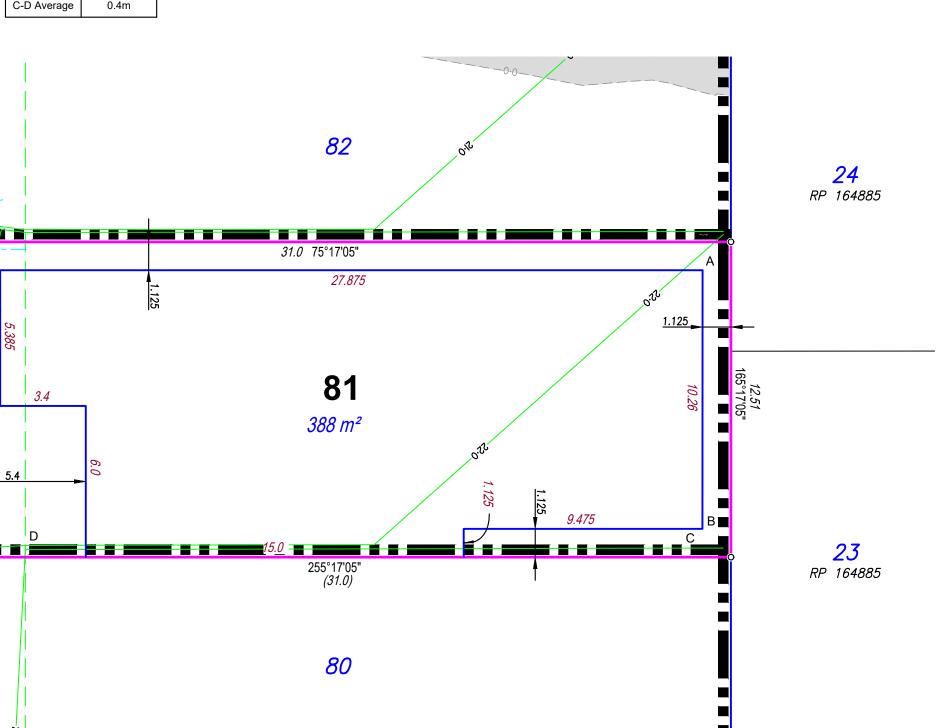
12.51

• There is no fill on this site.

SUTHERLAND

DRIVE

Retaining Wall Heights		
Point	Height	
А	1.2m	
В	1.5m	
С	0.4m	
D	0.4m	
A-B Average	1.35m	
C-D Average	0.4m	



Lot Size	Max Site Cover %
301m² - 400m²	70%

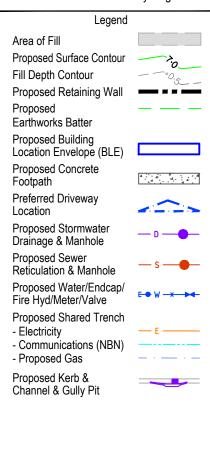
ALLOTMENT INFORMATION DIAGRAM

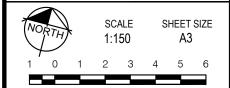
For Proposed Lot 81 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS
RPD Lot 1 on RP105238
LOCALITY Strathpine
LOCAL AUTHORITY Moreton Bay Regional

THE LANDING







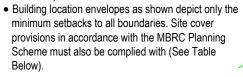
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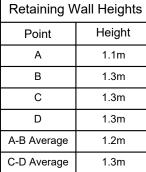
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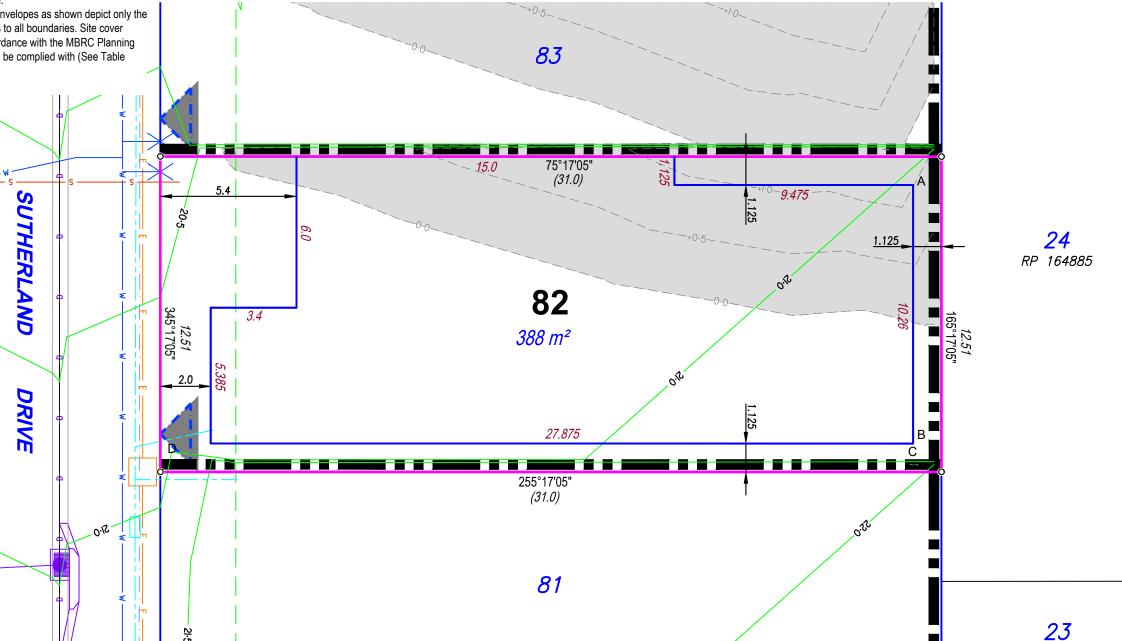
DWG. 142823-Stg2-AID SH. 1 of 1				1 of 1
DATE	PROJECT	PLAN		AMD.
18/08/20	142823	4/81		-

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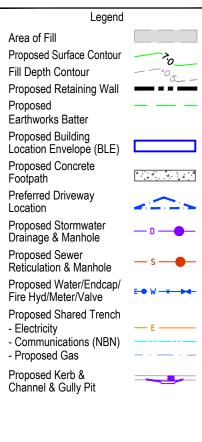
Lot Size	Max Site Cover %
301m² - 400m²	70%

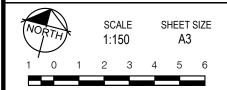
ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 82 on SP309548,

84 Samsonvale Road, Strathpine

CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine LOCAL AUTHORITY Moreton Bay Regional







RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South

520 Wickham Street

RP 164885

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DATE	PROJECT	PLAN		AMD.
8/08/20	142823	4/82	<u>-</u>	-

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Retaining V	Retaining Wall Heights		
Point	Height		
Α	0.8m		
В	1.6m		
С	2.2m		
D	2.2m		
Е	0.7m		
F	1.6m		
G	1.2m		
A-B Average	1.2m		
B-C Average	1.9m		
D-E Average	1.45m		
F-G Average	1.4m		

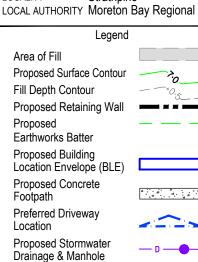
24 RP 164885

ALLOTMENT INFORMATION DIAGRAM

For Proposed Lot 83 on SP309548,

84 Samsonvale Road, Strathpine

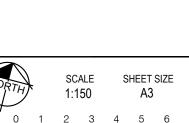
CURRENTLY DESCRIBED AS Lot 1 on RP105238 LOCALITY Strathpine



Proposed Shared Trench - Electricity - Communications (NBN)

Proposed Sewer Reticulation & Manhole Proposed Water/Endcap/ Fire Hyd/Meter/Valve

- Proposed Gas Proposed Kerb & Channel & Gully Pit





This plan has been prepared by RPS

ACN 140 292 762 ABN 44 140 292 762 Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006

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DWG. 142823-Stg2-AID			SH.	1 of 1
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