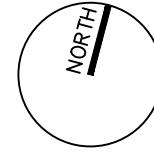


LEGEND

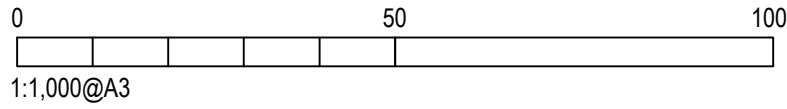
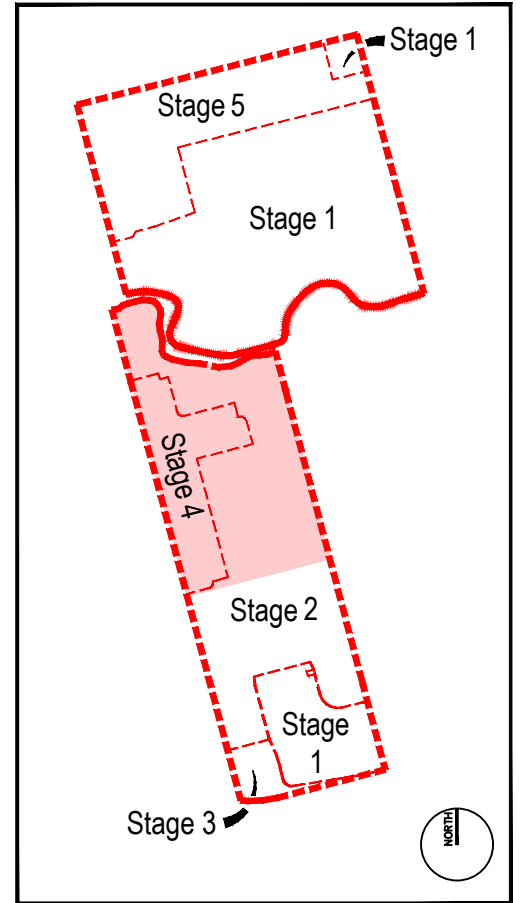
Site Boundary	
Stage Boundary	
Possible Open Space	
Bin Pads	

LEGEND - Setbacks

Lots with a frontage 12.5m or less	
Mandatory Built to Boundary Wall	
Optional Built to Boundary Wall	
Mandatory Driveway Location	
Mandatory Driveway Location when Optional Built to Boundary Wall utilised	



KEY DIAGRAM (nts)



CLIENT
PEET LIMITED

PROJECT
PLAN OF DEVELOPMENT
Stage 2(part)+4

84 SAMSONVALE ROAD,
STRATHPINE

1/RP57746 + 1/RP105238

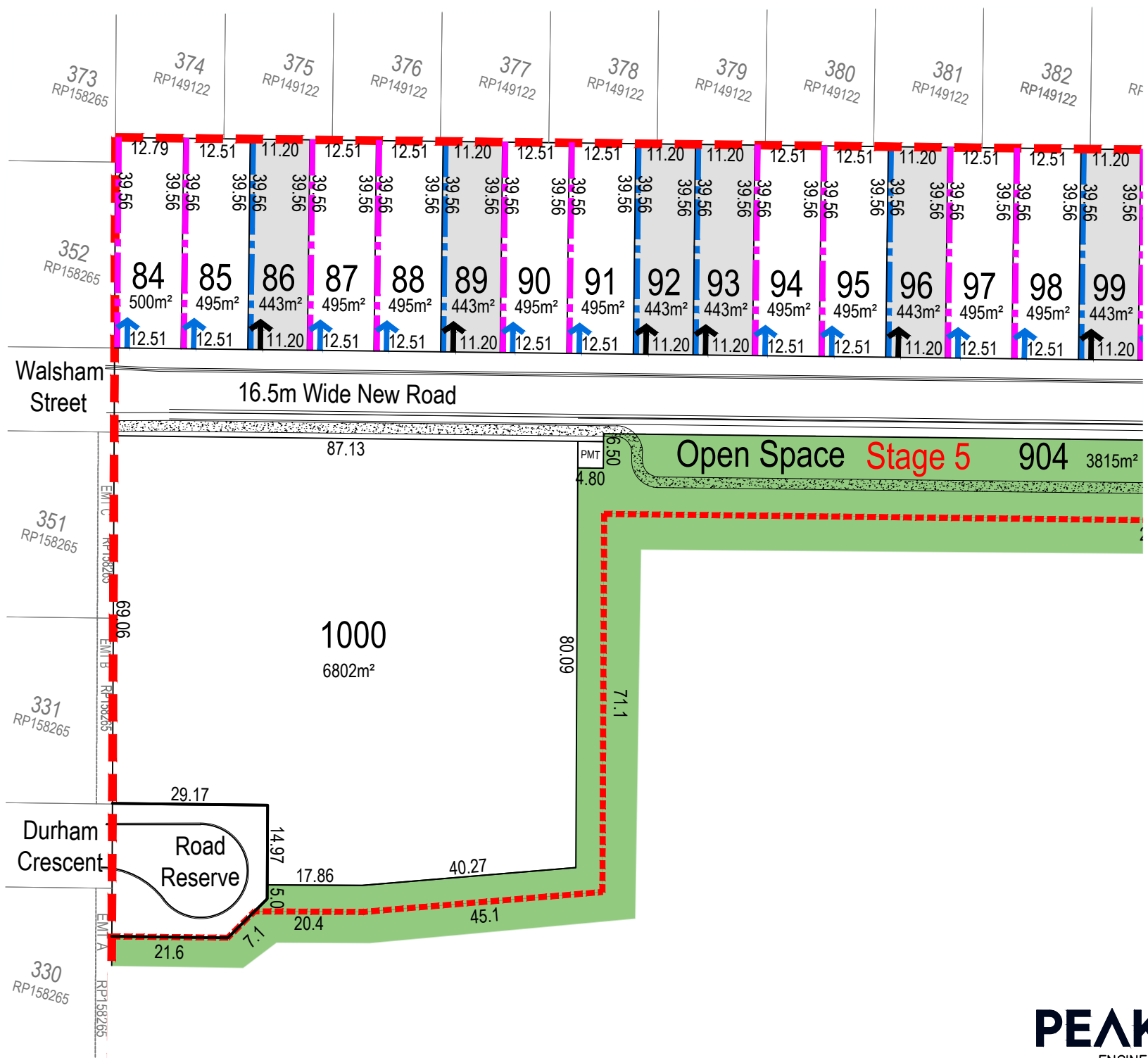
AMENDMENTS		DATE
A	Original	11/04/19
B	Amend Open Space Lot 900 + Pathway/Lots 36-41+1001/Car Parking/PMT	24/05/19
C	Amend Park Staging	06/06/19
D	Amend Staging	04/07/19
E	Add Optional BTBW	19/02/20
F	Remove Optional BTBW	01/04/20
DESIGNED	KS	DATE 01/04/20
SURVEYED		DATE
DRAWN	KS	DATE 01/04/20

NOTES

18-0139-PD1 F

SHEET NO...	2	OF	4	...SHEETS
COMPUTER FILE	18-0139-PD1-F			
SCALE	1:1,000 @A3			
DRAWING No	AMEND			
18-0139-PD1 F				

Approved Subject to Generally in Accordance Decision Notice DA/38361/2019/XA/1 23/04/2020

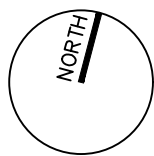


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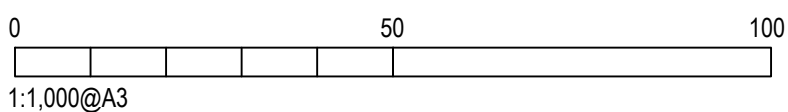
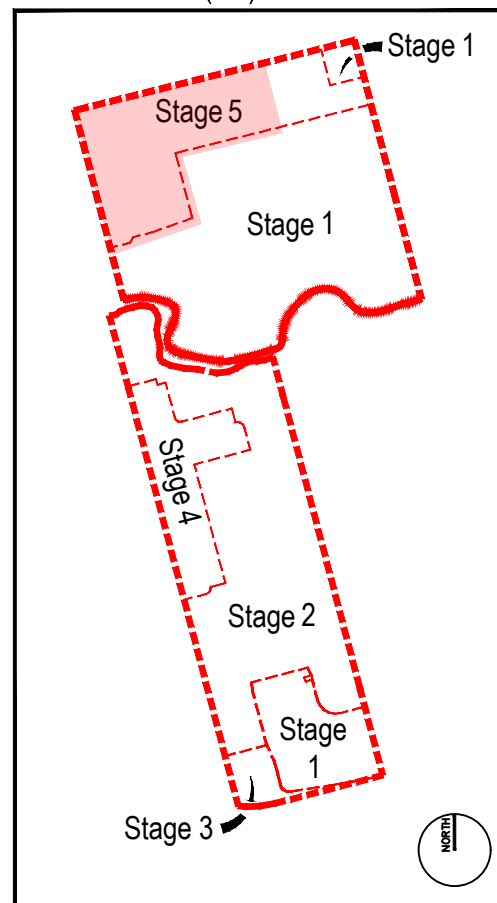
Site Boundary	
Stage Boundary	
Possible Open Space	
Possible PMT Location (subject to further investigation)	

LEGEND - Setbacks

Lots with a frontage 12.5m or less	
Mandatory Built to Boundary Wall	
Optional Built to Boundary Wall	
Mandatory Driveway Location	
Mandatory Driveway Location when Optional Built to Boundary Wall utilised	



KEY DIAGRAM (nts)



CLIENT
PEET LIMITED

PROJECT
PLAN OF DEVELOPMENT
Stage 5(part)

84 SAMSONVALE ROAD,
STRATHPINE

1/RP57746 + 1/RP105238

AMENDMENTS		DATE
A	Original	11/04/19
B	Amend Open Space Lot 900 + Pathway/Lots 36-41+1001/Car Parking/PMT	24/05/19
C	Amend Park Staging	06/06/19
D	Amend Staging	04/07/19
E	Add Optional BTBW	19/02/20
F	Remove Optional BTBW	01/04/20

DESIGNED KS DATE 01/04/20

SURVEYED DATE

DRAWN KS DATE 01/04/20

NOTES

SHEET NO... 3 OF 4 ...SHEETS

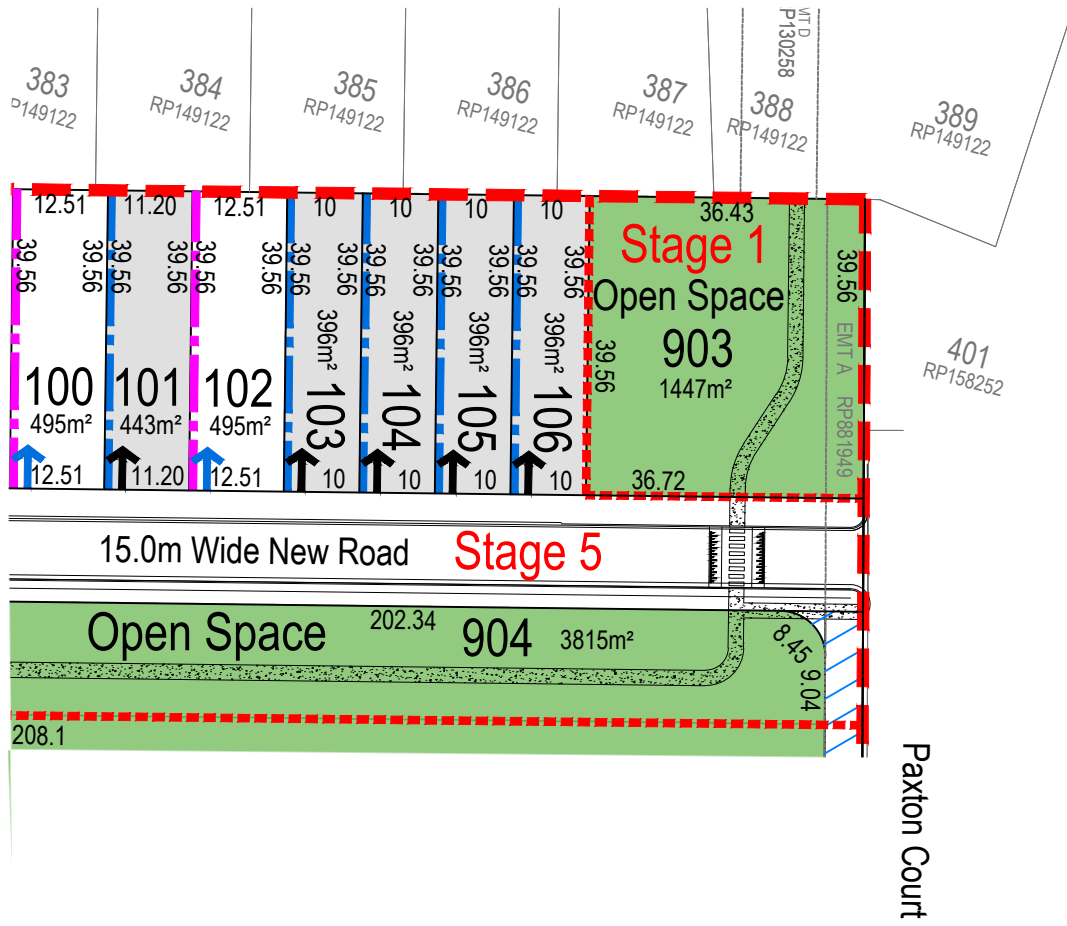
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SCALE 1:1,000 @A3

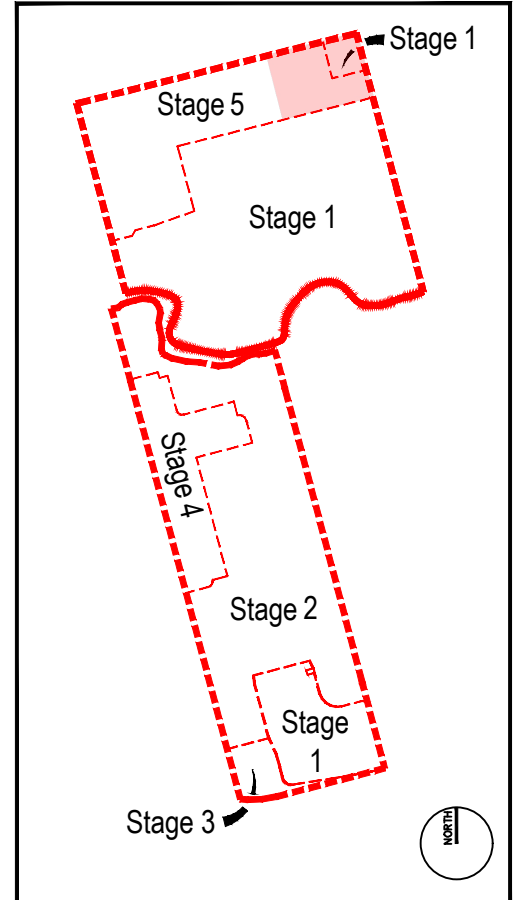
DRAWING No AMEND

18-0139-PD1 F

Approved Subject to Generally in Accordance Decision Notice DA/38361/2019/XA/1 23/04/2020

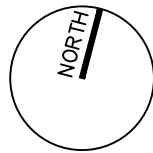


KEY DIAGRAM (nts)



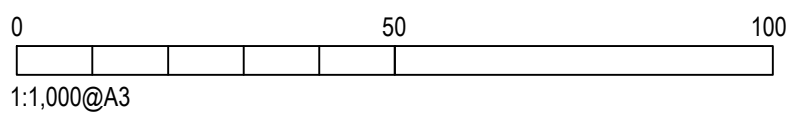
LEGEND

Site Boundary	
Stage Boundary	
Possible Open Space	
Possible PMT Location (subject to further investigation)	



LEGEND - Setbacks

Lots with a frontage 12.5m or less	
Mandatory Built to Boundary Wall	
Optional Built to Boundary Wall	
Mandatory Driveway Location	
Mandatory Driveway Location when Optional Built to Boundary Wall utilised	



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PROJECT
PLAN OF DEVELOPMENT
Stage 1(part)+5(part)

84 SAMSONVALE ROAD,
STRATHPINE

1/RP57746 + 1/RP105238

AMENDMENTS		DATE
A	Original	11/04/19
B	Amend Open Space Lot 900 + Pathway/Lots 36-41+1001/Car Parking/PMT	24/05/19
C	Amend Park Staging	06/06/19
D	Amend Staging	04/07/19
E	Add Optional BTBW	19/02/20
F	Remove Optional BTBW	01/04/20

DESIGNED KS DATE 01/04/20

SURVEYED DATE

DRAWN KS DATE 01/04/20

NOTES

SHEET NO... 4 OF 4 ...SHEETS

COMPUTER FILE 18-0139-PD1-F

SCALE 1:1,000 @A3

DRAWING No AMEND

18-0139-PD1 F