

**Total Area of New Road**  
1.552 ha

*Placed at all new and subject corners, unless otherwise stated.*

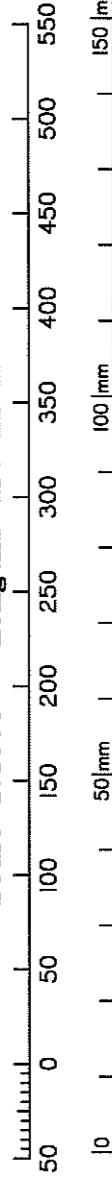
*Original information compiled from SP177166, DP248876 & SP103403 in the Department of Natural Resources and Mines.*

For Lots 1101, 1113, 1129-1142 ..... see Sheet 2  
For Easements ..... see Sheet 3  
For Lot 901 ..... see Sheet 4  
For Ref Marks ..... see Sheet 2

I, Bruce Victor DALTON\*, hereby certify that the land comprised in this plan was surveyed by Andrew RIVERS, Cadastral Surveyor for whose work I accept responsibility and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 11/5/2015.

Date: 11/5/2015  
*B Dalton*  
Cadastral Surveyor  
\* of Schlenker Surveying (Old) Pty. Ltd.  
A.C.N. 063 830 642

Scale 1:4000 - Lengths are in Metres.



150 mm  
100 mm  
50 mm  
State copyright reserved.

Plan of Lots 1101, 1113, 1129-1142, 901, 997-999  
and Emt F in Lot 1113 &  
Emts S-U in Lots 1131, 1132 & 1139 respectively

Scale:  
1:4000

Format:  
STANDARD

Cancelling Lot 812 on SP103403

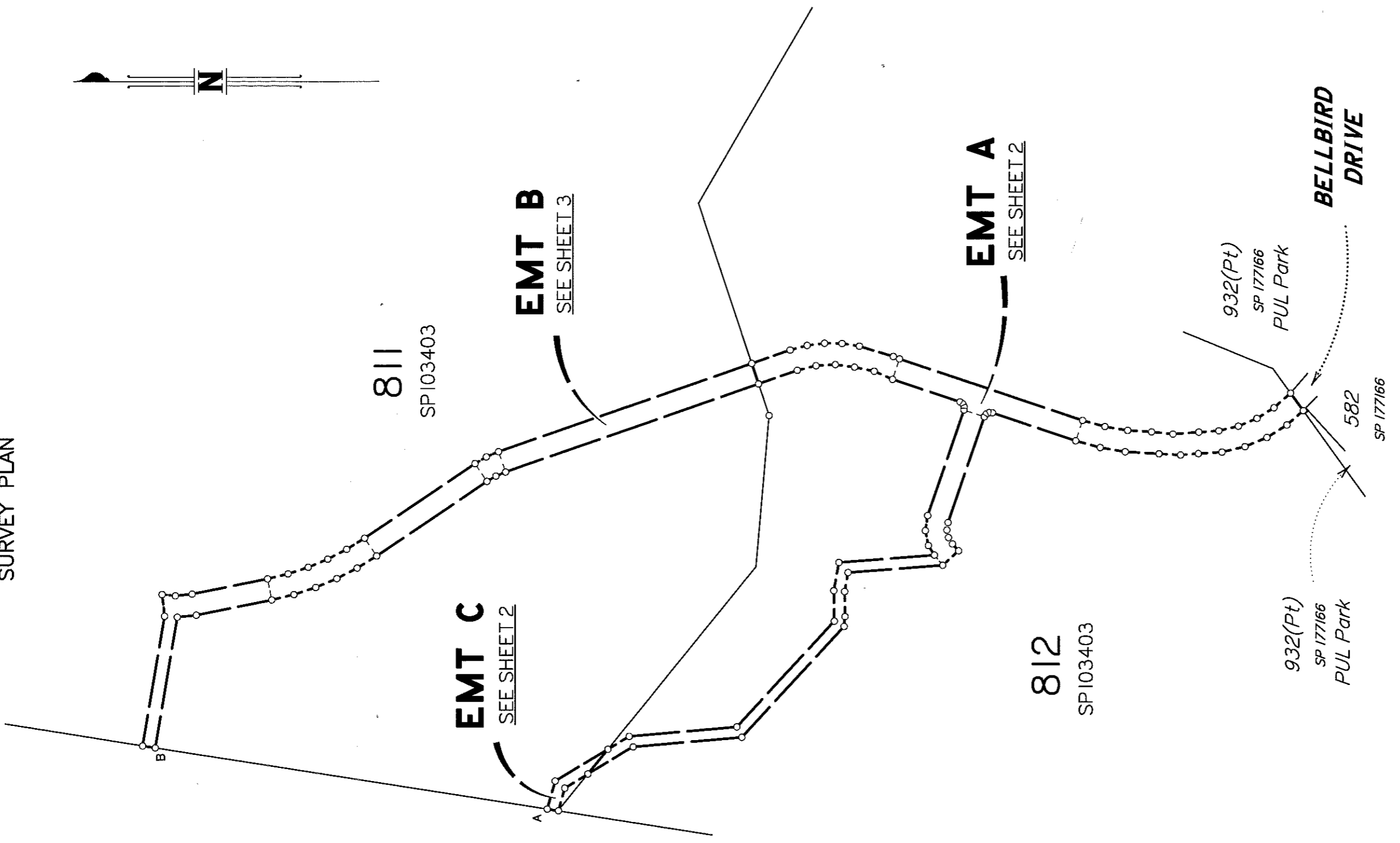
LOCAL GOVERNMENT: LOGAN CITY LOCALITY: GREENBANK

Meridian: MGA (Zone 56) vide DP248876

Survey Records: No



SP272559



66  
SL 642

811  
SP103403

**EMT C**  
SEE SHEET 2

**EMT B**  
SEE SHEET 3

**EMT A**  
SEE SHEET 2

812  
SP103403

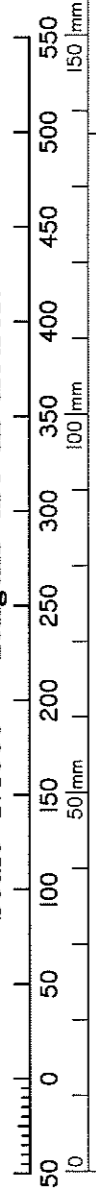
932(Pt)  
SP 177166  
PUL Park

932(Pt)  
SP 177166  
PUL Park

**BELLBIRD  
DRIVE**

582  
SP 177166

Scale 1:4000 - Lengths are in Metres.



State copyright reserved.

**Plan of Easement A in Lot 812  
on SP103403  
& Easements B & C in Lot 811  
on SP103403**

Scale: **1:4000**

Format: **STANDARD**



**SP276065**

I, Bruce Victor DALTON \*, hereby certify that I have made this plan under Section 16 of the Survey and Mapping Infrastructure Regulation 2014 and pursuant to the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the plan is accurate, and compiled from DP248876 in the Department of Natural Resources and Mines.

Date: 21/4/2015  
*B Dalton*  
Cadastral Surveyor

\* of Schlenker Surveying (Old) Pty. Ltd.  
A.C.N. 063 830 642

LOCAL GOVERNMENT: LOGAN CITY LOCALITY: **GREENBANK**

Meridian: MGA (Zone 56 ) vide DP248876

Survey Records: No

**WARNING : Folded or Mutilated Plans will not be accepted.  
Plans may be rolled.  
Information may not be placed in the outer margins.**

5. Lodged by

(Include address, phone number, reference, and Lodger Code)

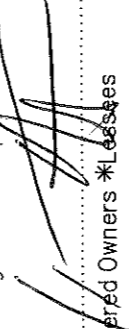
Existing		Created	
Title Reference	Description	New Lots	Road
50234596	Lot 812 on SP103403	--	--
50234595	Lot 811 on SP103403	--	--

1. Certificate of Registered Owners or Lessees.  
I/We **MTAA SUPERANNUATION FUND**  
**(FLAGSTONE CREEK AND SPRING MOUNTAIN**  
**PARK) PROPERTY PTY LIMITED**  
A.C.N. 082 445 663

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

\* as Lessees of this land agree to this plan.



Signature of \*Registered Owners \*Lessees

**MTAA Superannuation Fund (Flystone**  
**Creek and Spring Mountain Park) Property**  
**Pty Ltd**

ACN 082 445 663

By its duly authorised attorney,  
Gregory John Nicholas Tupicoff  
under power of attorney number  
715 223 231

\* Rule out whichever is inapplicable

2. Planning Body Approval.

\* **COUNCIL OF THE CITY OF LOGAN**

hereby approves this plan in accordance with the:

% **SUSTAINABLE PLANNING ACT 2009**

Dated this ..... day of .....

..... #

..... #

\* Insert the name of the Planning Body.  
# Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement:

CMS Number:

Name:

4. References:

Dept File:

Local Govt: **RL/94/2008/A**

Surveyor: **14030-11**

Por 49

Lots Orig

7. Orig Grant Allocation:

8. Map Reference:

**9442-12324 & 9442-12331**

9. Parish:

**STAPYLTON**


10. County:

**Stanley**

11. Passed & Endorsed:

By: **Schlencker Surveying (old) Pty Ltd**

Date: **24.4.15**

Signed: 

Designation: **Cadastral Surveyor**

12. Building Format Plans only.

I certify that:

\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads.

\* Part of the building shown on this plan encroaches onto adjoining lots and road

Cadastral Surveyor/Director \* Date

\* delete words not required

13. Lodgement Fees:

Survey Deposit \$ .....

Lodgement \$ .....

.....New Titles \$ .....

Photocopy \$ .....

Postage \$ .....

TOTAL \$ .....

14. Insert Plan Number

**SP276065**





**WARNING : Folded or Mutilated Plans will not be accepted.  
Plans may be rolled.  
Information may not be placed in the outer margins.**

5. Lodged by

(Include address, phone number, reference, and Lodger Code)

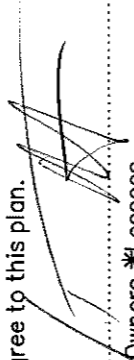
Existing		Created	
Title Reference	Description	New Lots	Road
50234596	Lot 812 on SP103403	1101, 1113, 1129-1142, 901 & 997-999	New Rd

1. Certificate of Registered Owners or Lessees.  
I/We MTAA SUPERANNUATION FUND  
(FLAGSTONE CREEK AND SPRING MOUNTAIN  
PARK) PROPERTY PTY LIMITED  
A.C.N. 082 445 663

(Names in full)

\* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

\* as Lessees of this land agree to this plan.



Signature of \*Registered Owners \*Lessees

MTAA Superannuation Fund (Flagstone Creek  
and Spring Mountain Park) Property Pty Ltd  
ACN 082 445 663

By its duly authorised attorney,  
Gregory John Nicholas Tupicoff  
under power of attorney number  
715223231

\* Rule out whichever is inapplicable

2. Planning Body Approval.

\* COUNCIL OF THE CITY OF LOGAN

hereby approves this plan in accordance with the :

% SUSTAINABLE PLANNING ACT 2009

Dated this ..... day of .....

..... #

..... #

\* Insert the name of the Planning Body.

# Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement:

CMS Number:

Name:

4. References:

Dept File:

Local Govt: RL/94/2008/A

Surveyor: 14030-07A

**ENCUMBRANCE EASEMENT ALLOCATIONS**

Easement	Lots to be Encumbered
(Emt A on SP276065)	901, 999

**EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS**

Administrative Advice	Lots to be Encumbered
713923333	1101, 1113, 1129-1142, & 901
714761335	1101, 1113, 1129-1142, & 901

*Easement A on SP276065  
partially absorbed by New Road.*

1101, 1113, 1129-1142, 901 & 997-999	Por 49
--------------------------------------	--------

Lots	Orig
------	------

7. Orig Grant Allocation :

8. Map Reference :

9442-12324 & 9442-12331

9. Parish :

**STAPYLTON**

10. County :

**Stanley**

11. Passed & Endorsed:

By: Schlencker Surveying (Qld) Pty Ltd

Date: 11.5.15

Signed: 

Designation: Cadastral Surveyor

**12. Building Format Plans only.**

I certify that:

\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or roads;

\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date

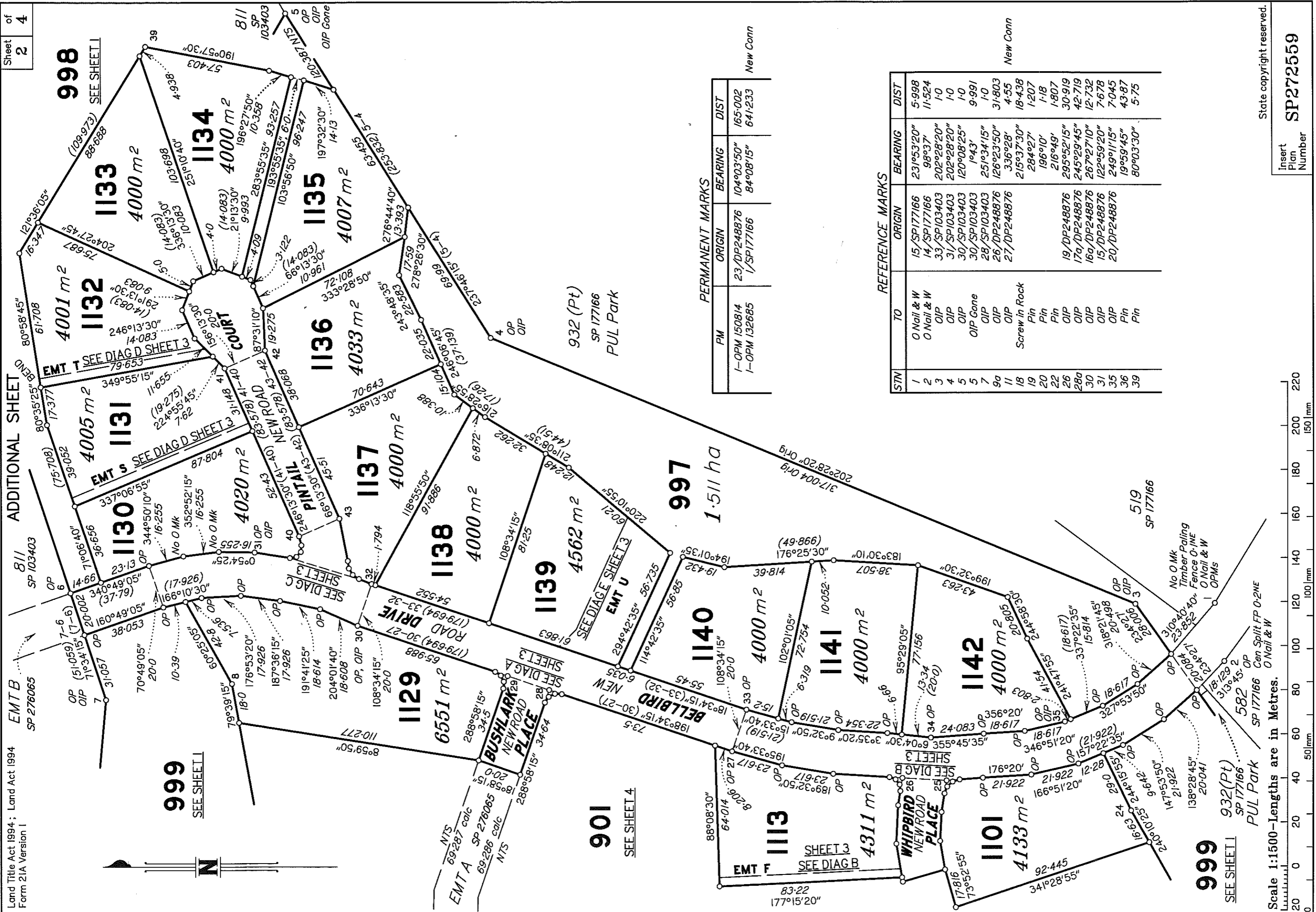
\* delete words not required

**13. Lodgement Fees :**

Survey Deposit	\$
Lodgement	\$
.....New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

14. Insert Plan Number

**SP272559**



PERMANENT MARKS

PM	ORIGIN	BEARING	DIST
1-OPM 150814	23/DP248876	104°03'50"	165.002
1-OPM 132685	1/SP177166	84°08'15"	641.233

New Conn

REFERENCE MARKS

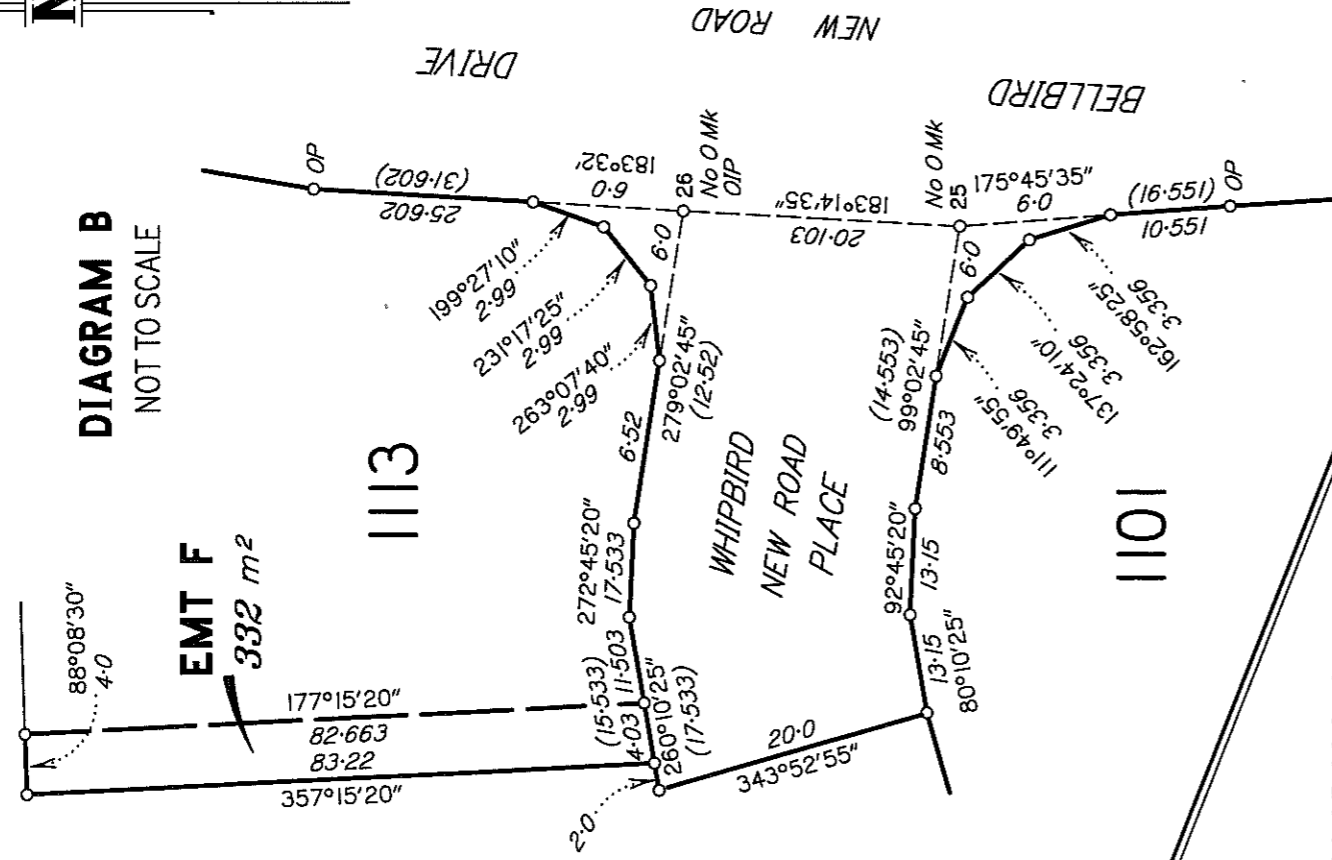
STN	TO	ORIGIN	BEARING	DIST
1	O Nail & W	15/SP177166	231°53'20"	5.998
2	O Nail & W	14/SP177166	98°37'	11.524
3	OIP	33/SP103403	202°28'20"	1.0
4	OIP	31/SP103403	202°28'20"	1.0
5	OIP	30/SP103403	120°08'25"	1.0
7	OIP Gone	30/SP103403	1°43'	9.991
9a	OIP	28/SP103403	251°34'15"	1.0
11	OIP	26/DP248876	126°23'50"	31.803
18	Screw in Rock	27/DP248876	336°28'	4.55
19	Pin	284°27'	215°37'30"	18.438
20	Pin	196°10'	284°27'	1.207
22	Pin	216°49'	196°10'	1.18
26	OIP	295°52'15"	216°49'	1.807
28a	OIP	245°29'45"	295°52'15"	30.919
30	OIP	16a/DP248876	245°29'45"	42.719
31	OIP	16a/DP248876	267°27'10"	12.732
35	OIP	15/DP248876	122°59'20"	7.678
36	Pin	20/DP248876	249°11'15"	7.045
39	Pin	20/DP248876	19°59'45"	43.87
			80°03'30"	5.75

Scale 1:1500—Lengths are in Metres.

0 20 40 60 80 100 120 140 160 180 200 220

0 50 100 150 200 250

901



**EMT F**  
332 m<sup>2</sup>

1113

WHIPBIRD  
NEW ROAD  
PLACE

1101

**DIAGRAM C**  
NOT TO SCALE

1130

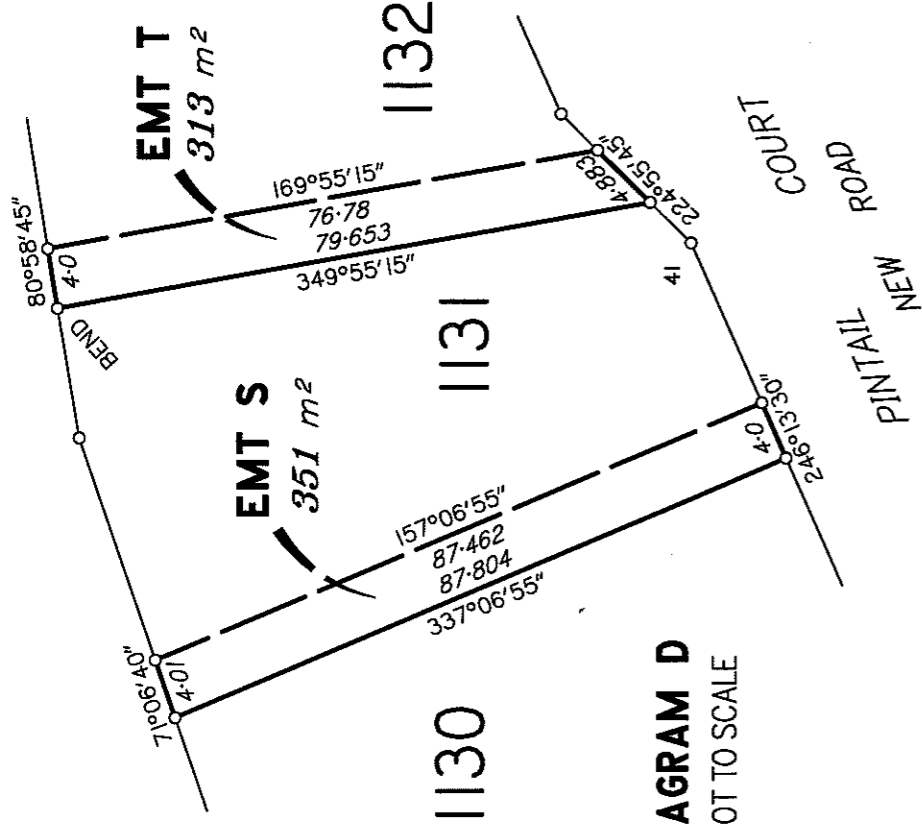
DRIVE  
NEW ROAD

PINTAIL  
COURT  
ROAD  
NEW

1137

1138

998



**EMT S**  
351 m<sup>2</sup>

**EMT T**  
313 m<sup>2</sup>

1130

1131

1132

**DIAGRAM E**  
NOT TO SCALE

DRIVE  
NEW ROAD

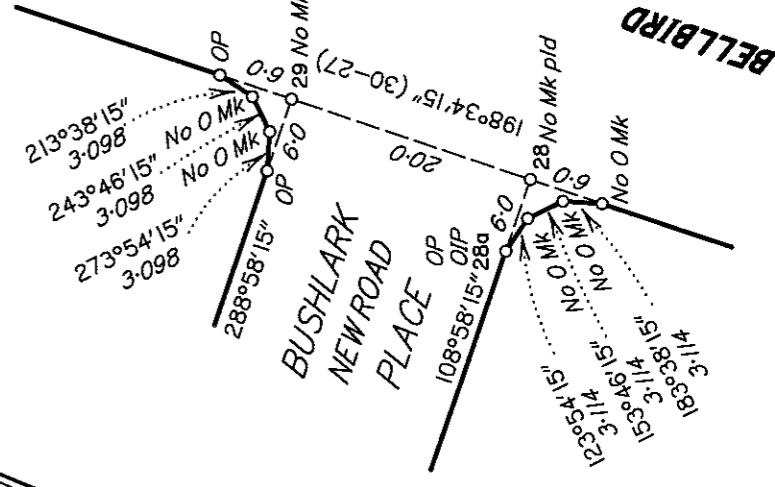
1139

**EMT U**  
1505 m<sup>2</sup>

**DIAGRAM E**  
NOT TO SCALE

997

1129



DRIVE

BUSHLARK  
NEW ROAD  
PLACE

BELLBIRD

906

