

For Proposed Lot 1305 Riverbank - Stage 16C

Sewer/Sewer Manhole

sv sv Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV RV RV ROofwater/Kerb Adapter
Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

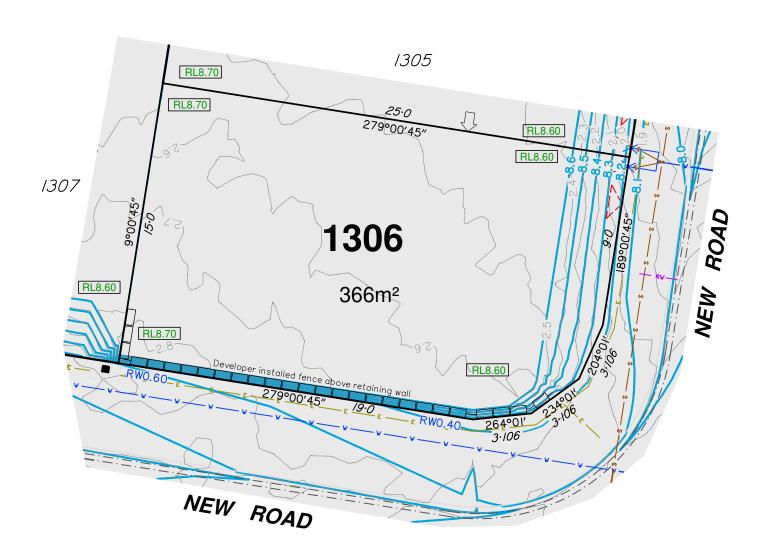
# RIVERBANK



HORIZONTAL MERIDIAN MGA

2 0 2 4 Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN DRAWING NO. VERSION 01-02-2021 SB3594\_16C-01-1305 B



For Proposed Lot 1306 Riverbank - Stage 16C

Currently Described As RPD: Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional

Legend:

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

RW

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



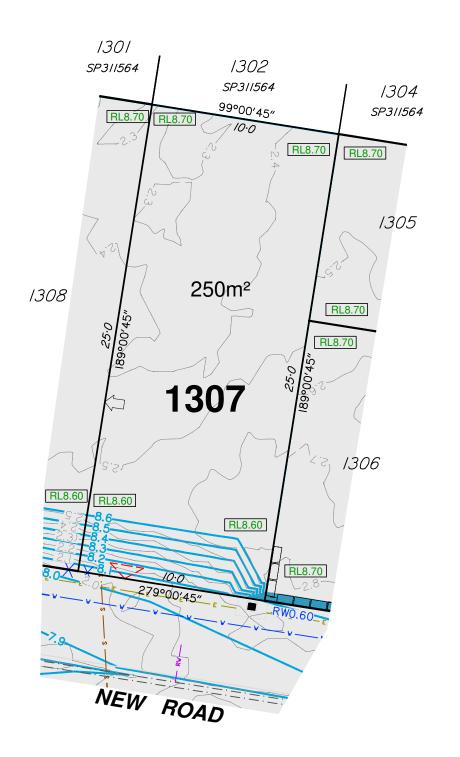
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🗥 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

@A3 LEVEL DATOW AHD.

DATE DRAWN 01-02-2021 DRAWING NO. SB3594 16C-01-1306



For Proposed Lot 1307 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Caboolture South Locality:

Local Authority: Moreton Bay Regional

# Legend:

- 46.0

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

Design Pad Level

RW

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



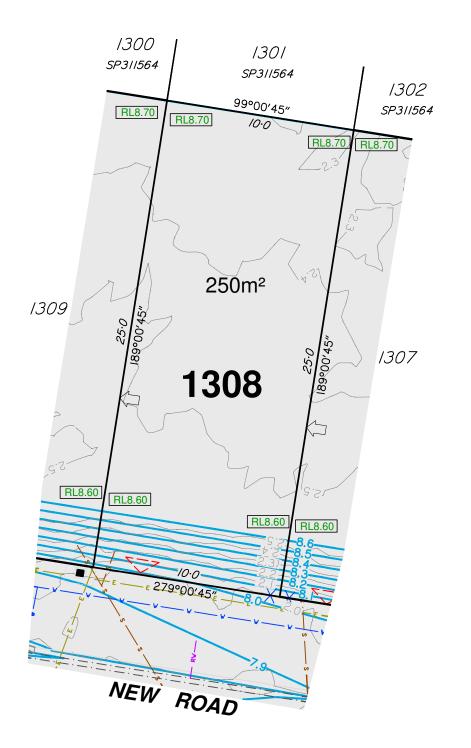
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

AHD. DRAWING NO. **VERSION** 

DATE DRAWN 16-12-2020

SB3594 16C-01-1307



For Proposed Lot 1308 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional

# Legend: - 46.0

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Water/Water Fitting

Roofwater/Kerb Adapter

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



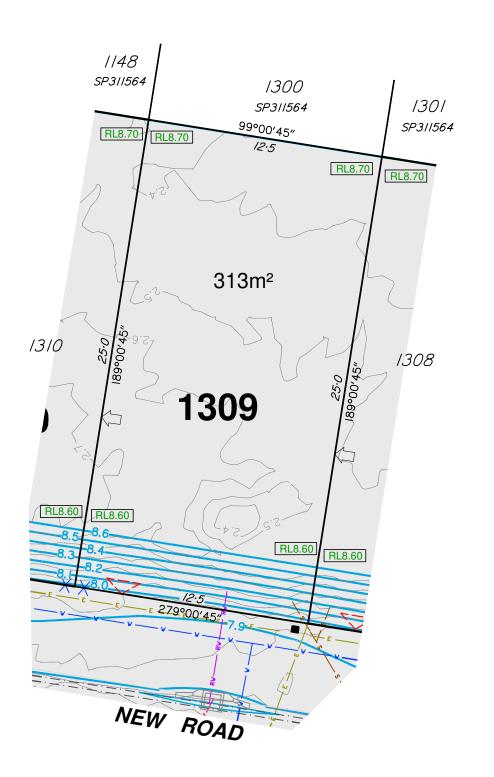
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1308



For Proposed Lot 1309 Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval)

—— 1.0 —— — Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

(Installed by Developer)

Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Fence

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

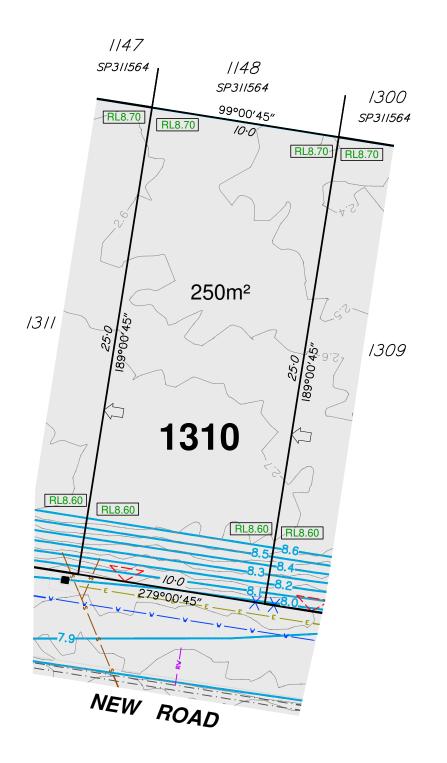


HORIZONTAL MERIDIAN MGA

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN DRAWING NO. SB3594 16C-01-1309

16-12-2020



For Proposed Lot 1310 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564

Caboolture South Moreton Bay Regional

# Legend:

Locality:

Local Authority:

- 46.0

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



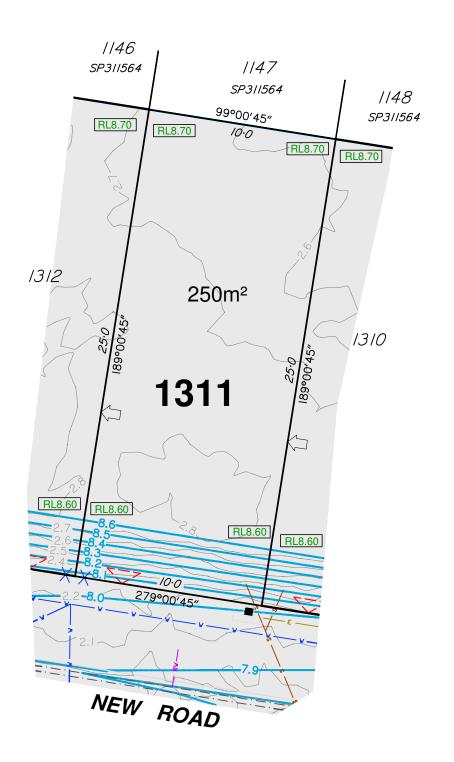
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1310



For Proposed Lot 1311 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564

Caboolture South Moreton Bay Regional

# Legend:

Locality:

Local Authority:

- 46.0

N

Finished Surface Contours (0.1m Interval)

—— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Proposed Driveway

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



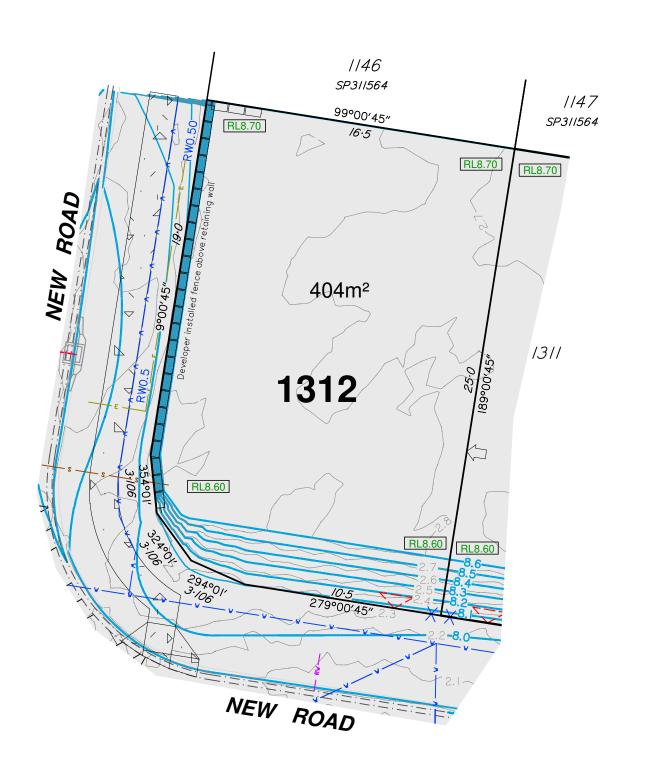
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

**VERSION** 

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN DRAWING NO.

16-12-2020 SB3594 16C-01-1311



For Proposed Lot 1312 Riverbank - Stage 16C

Currently Described As

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

# Legend: - 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

—— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

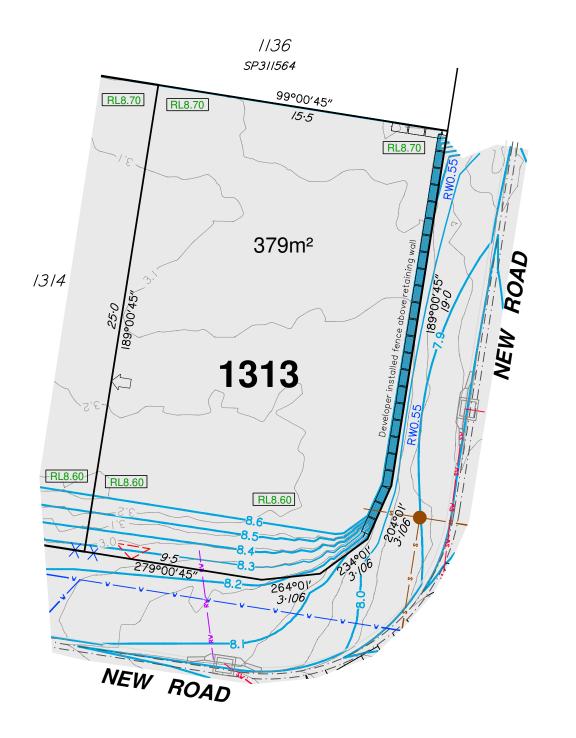


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 01-02-2021

DRAWING NO. SB3594 16C-01-1312



For Proposed Lot 1313 Riverbank - Stage 16C

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

# Legend: 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



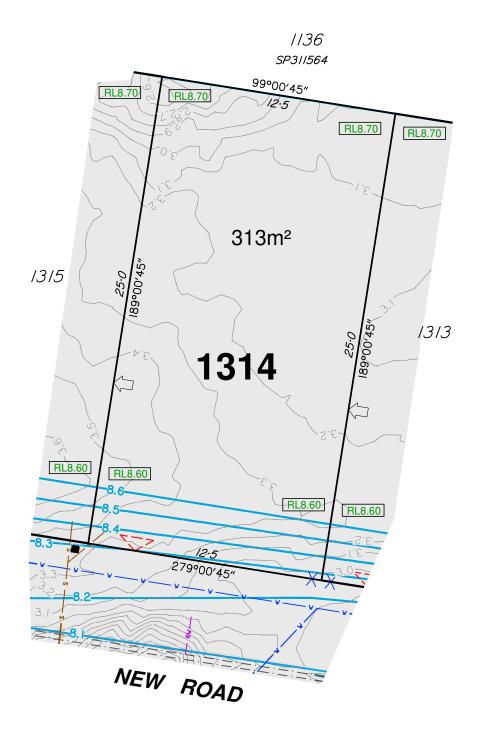
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

DATE DRAWN DRAWING NO. VERSION

01-02-2021 SE

SB3594\_16C-01-1313



For Proposed Lot 1314 Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional

Legend: - 46.0 Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying HORIZONTAL MERIDIAN

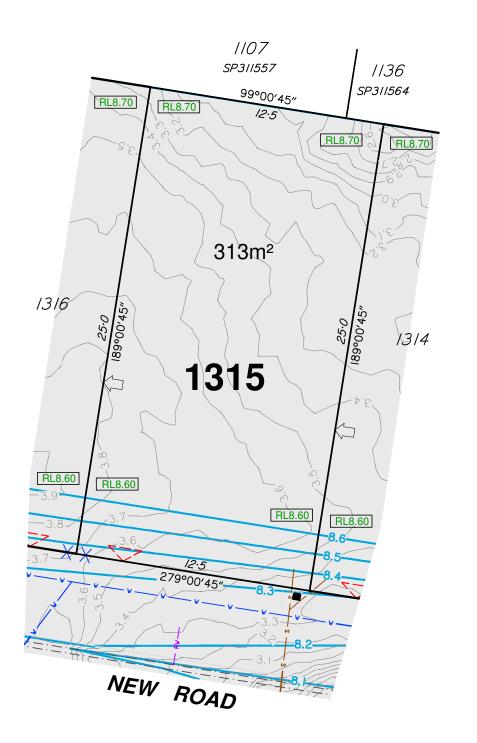
Scale 1:200 @A3

LEVEL DATUM AHD.

MGA

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1314



For Proposed Lot 1315 Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



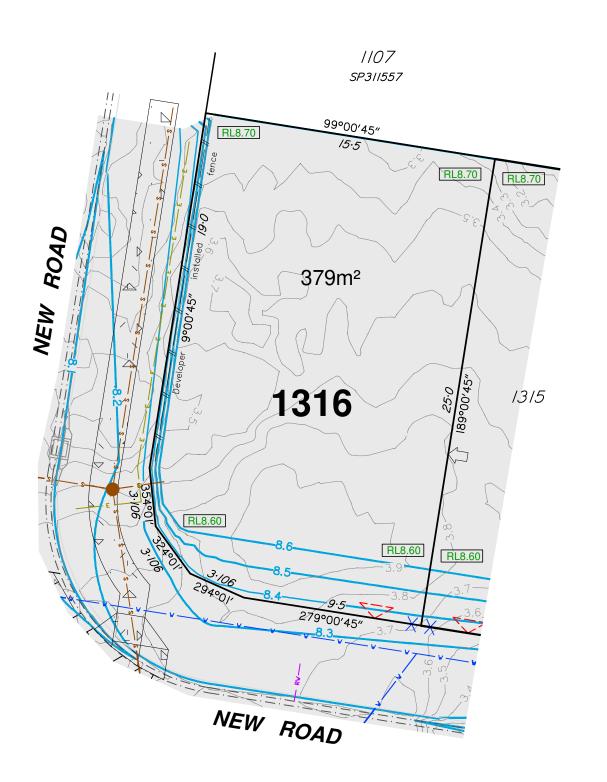
HORIZONTAL MERIDIAN MGA

@A3 LEVEL DATUM AHD.

**VERSION** 

DATE DRAWN DRAWING NO. 16-12-2020 SB3594\_16C-01-1315

Scale 1:200



For Proposed Lot 1316 Riverbank - Stage 16C

Currently Described As

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

# Legend: - 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32

Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



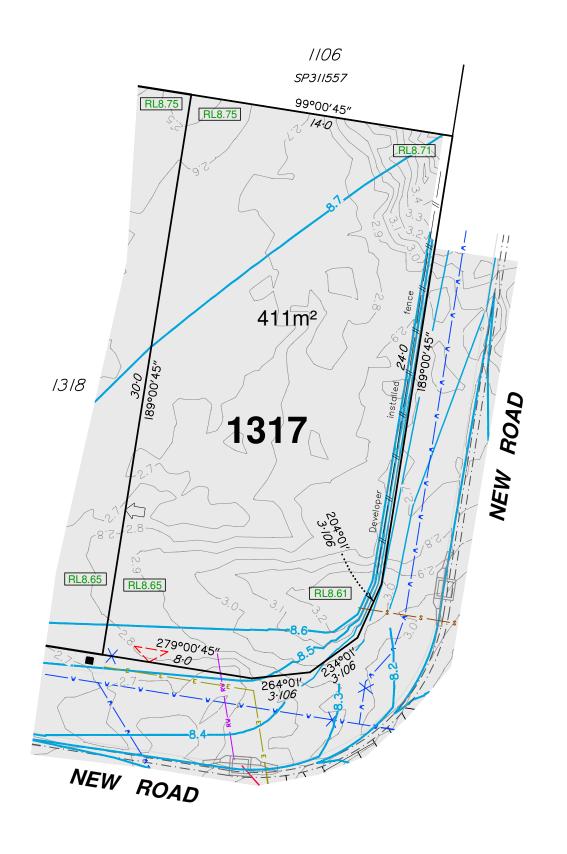


HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 01-02-2021

DRAWING NO. SB3594 16C-01-1316



For Proposed Lot 1317 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality: Caboolture South

—— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Moreton Bay Regional

Roofwater/Kerb Adapter

# Legend:

Local Authority:

- 46.0

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

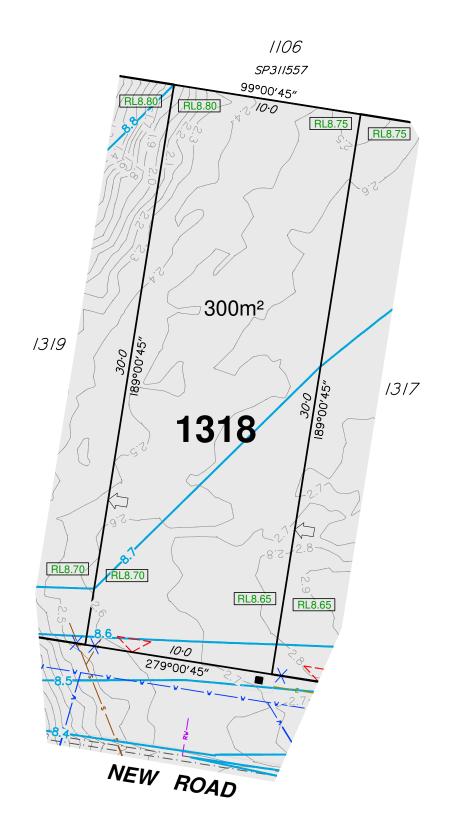
LEVEL DATUM AHD.

DATE DRAWN 16-12-2020

Scale 1:200

DRAWING NO. SB3594 16C-01-1317

@A3



For Proposed Lot 1318 Riverbank - Stage 16C

Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional Legend:

Finished Surface Contours (0.1m Interval)

Currently Described As

- 46.0

N

—— 1.0 —— — Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

(Installed by Developer)

Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Fence

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

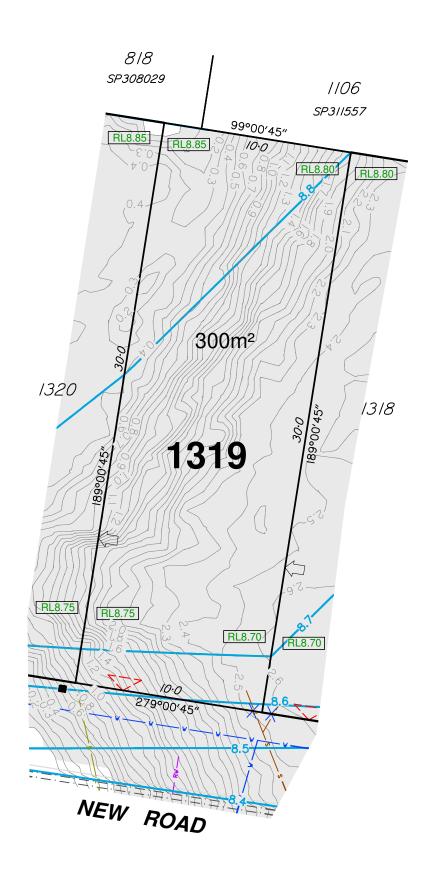


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1318



For Proposed Lot 1319 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Local Authority: Moreton Bay Regional

# Legend:

- 46.0

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Roofwater/Kerb Adapter

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

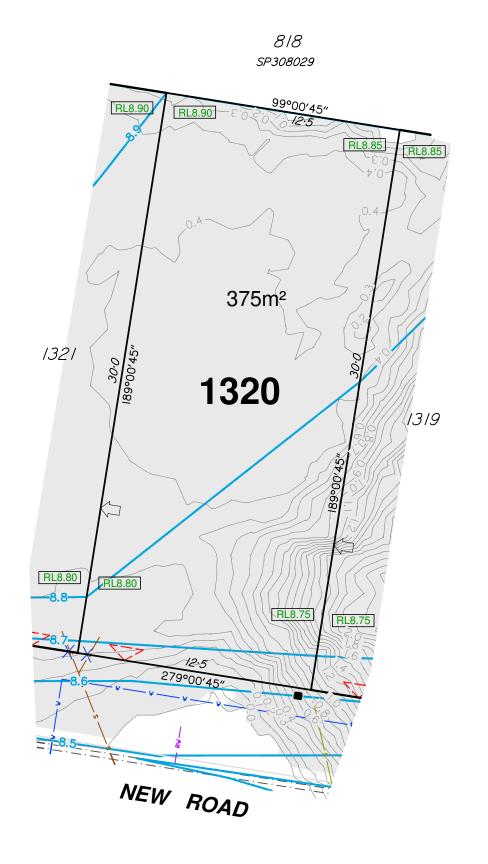


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1319



For Proposed Lot 1320 Riverbank - Stage 16C

RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

Currently Described As

N

# 

Sewer/Sewer Manhole

Water/Water Fitting

Stormwater / Stormwater Manhole
Stormwater Gully Trap
Roofwater / Kerb Adapter

X Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

(Installed by Developer)

## Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning 🗗 Urban Design 🍪 Landscape 💭 Environment 🕂 Surveying

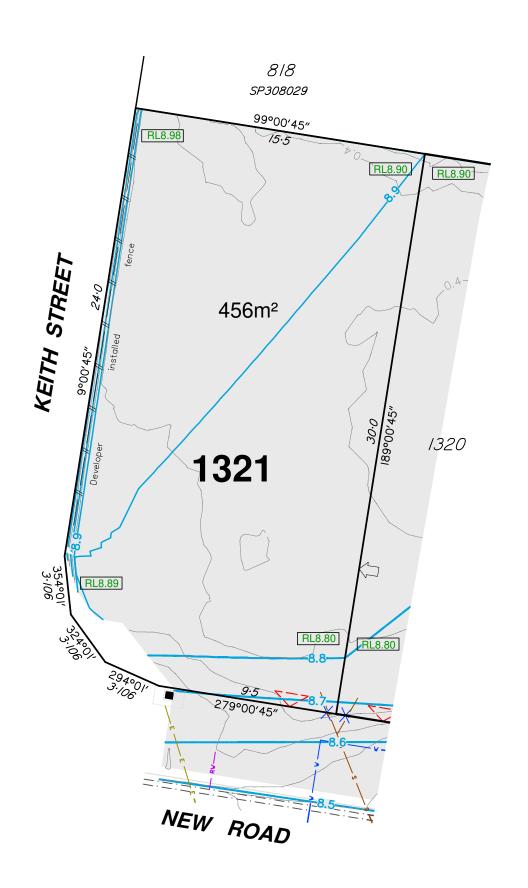
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1320



For Proposed Lot 1321 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

—— | 0 — — — Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

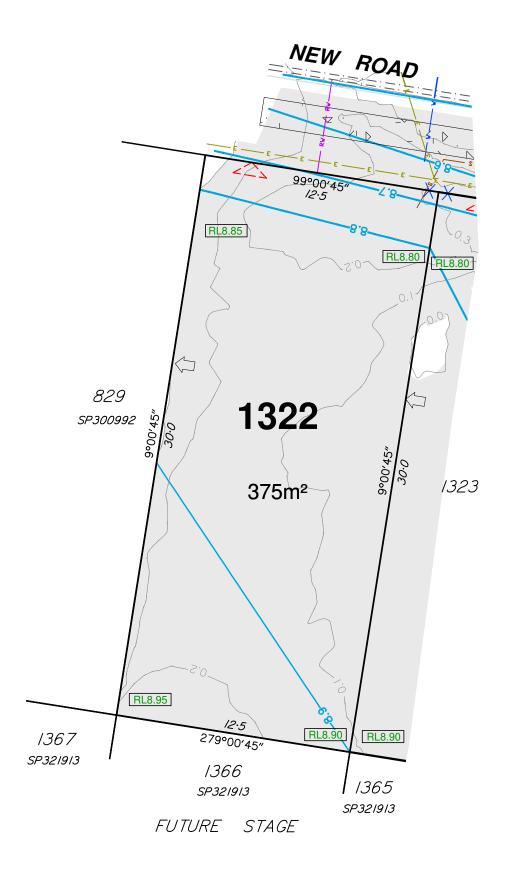
HORIZONTAL MERIDIAN MGA Scale 1:200

LEVEL DATUM @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO.

SB3594 16C-01-1321



For Proposed Lot 1322 Riverbank - Stage 16C

RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

# <u>Legend:</u> — 46.0

N

Currently Described As

— 46.0 — Finished Surface Contours (0.1m Interval)
— 1.0 — — Depth of Fill Contours (0.1m Interval)

---- Easement Boundary

— Easement Bound

— s —— s —— Sewer/Sewer Manhole

sv — sv — Stormwater/Stormwater Manhole

Stormwater Gully Trap

Rv Rv Rv Rv Roofwater/Kerb Adapter
Water/Water Fitting

X Water Meter

Area to be Filled

RL57.32 Design Pad Level
Retaining Wall

RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

## Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
   This plan has been prepared under the current legislation
- for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🧥 Surveying

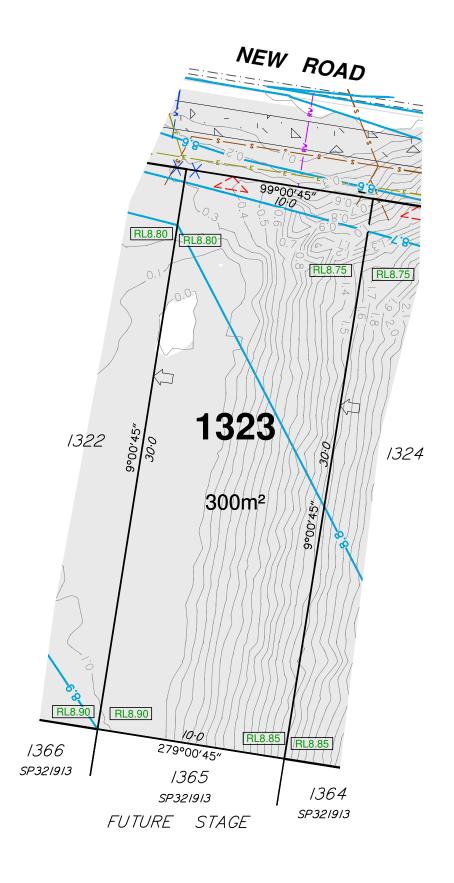
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1322



For Proposed Lot 1323 Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564 RPD: Caboolture South Locality: Local Authority: Moreton Bay Regional

Legend: - 46.0

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32

Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Proposed Driveway

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

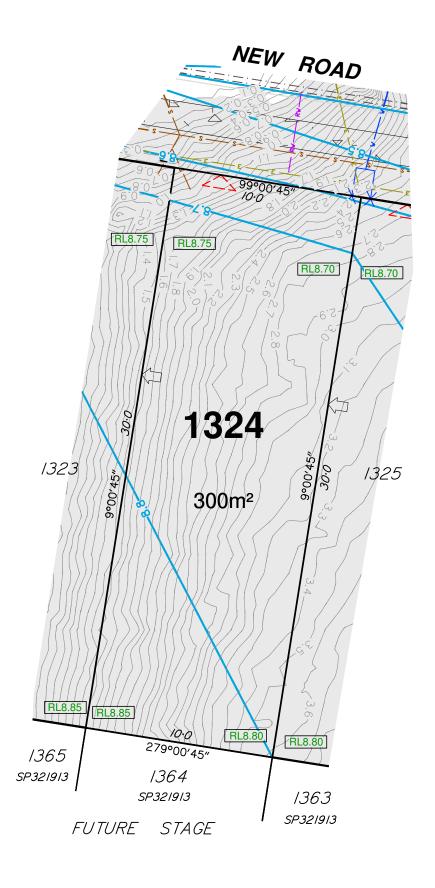


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1323



For Proposed Lot 1324 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

# Legend:

Local Authority:

- 46.0

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

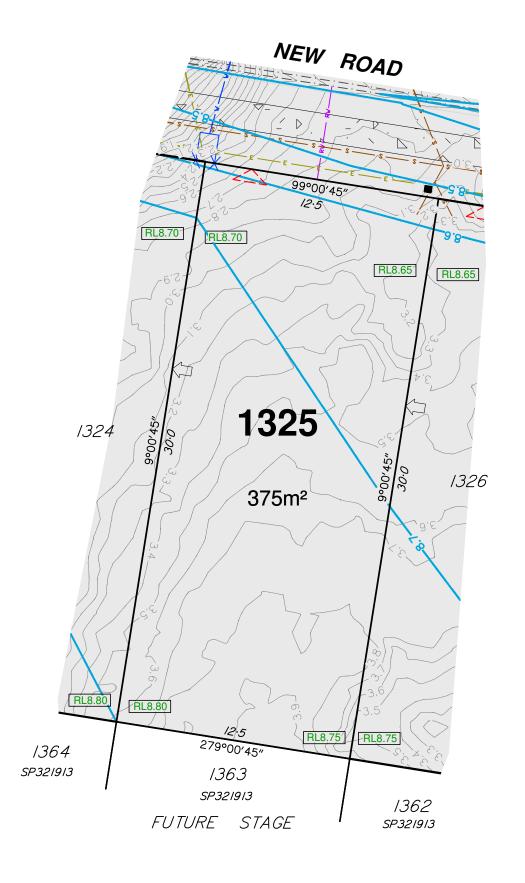


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1324



For Proposed Lot 1325 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality: Caboolture South

Moreton Bay Regional

# Legend:

Local Authority:

- 46.0

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



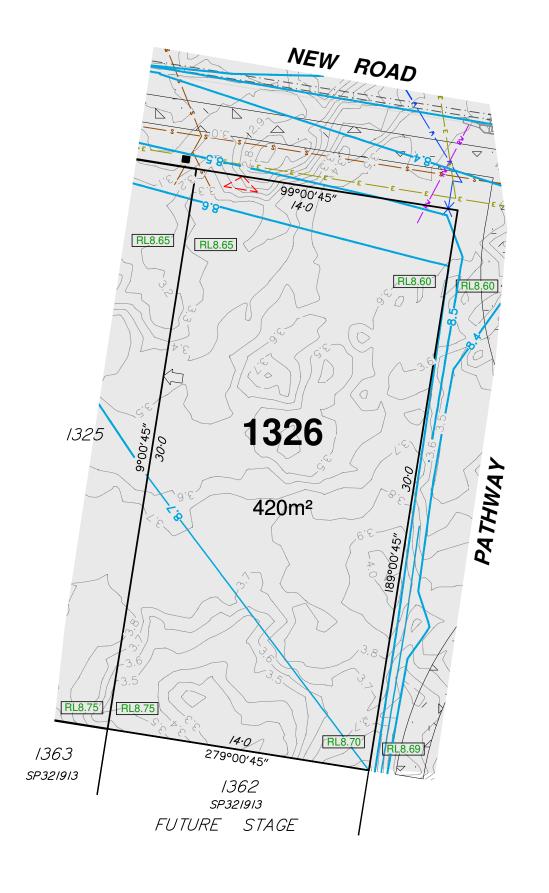
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1325



For Proposed Lot 1326 Riverbank - Stage 16C

Currently Described As

RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South

Local Authority: Cabooliture South

Local Authority: Moreton Bay Regional

# <u>Legend:</u> — 46.0

N

— 46.0 — Finished Surface Contours (0.1m Interval)
— 1.0 — — Depth of Fill Contours (0.1m Interval)

— — Easement Boundary

— Lasement Bound

s — s — Sewer/Sewer Manhole

sv sv Stormwater/Stormwater Manhole
Stormwater Gully Trap

Rv Rv Rv Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RW Retaining Wall Height

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

## Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🧥 Surveying

HORIZONTAL MERIDIAN MGA

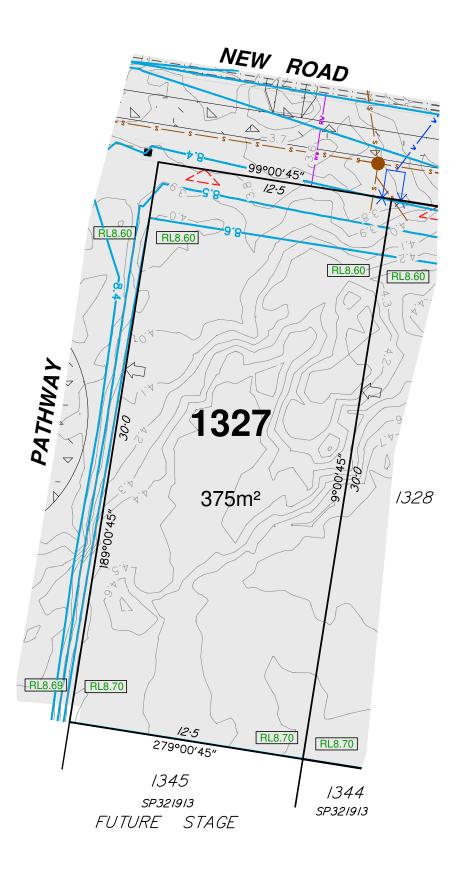
2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN DRAWING NO.

16-12-2020

SB3594\_16C-01-1326



For Proposed Lot 1327 Riverbank - Stage 16C

Currently Described As

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

# Legend: - 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32

Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Proposed Driveway

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



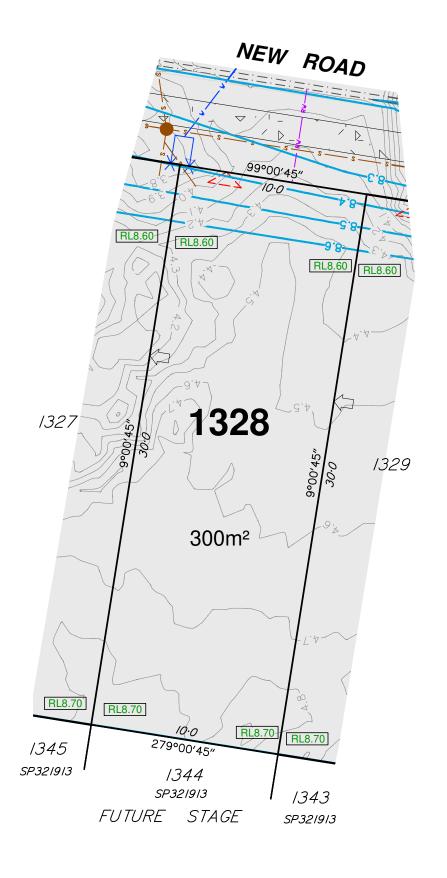
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN DRAWING NO. 16-12-2020

SB3594 16C-01-1327



For Proposed Lot 1328 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

# Legend: - 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Roofwater/Kerb Adapter

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

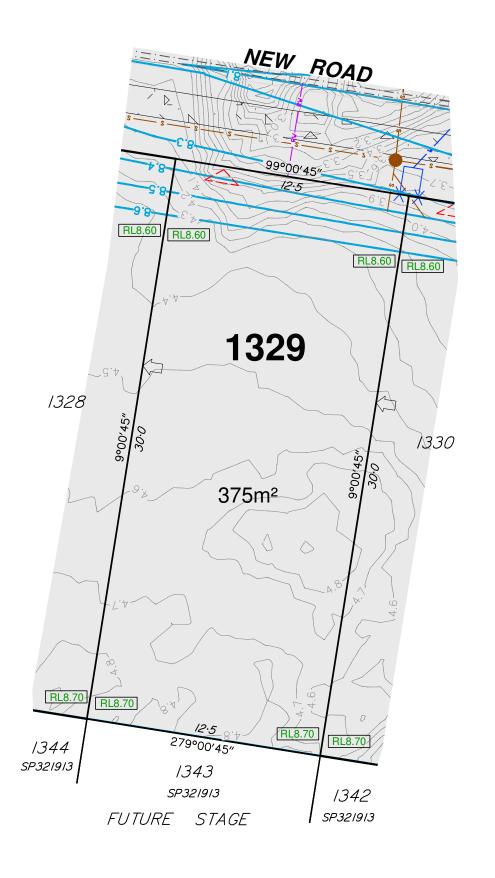
@A3

LEVEL DATUM AHD.

DATE DRAWN 01-02-2021

Scale 1:200

DRAWING NO. SB3594 16C-01-1328



For Proposed Lot 1329 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

# Legend: - 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval)

—— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Stormwater Gully Trap

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



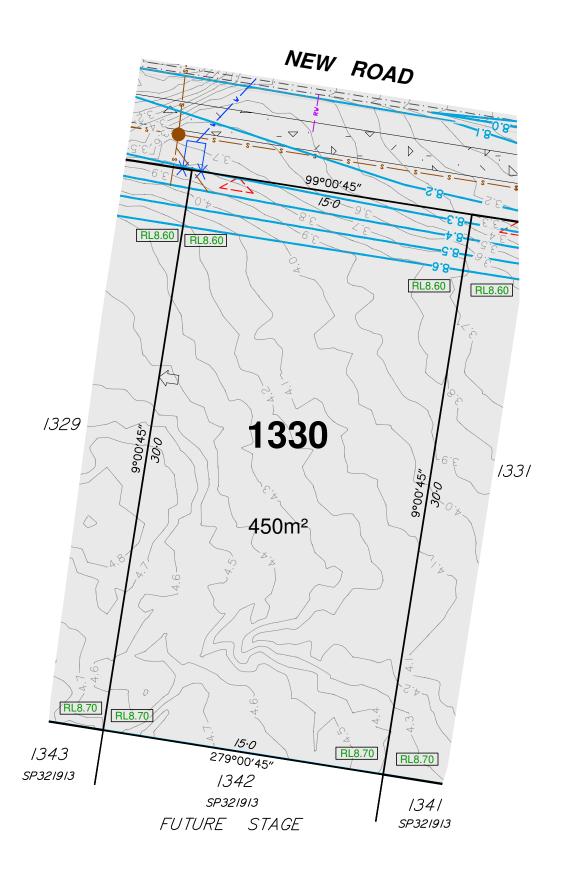
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 01-02-2021

DRAWING NO. SB3594 16C-01-1329



For Proposed Lot 1330 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Moreton Bay Regional

# Legend: **- 46.0**

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32

Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



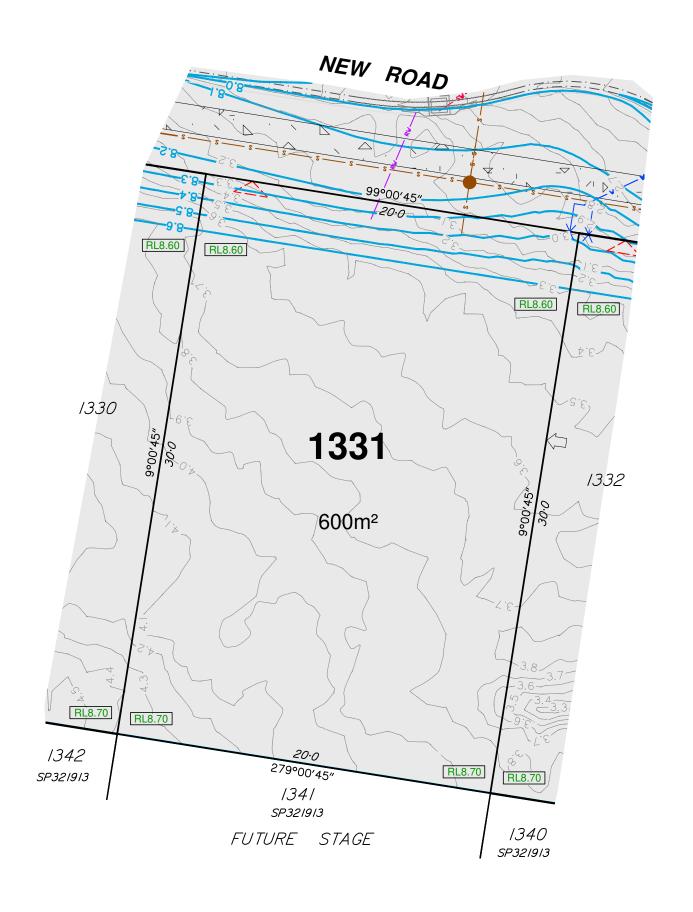
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 01-02-2021

DRAWING NO. SB3594 16C-01-1330



For Proposed Lot 1331 Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality:

Caboolture South Local Authority: Moreton Bay Regional

# Legend:

- 46.0

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



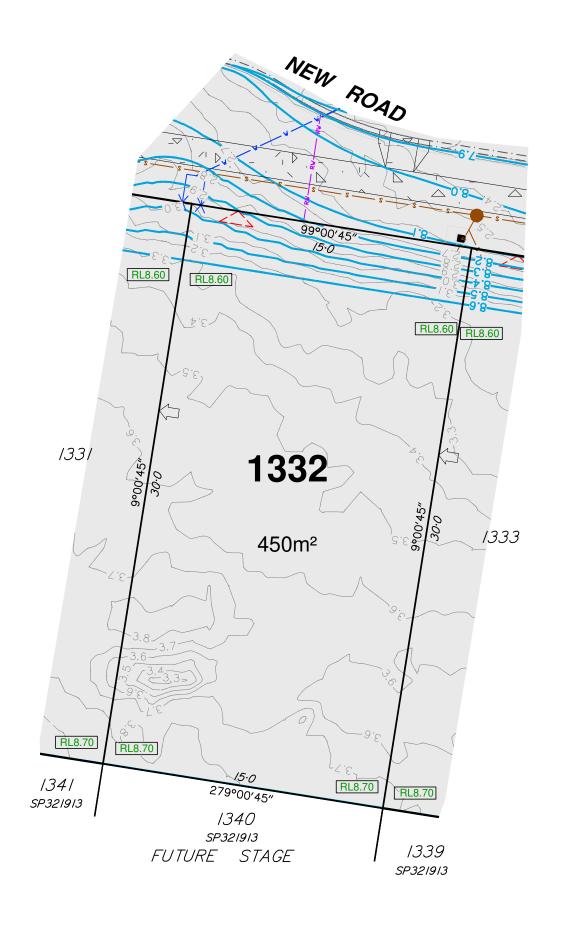
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM @A3

Scale 1:200 AHD.

DATE DRAWN DRAWING NO. 01-02-2021

SB3594 16C-01-1331



For Proposed Lot 1332 Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval) Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

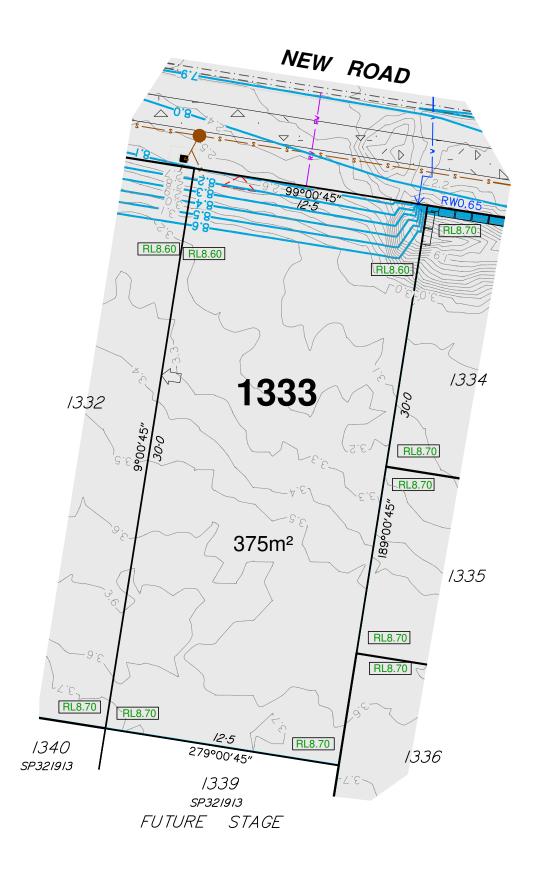


HORIZONTAL MERIDIAN MGA

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN DRAWING NO. 16-12-2020

**VERSION** SB3594 16C-01-1332



For Proposed Lot 1333 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Local Authority: Moreton Bay Regional

# Legend: - 46.0

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

—— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN DRAWING NO. 16-12-2020

SB3594 16C-01-1333



For Proposed Lot 1334 Riverbank - Stage 16C

Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional

# Legend: **- 46.0**

 $\overline{\mathbf{N}}$ 

Currently Described As

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



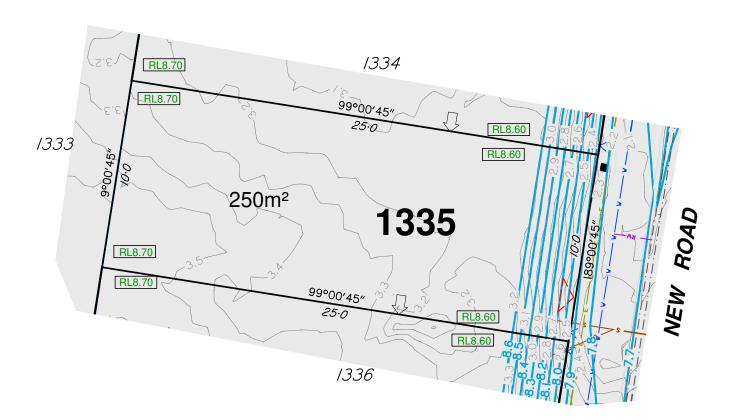
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 16-12-2020

DRAWING NO.

**VERSION** SB3594 16C-01-1334



For Proposed Lot 1335 Riverbank - Stage 16C

Currently Described As RPD:

Part of Lot 1023 on SP311564

Caboolture South Local Authority: Moreton Bay Regional

# Legend: - 46.0

Locality:

N

Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material. location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

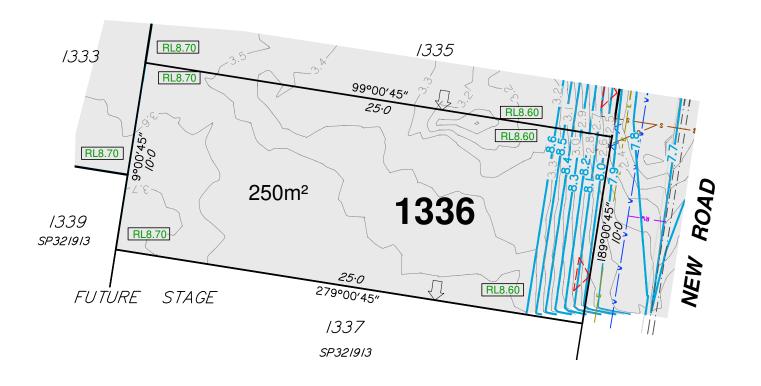


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 16-12-2020

DRAWING NO. SB3594 16C-01-1335



For Proposed Lot 1336 Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) —— 1.0 —— — Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway

## <u>inotes:</u>

 $\overline{\mathbf{N}}$ 

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 16-12-2020

NN DRAWING NO. 20 SB3594 16C-01-1336