

DISCLOSURE PLAN

For Proposed Lot 1305
Riverbank - Stage 16C

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- · - · - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- // // 1.8m High Timber Fence
(Installed by Developer)

Notes:

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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



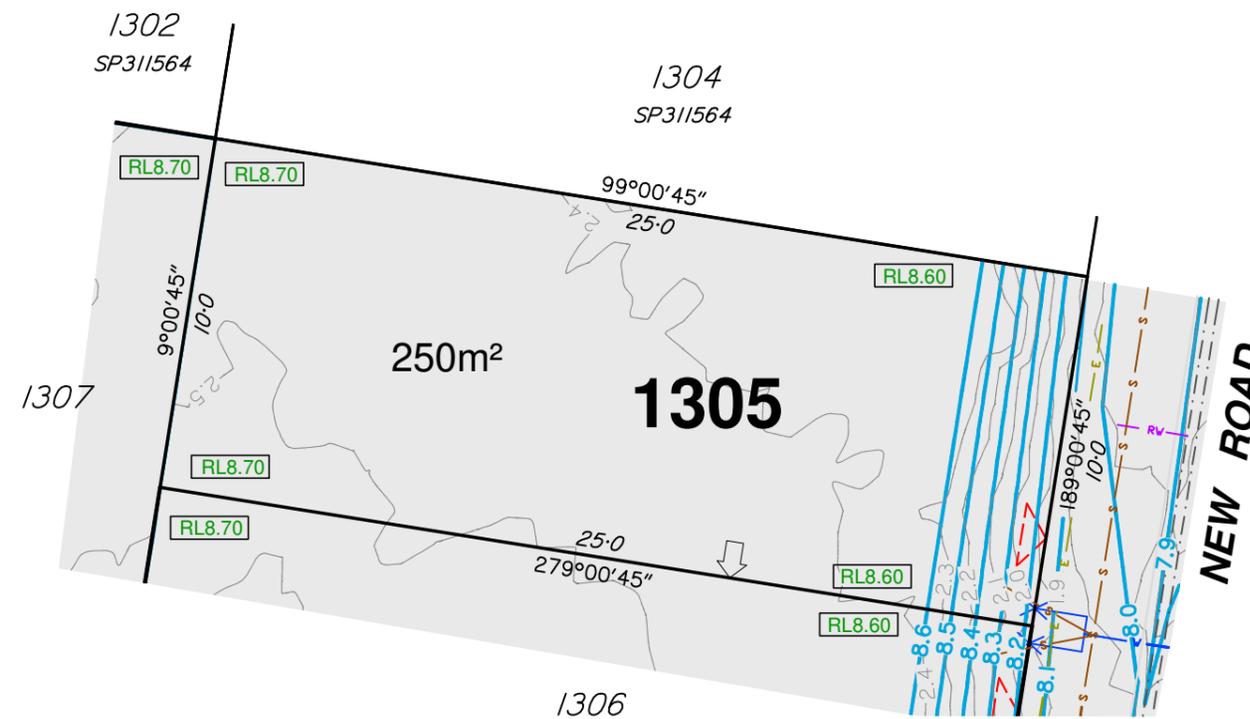
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.


 Scale 1:200 @A3

DATE DRAWN	DRAWING NO.	VERSION
01-02-2021	SB3594_16C-01-1305	B



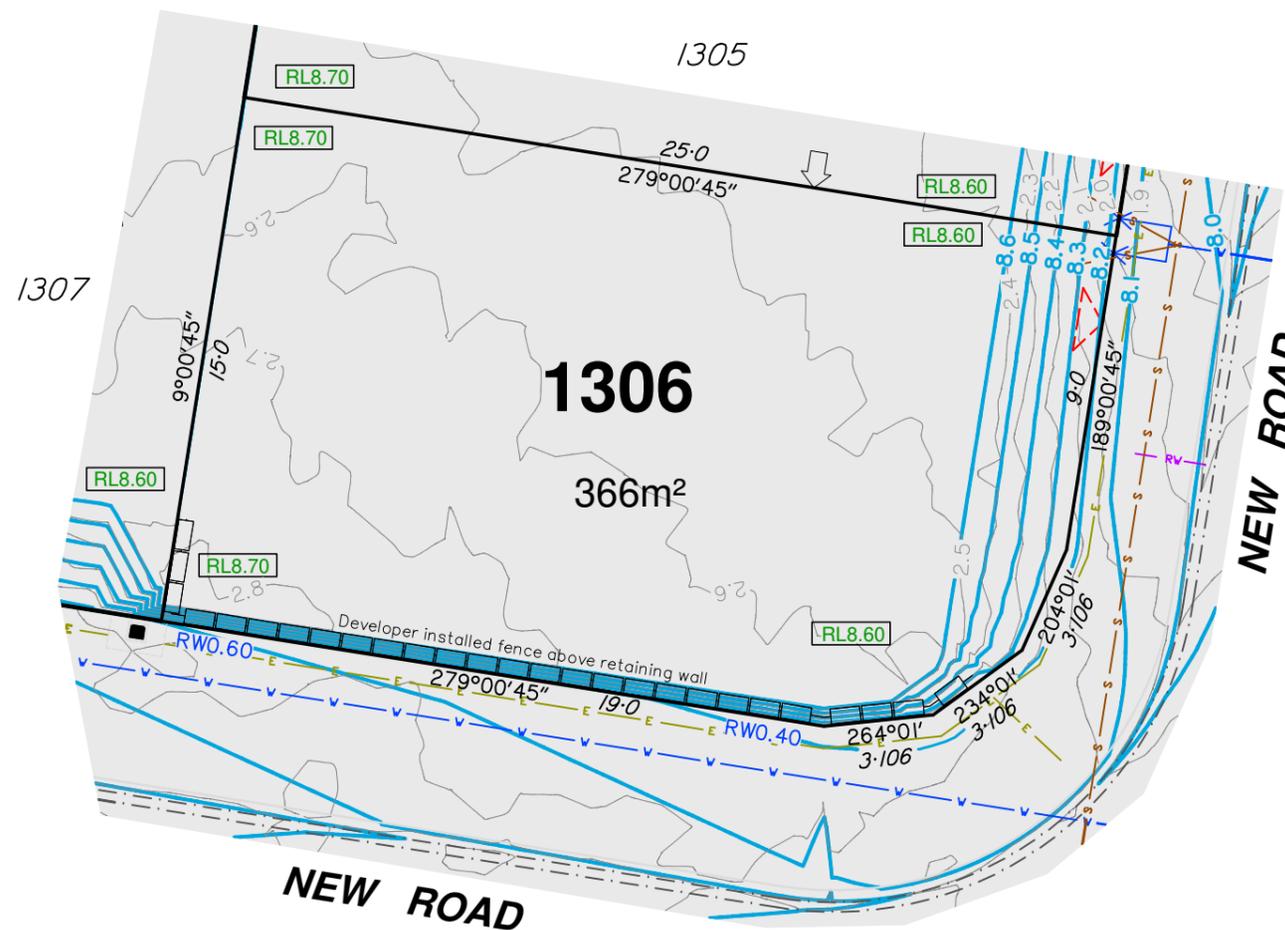
DISCLOSURE PLAN

For Proposed Lot 1306
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
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- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
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- ▾ Proposed Driveway
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- // // 1.8m High Timber Fence
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RIVERBANK



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 ■ Urban Design
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 ■ Environment
 ■ Surveying

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LEVEL DATUM
AHD.

DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1306 VERSION B

DISCLOSURE PLAN

For Proposed Lot 1307
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
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(Installed by Developer)

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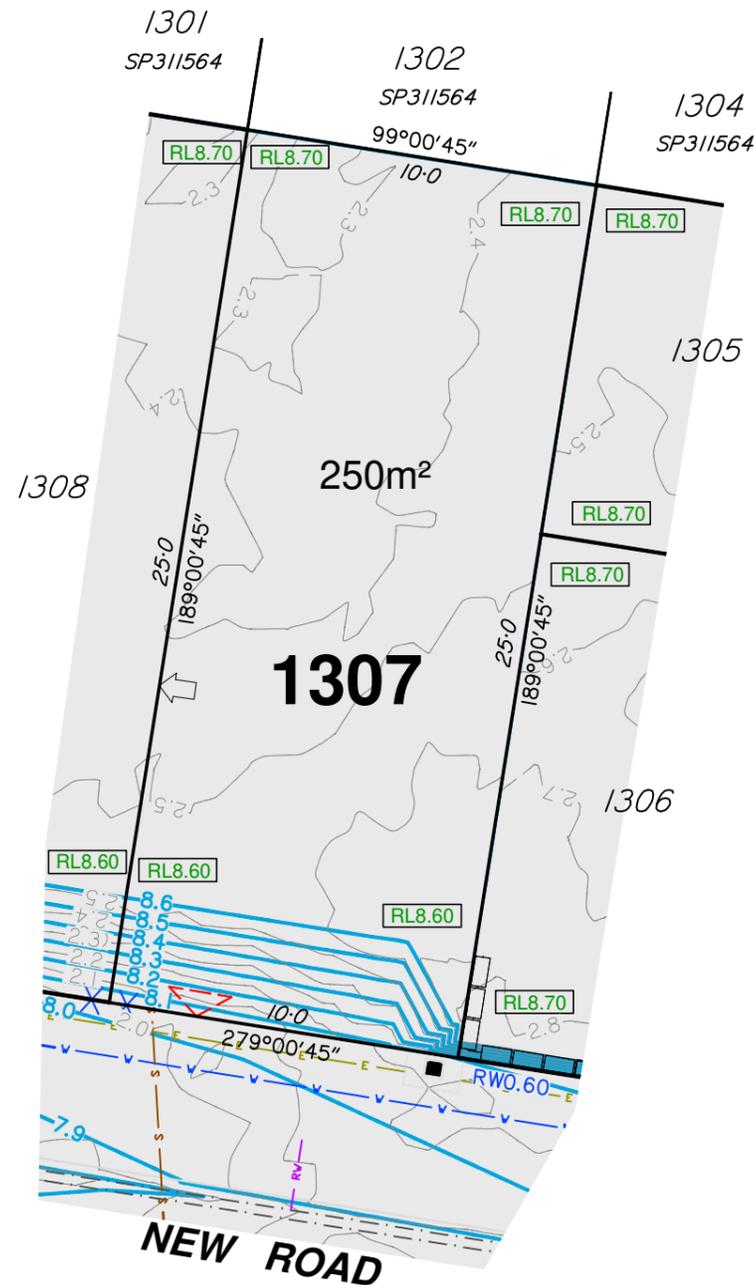
Planning
Urban Design
Landscape
Environment
Surveying

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MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1307 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1308
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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- Water Meter
- Area to be Filled
- Design Pad Level
- Retaining Wall
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RIVERBANK

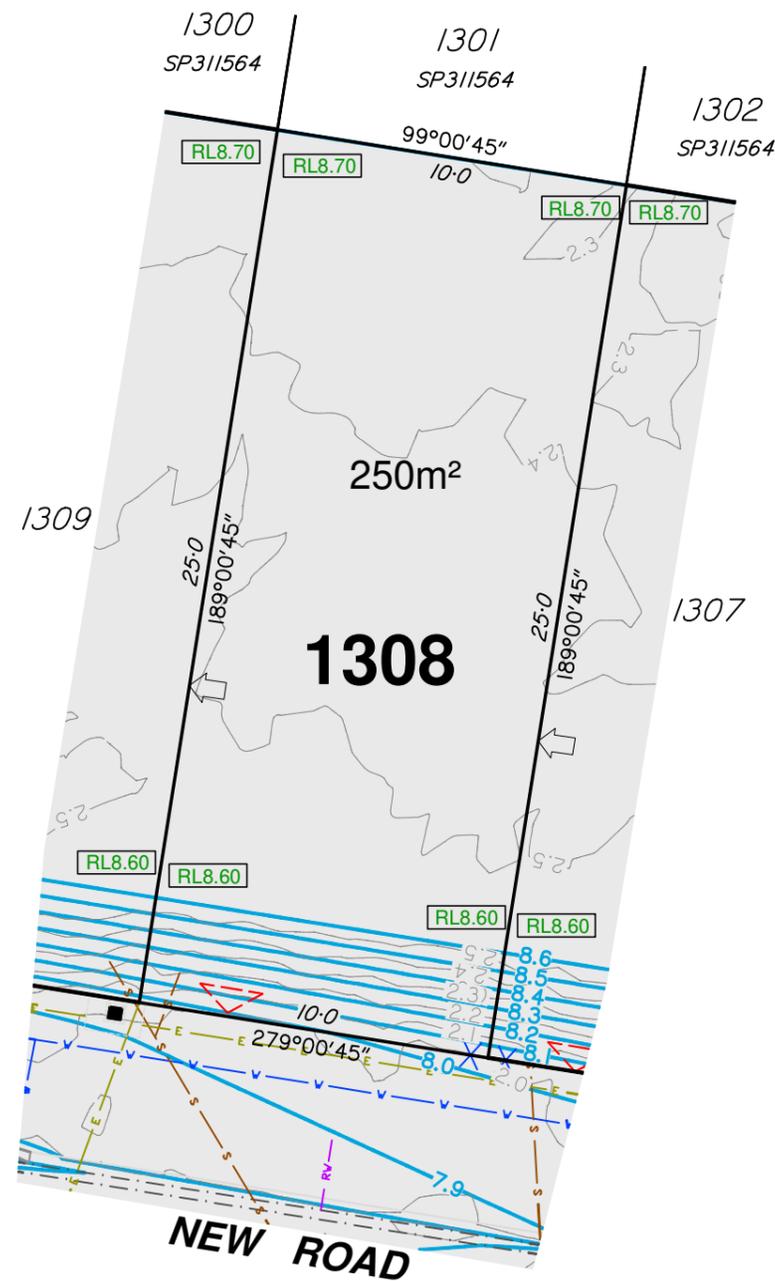


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LEVEL DATUM AHD.

Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1308 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1309
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

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- Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
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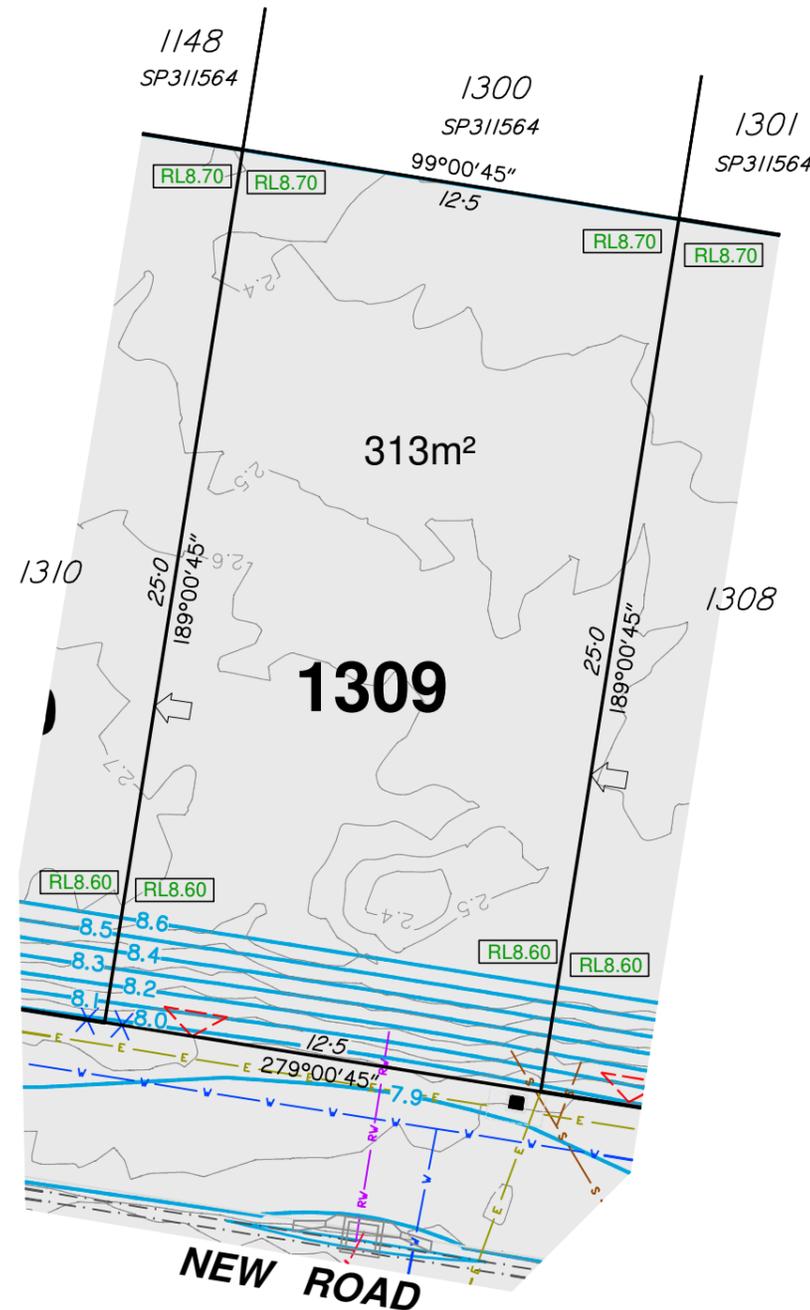
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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1309 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1310
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
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 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
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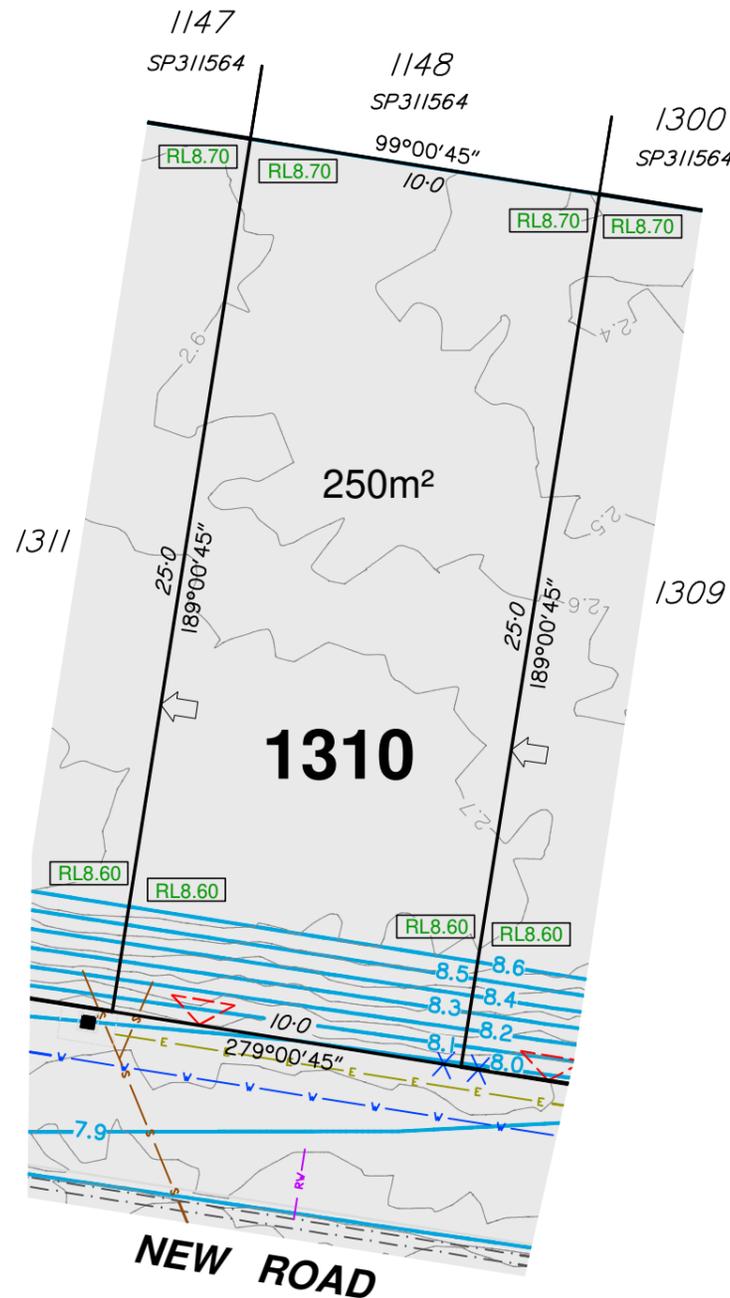
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DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1310 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1311
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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 - RL57.32 Design Pad Level
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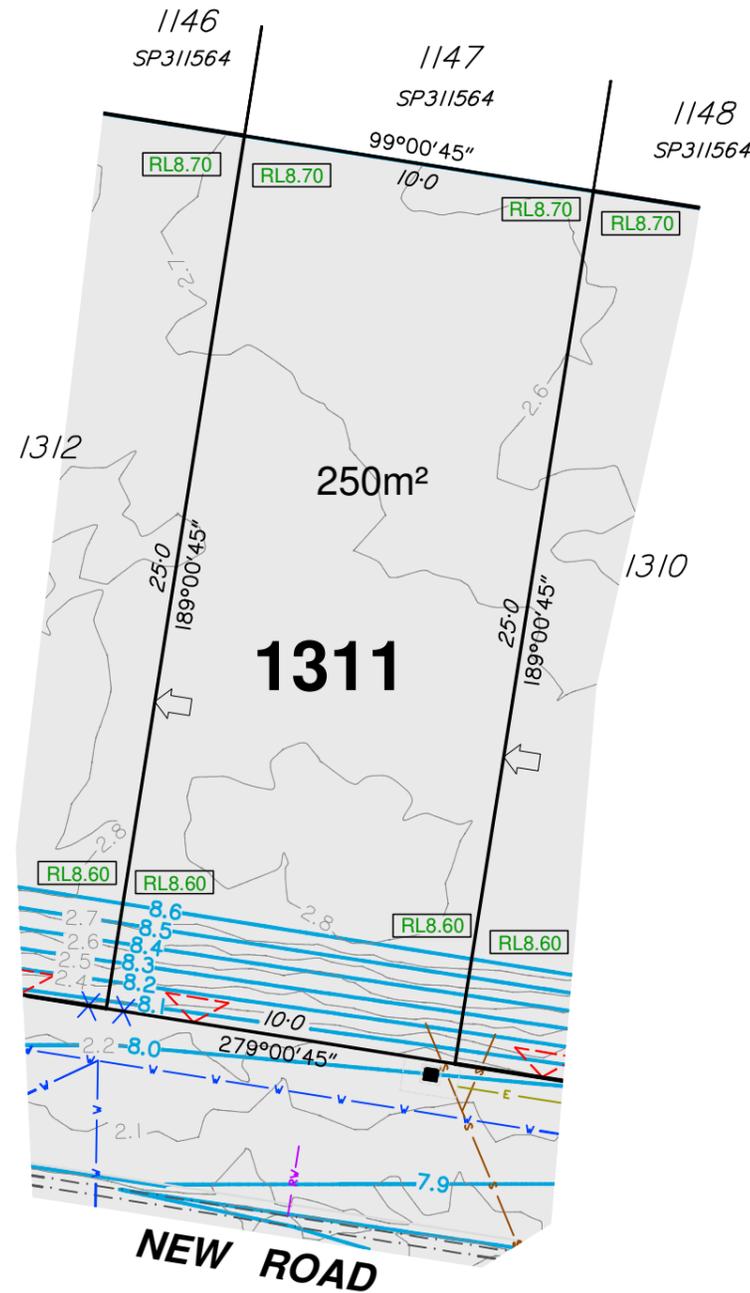


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🏡 Urban Design
🌿 Landscape
🌍 Environment
📏 Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.

Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1311 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1312
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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- X Water Meter
- Area to be Filled
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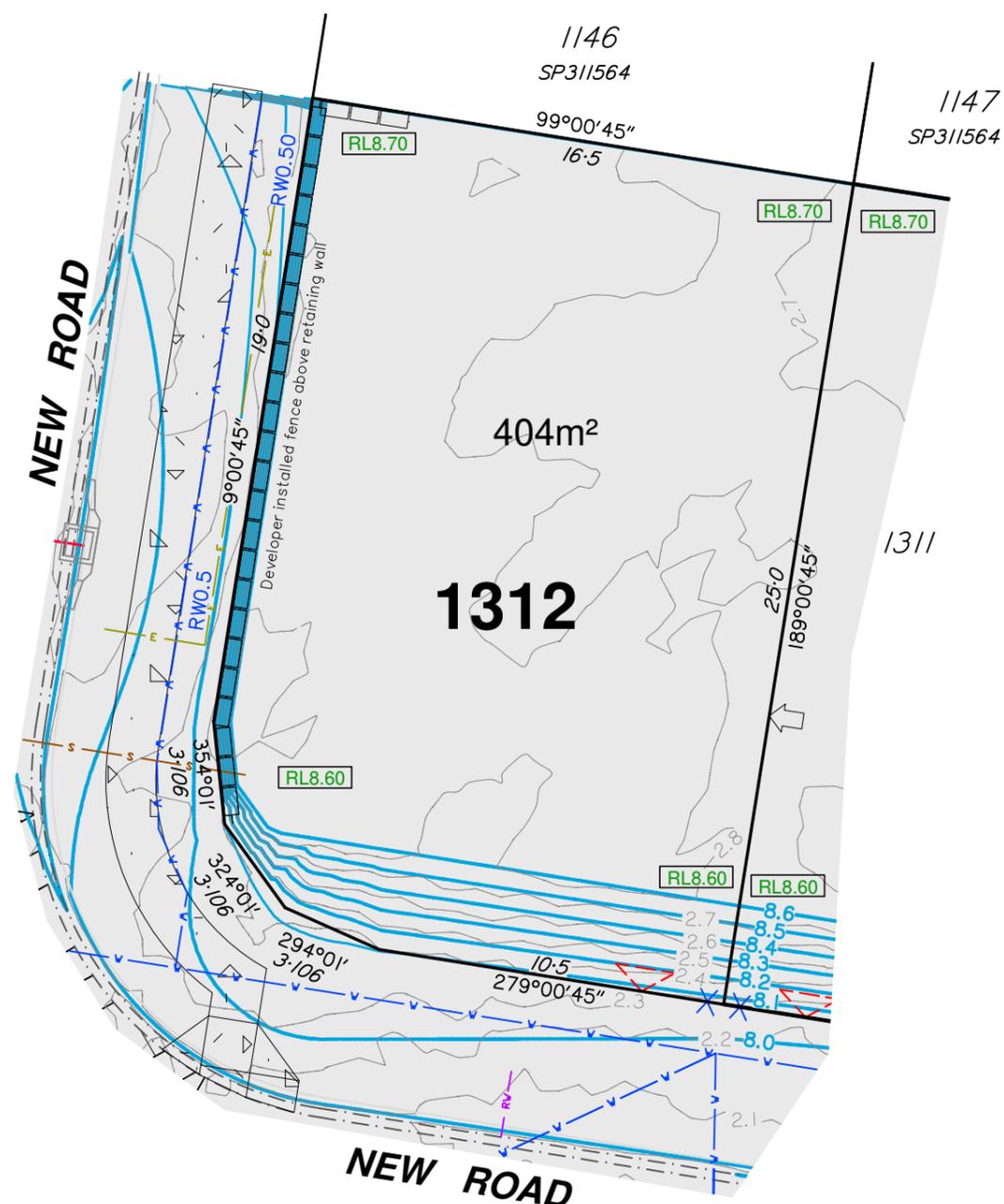
■ Planning
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HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1312 VERSION B



DISCLOSURE PLAN

For Proposed Lot 1313
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

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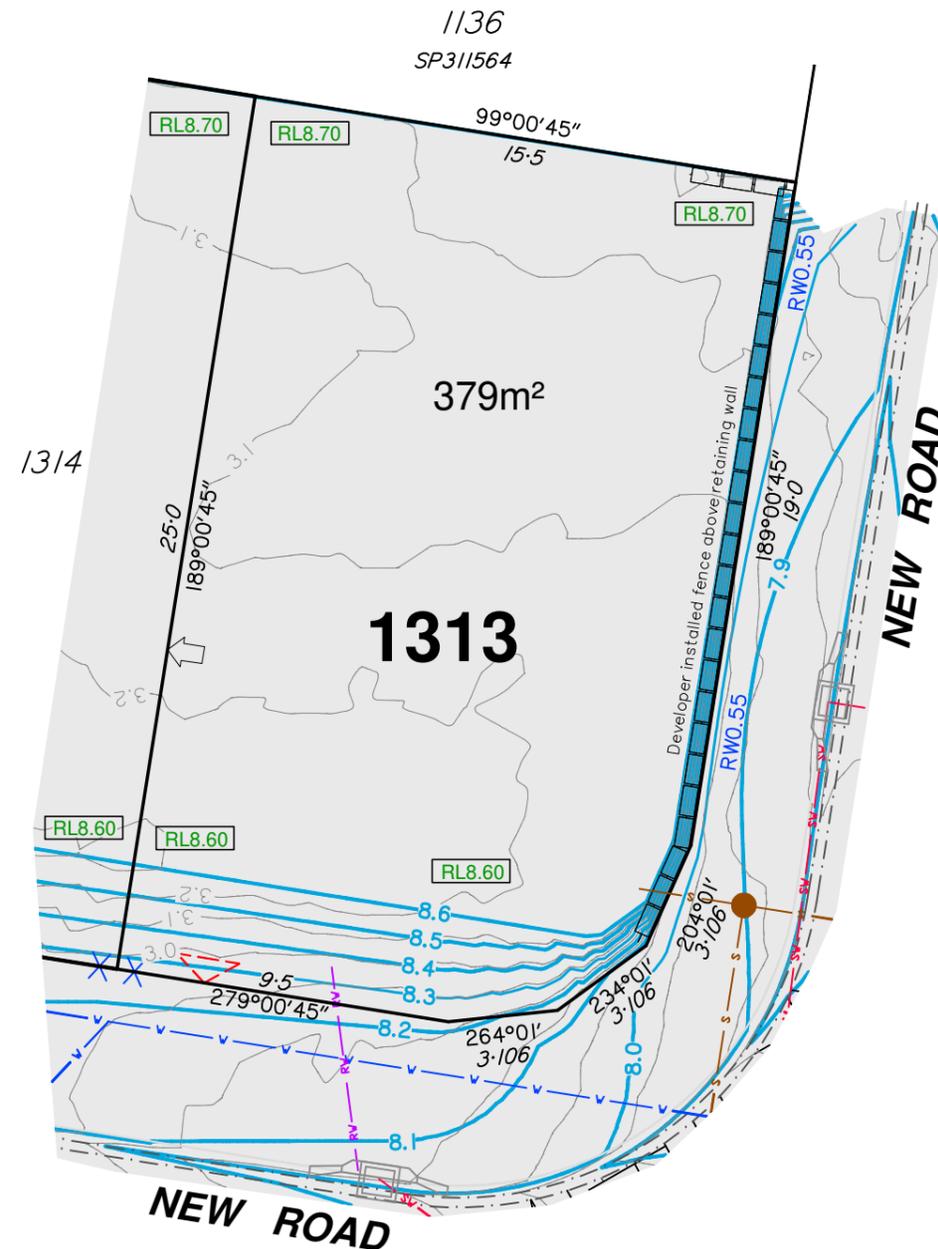
Planning
 Urban Design
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1313 VERSION B



DISCLOSURE PLAN

For Proposed Lot 1314
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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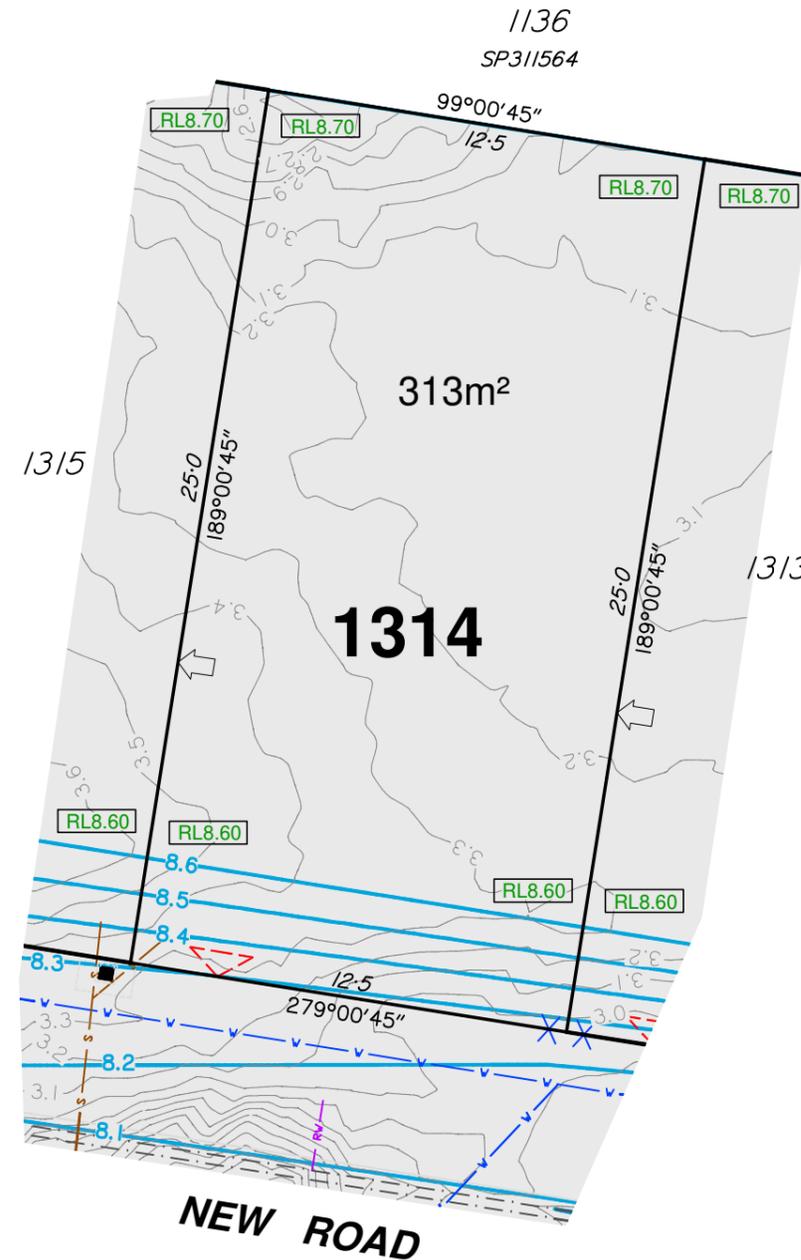
Planning
Urban Design
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1314 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1315
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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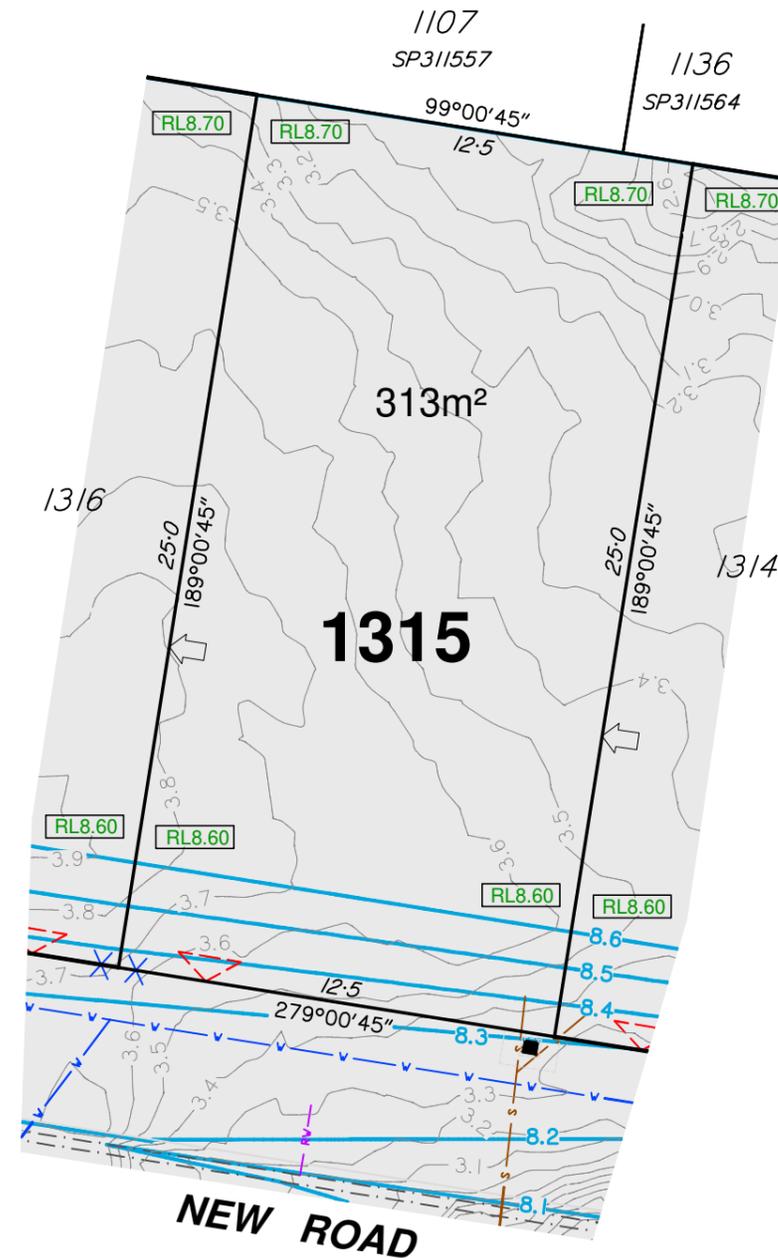
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MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1315 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1316
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

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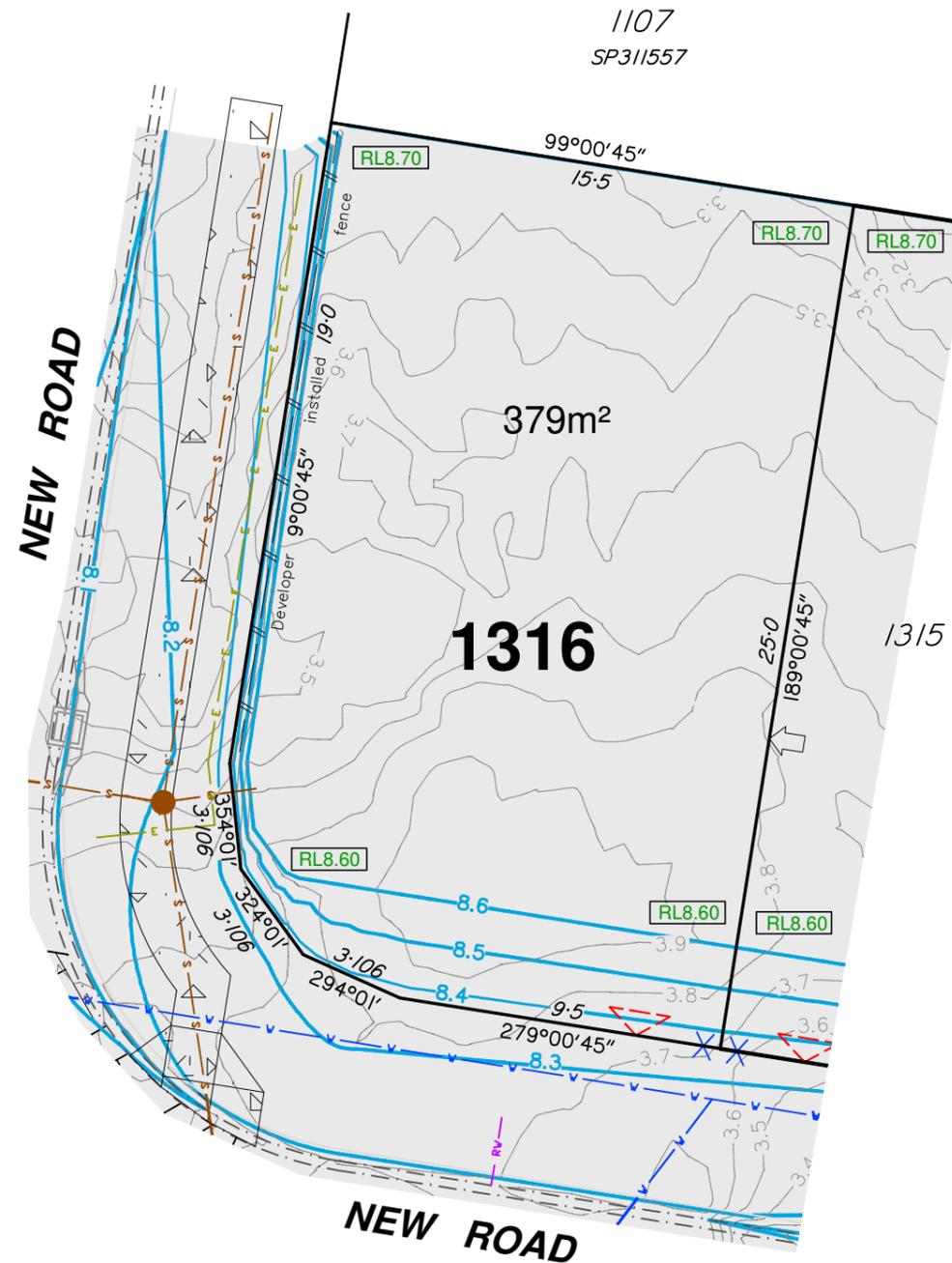


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DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1316 VERSION B



DISCLOSURE PLAN

For Proposed Lot 1317
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



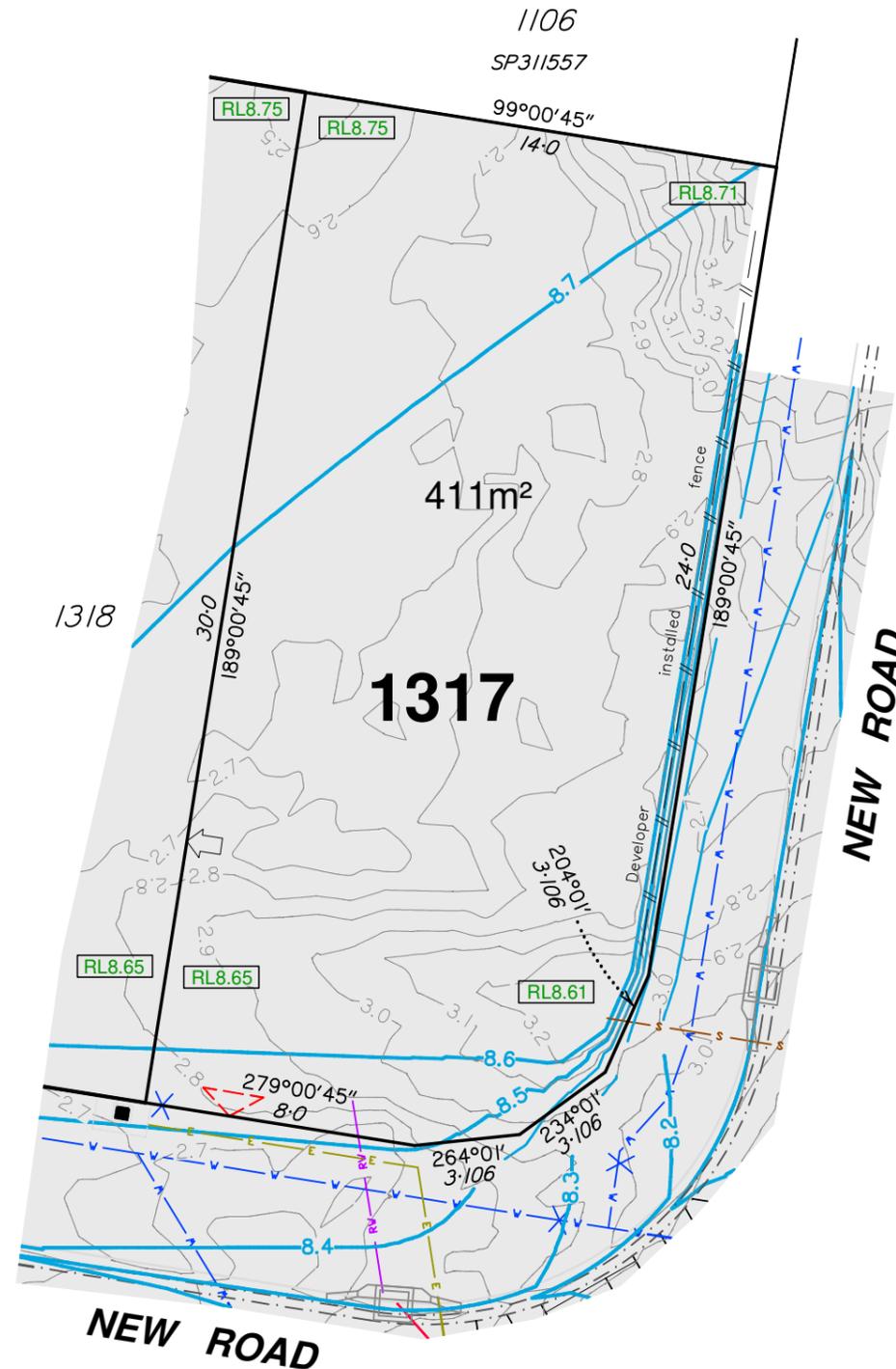
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1317 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1318
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - RL57.32 Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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RIVERBANK



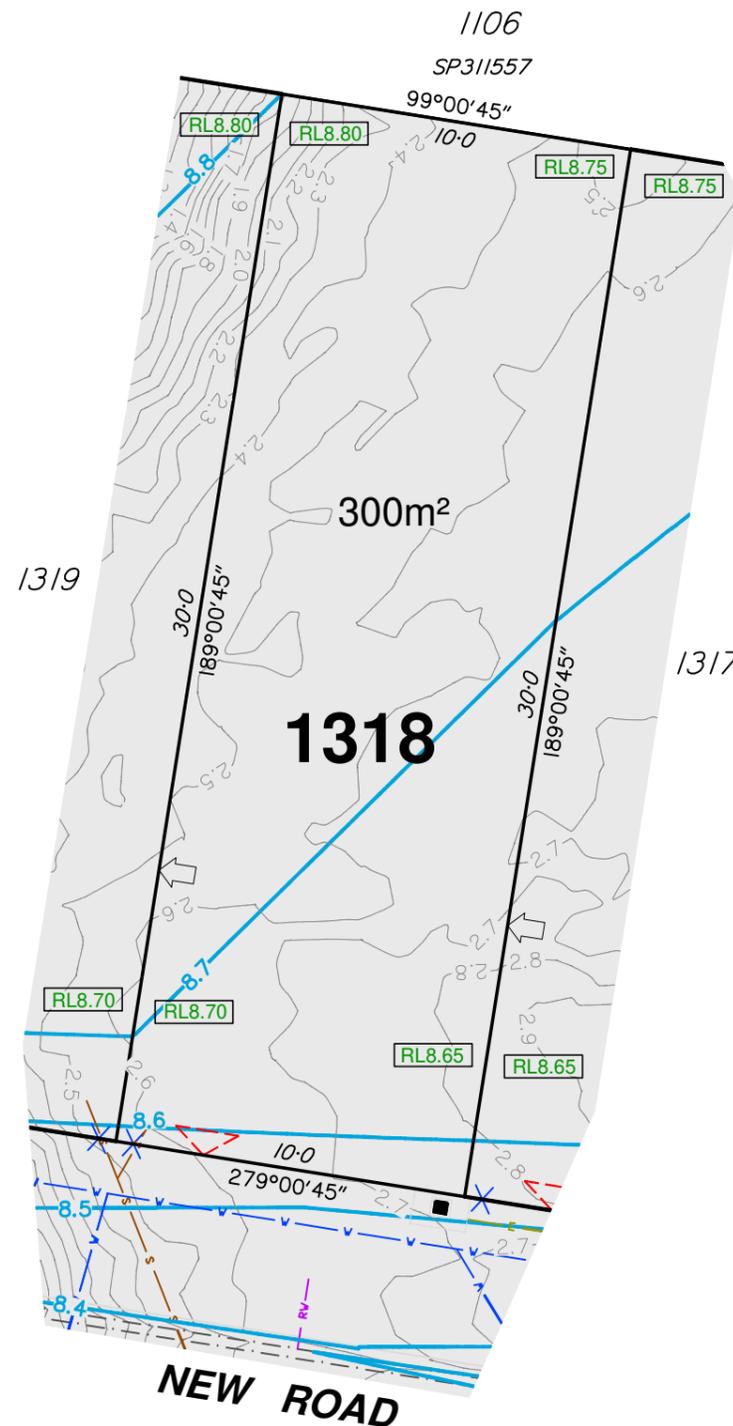
Planning
Urban Design
Landscape
Environment
Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

2 0 2 4
 Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1318 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1319
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
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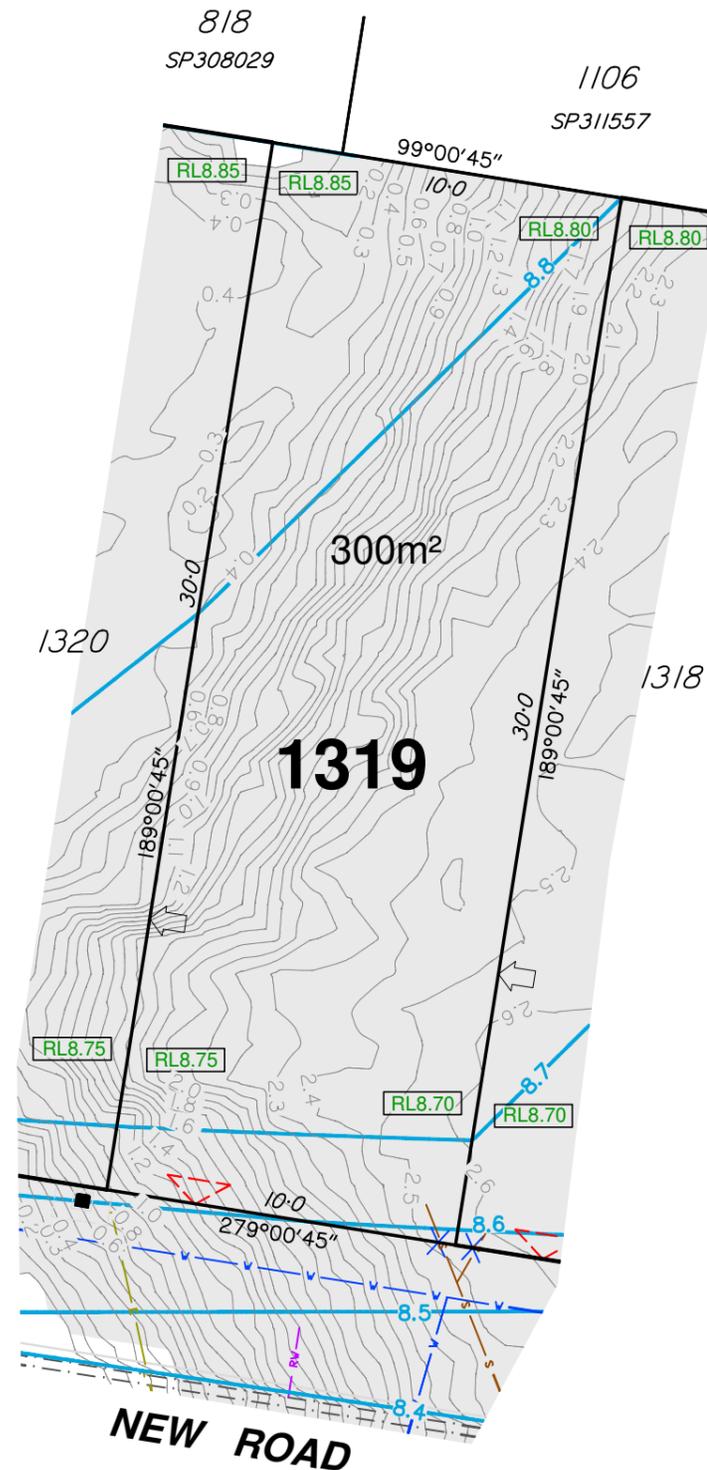
RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA
 Scale 1:200 @A3
 LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1319 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1320
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- // // 1.8m High Timber Fence
(Installed by Developer)

Notes:

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RIVERBANK



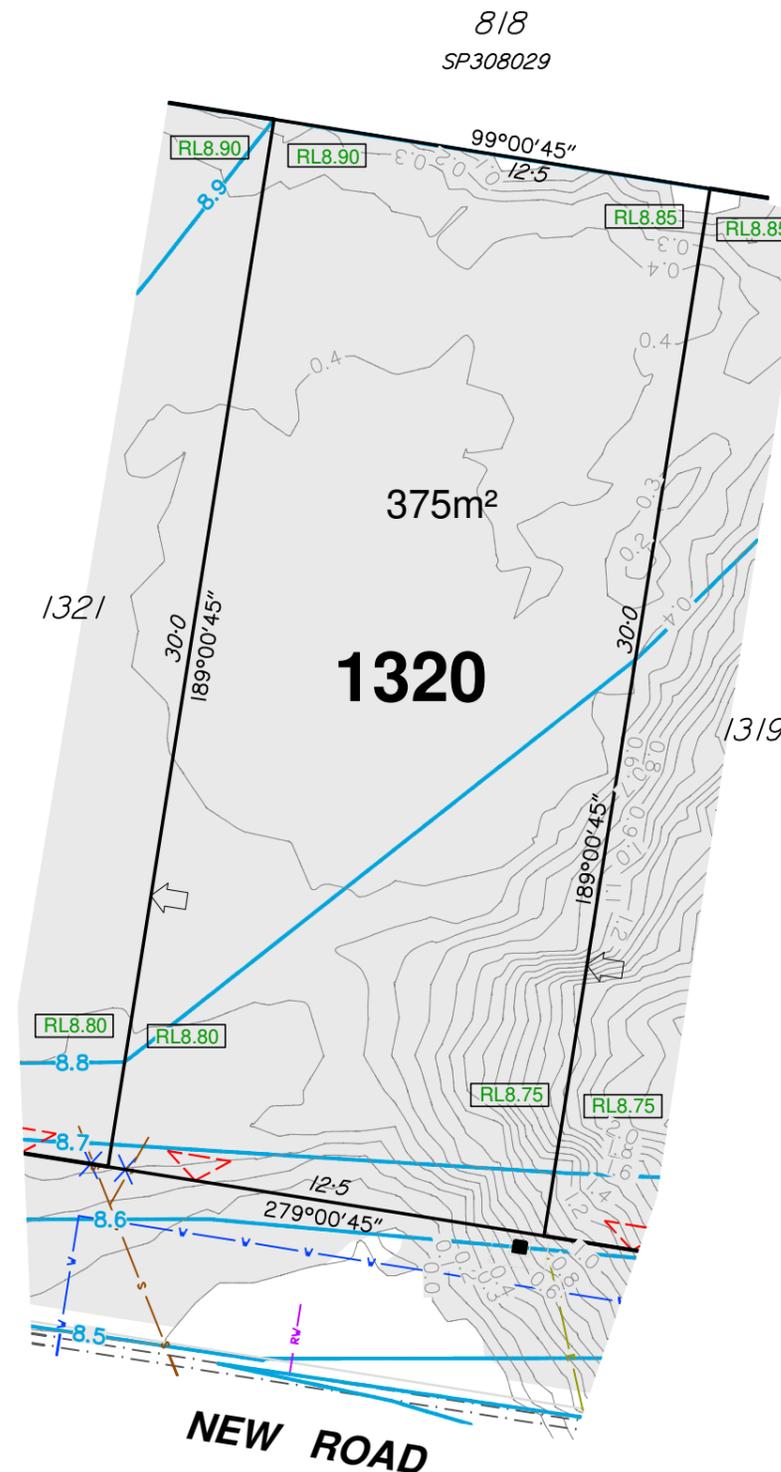
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.


 Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1320 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1321
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - // // 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
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RIVERBANK



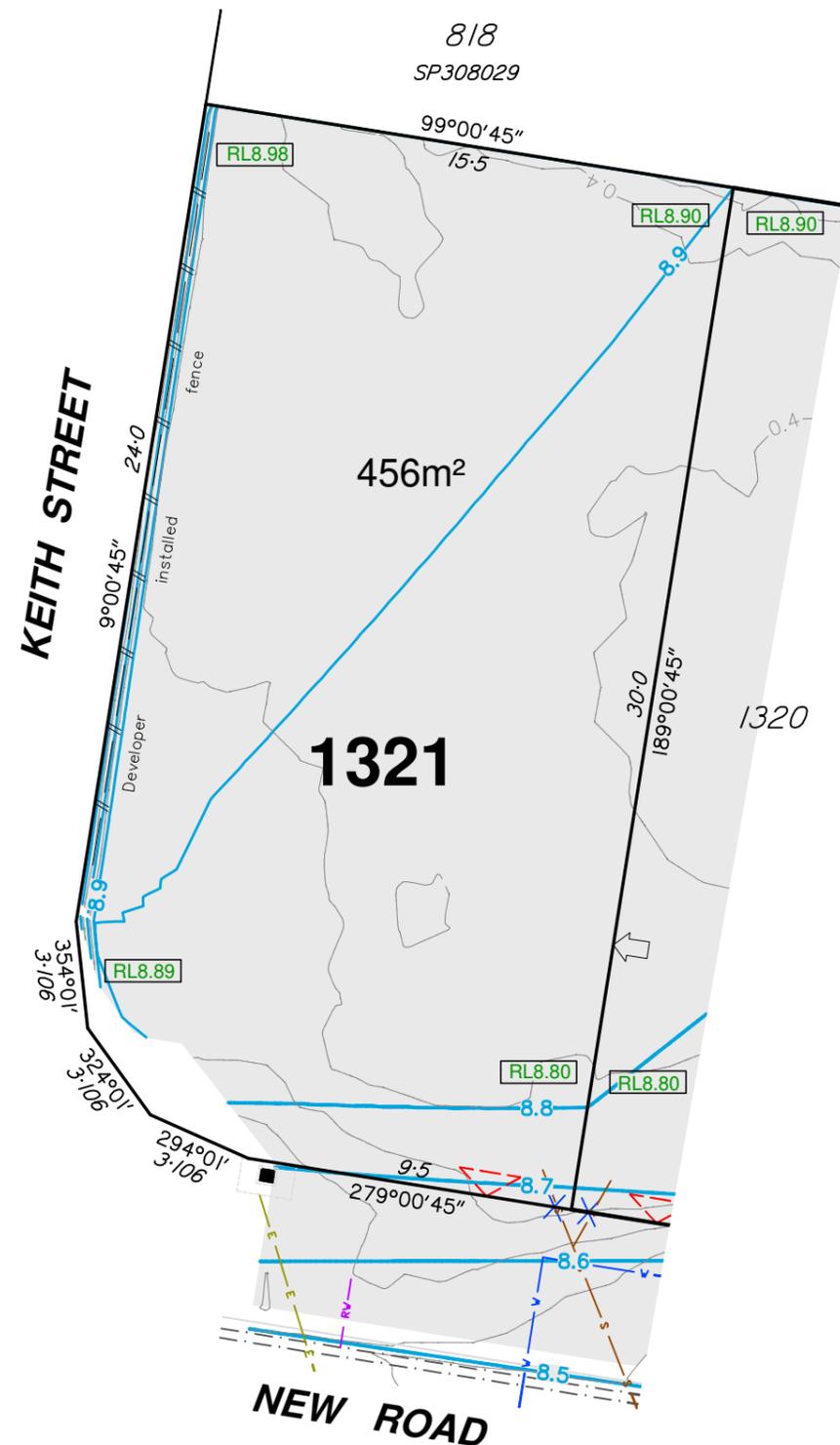
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1321 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1322
Riverbank - Stage 16C

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
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RIVERBANK



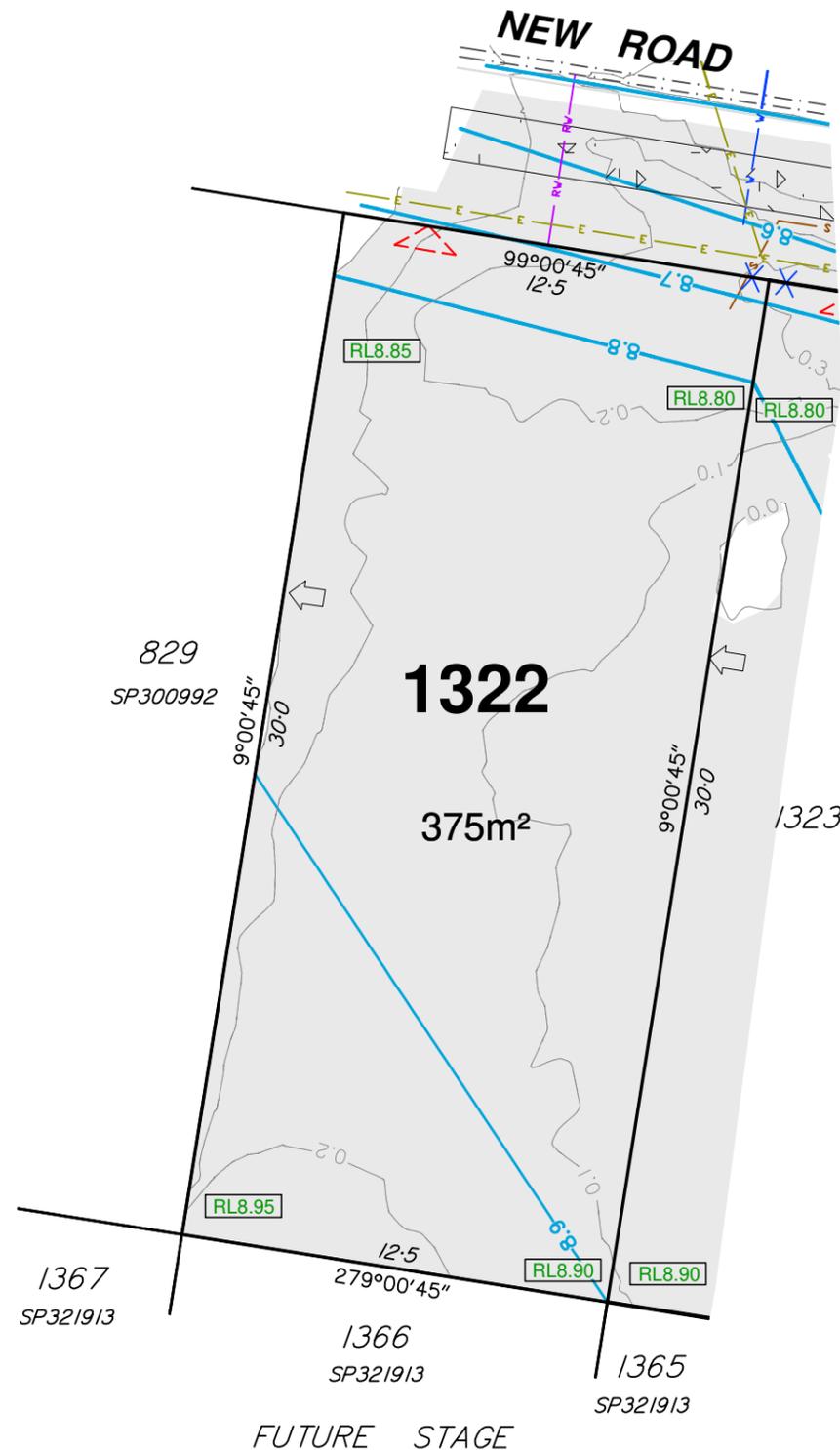
Planning
 Urban Design
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 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1322 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1323
Riverbank - Stage 16C

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - // // 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
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RIVERBANK



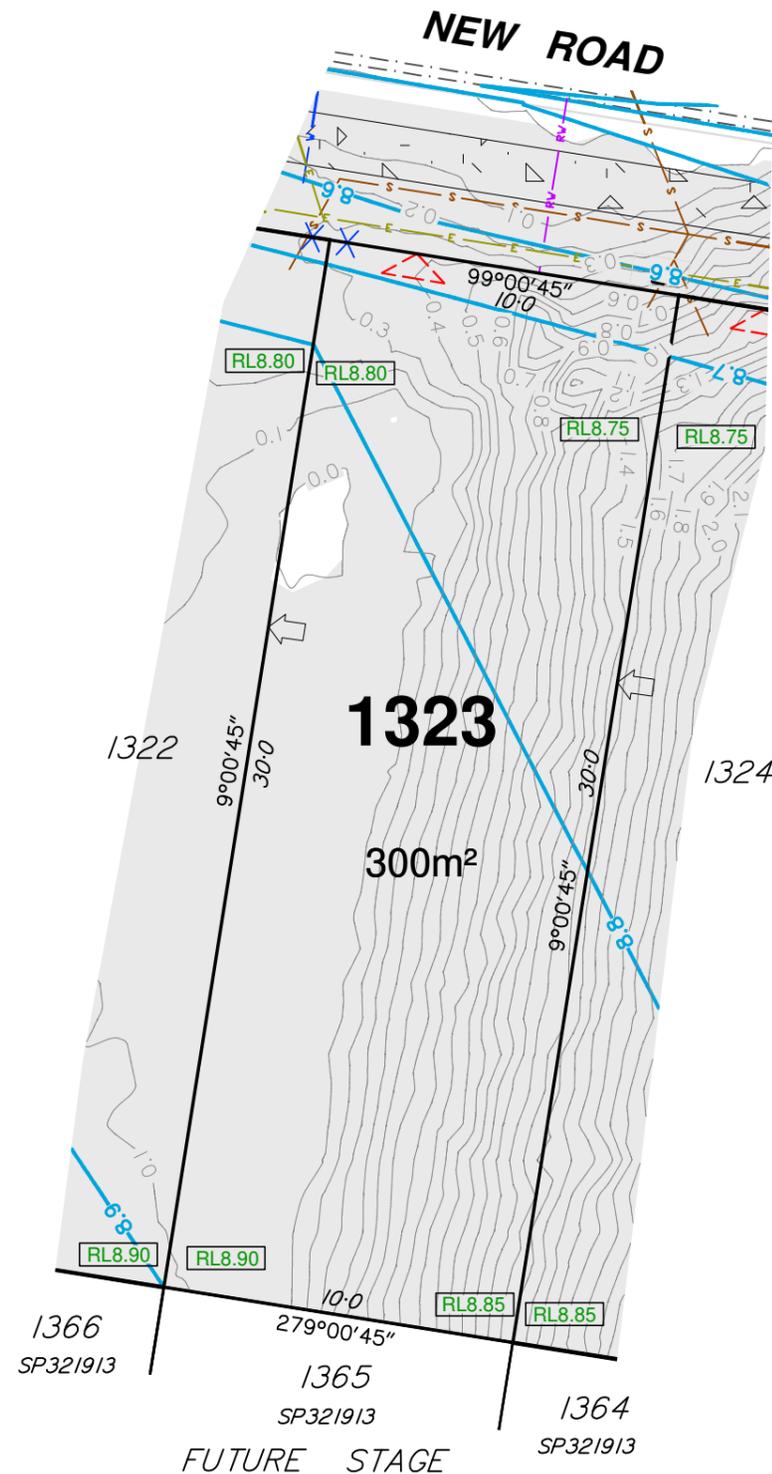
▣ Planning
 ▣ Urban Design
 ▣ Landscape
 ▣ Environment
 ▣ Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1323 VERSION A



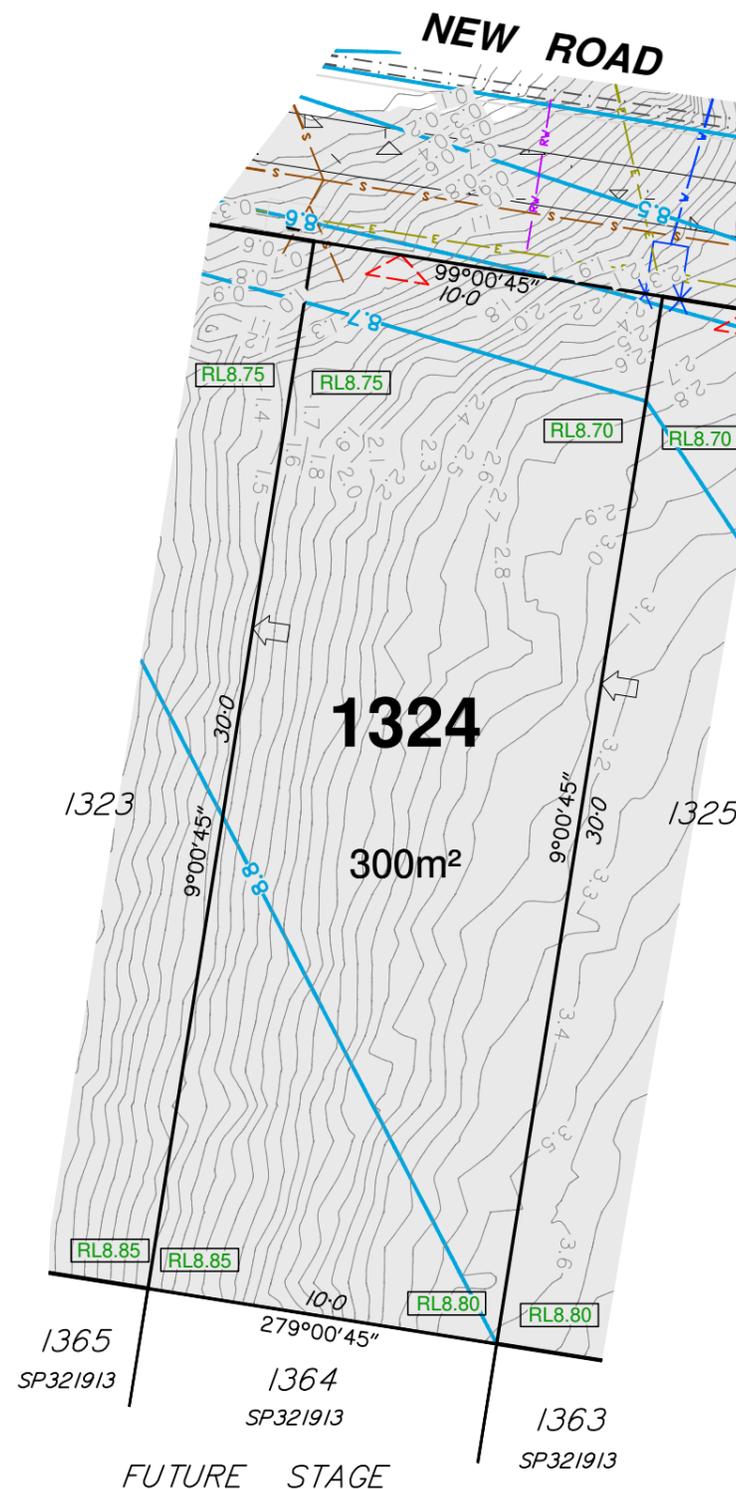
DISCLOSURE PLAN

For Proposed Lot 1324
Riverbank - Stage 16C

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
	s	Sewer/Sewer Manhole
	sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv	Roofwater/Kerb Adapter
	v	Water/Water Fitting
	X	Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW	Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)



- Notes:**
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RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1324 VERSION A

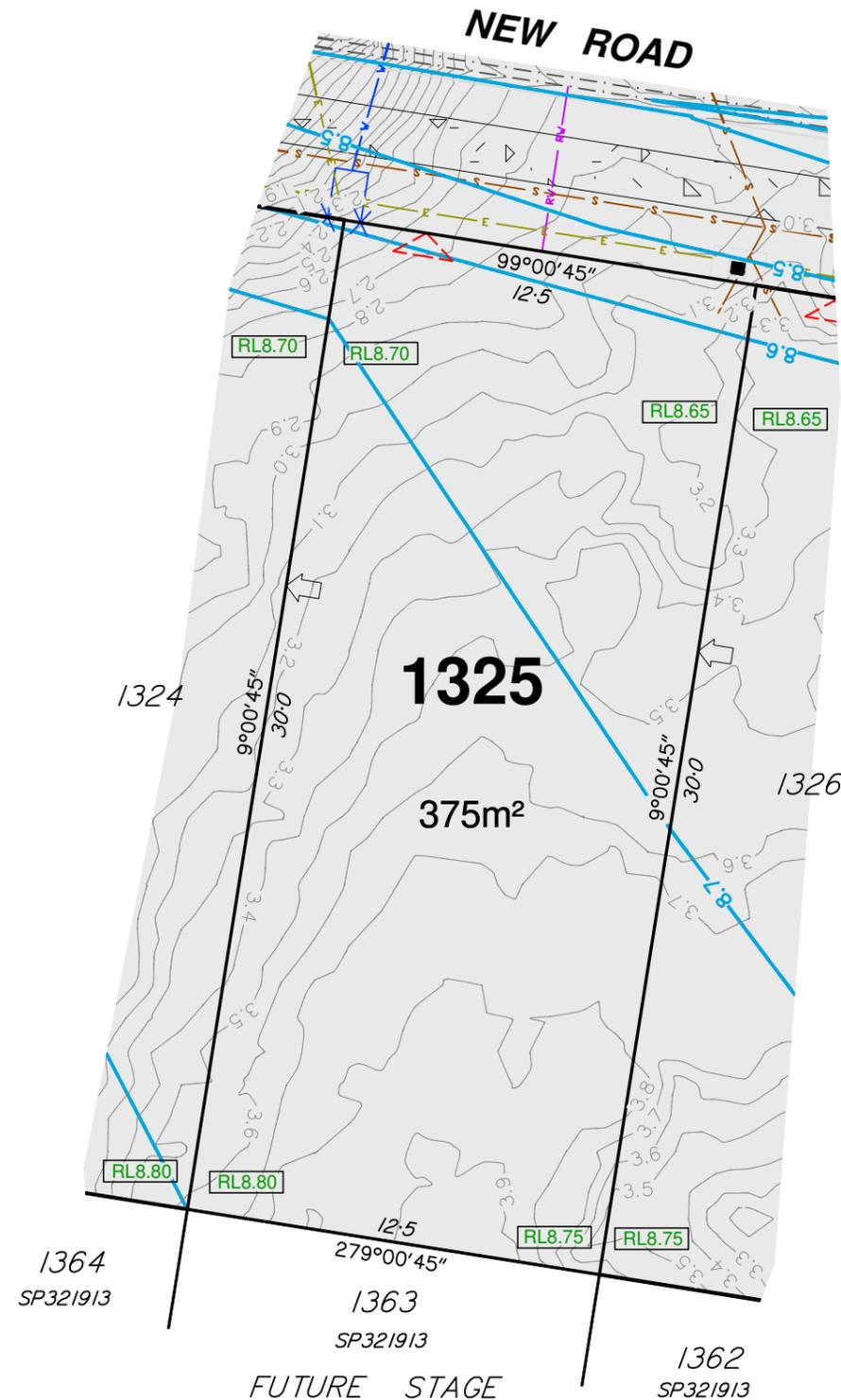
DISCLOSURE PLAN

For Proposed Lot 1325
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
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RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1325 VERSION A

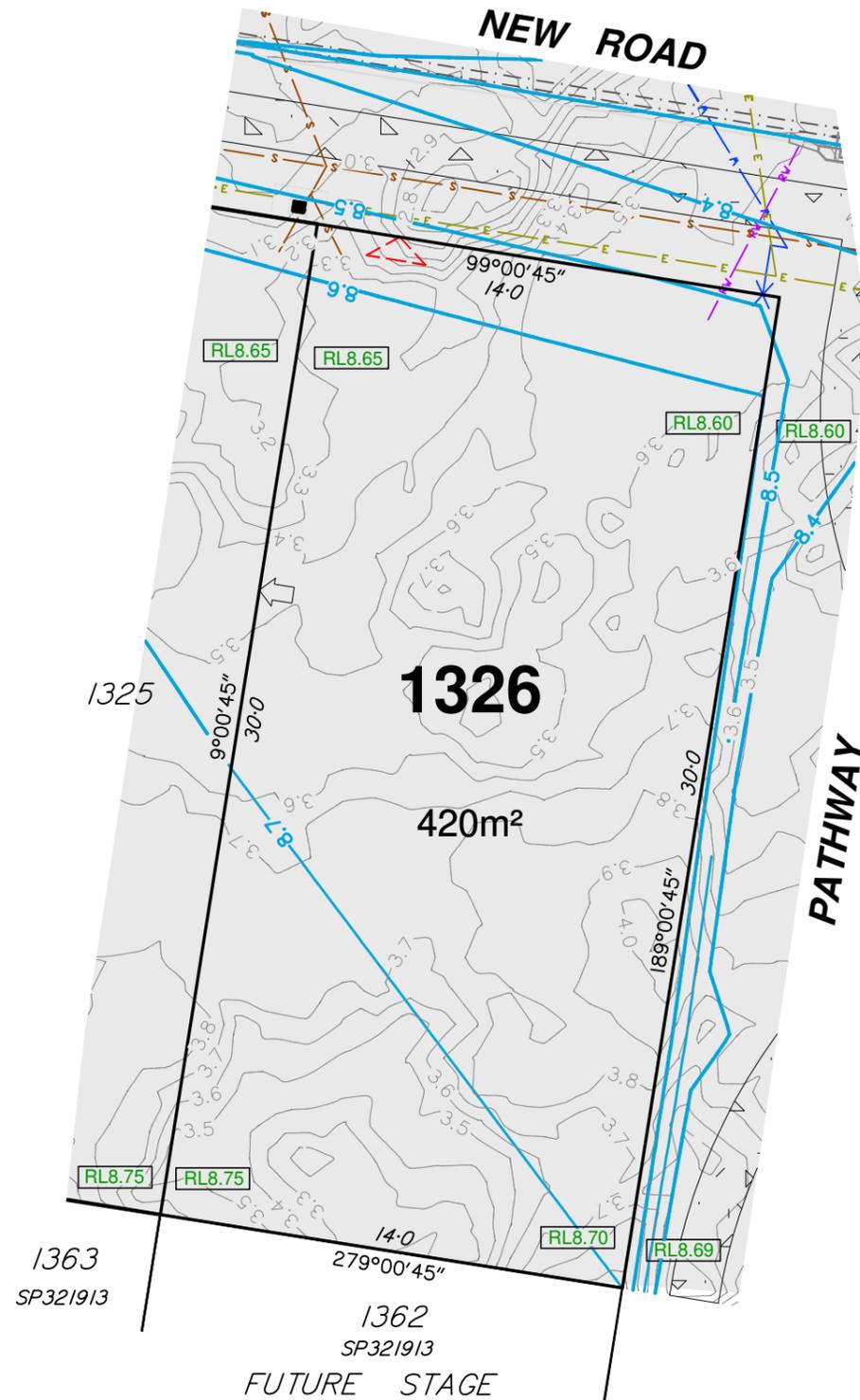
DISCLOSURE PLAN

For Proposed Lot 1326
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Kerb Adapter
		Water/Water Fitting
		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)



- Notes:**
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RIVERBANK



HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1326 VERSION A

DISCLOSURE PLAN

For Proposed Lot 1327
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- // // 1.8m High Timber Fence
(Installed by Developer)

Notes:

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RIVERBANK



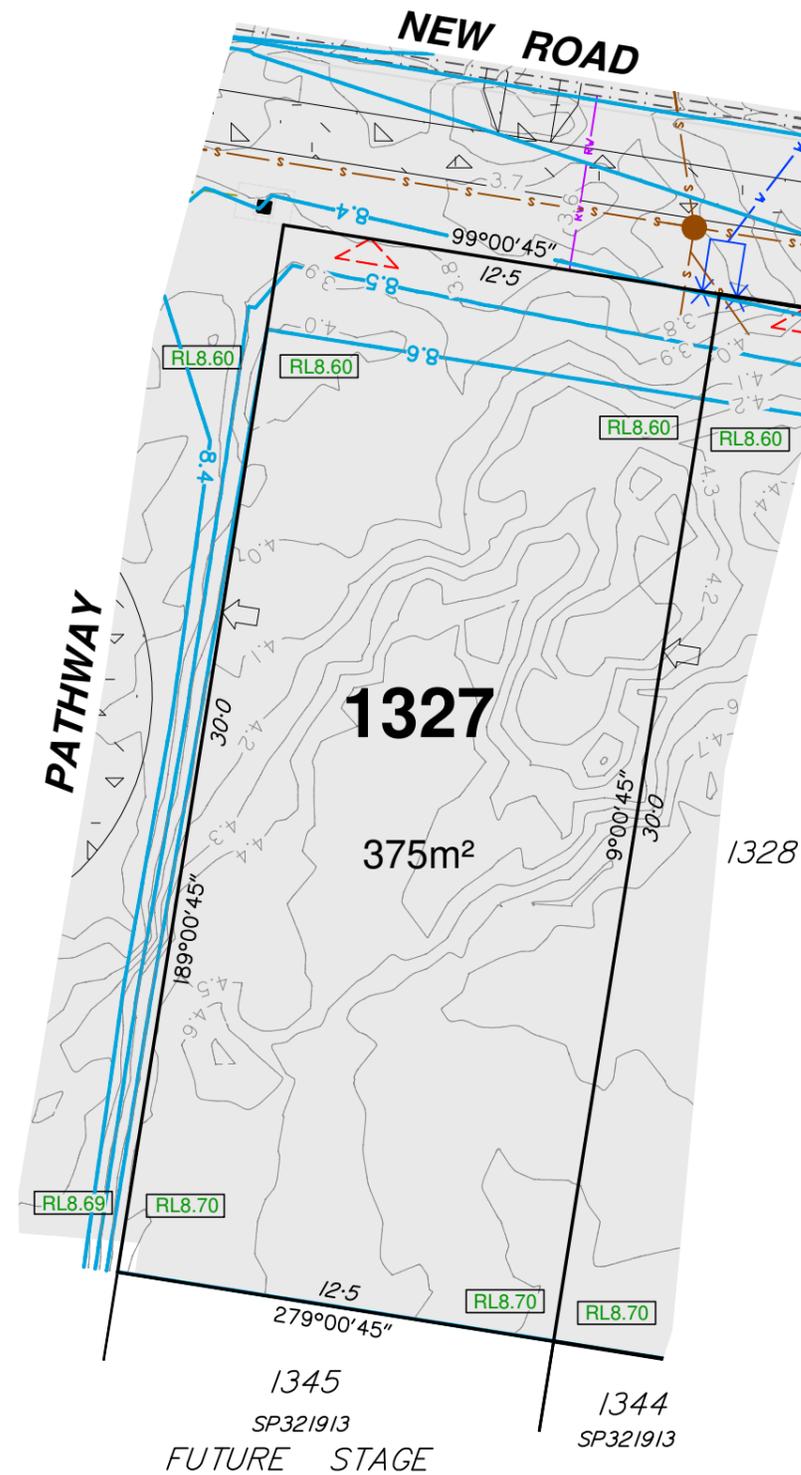
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.


 Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1327 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1328
Riverbank - Stage 16C

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)

Notes:

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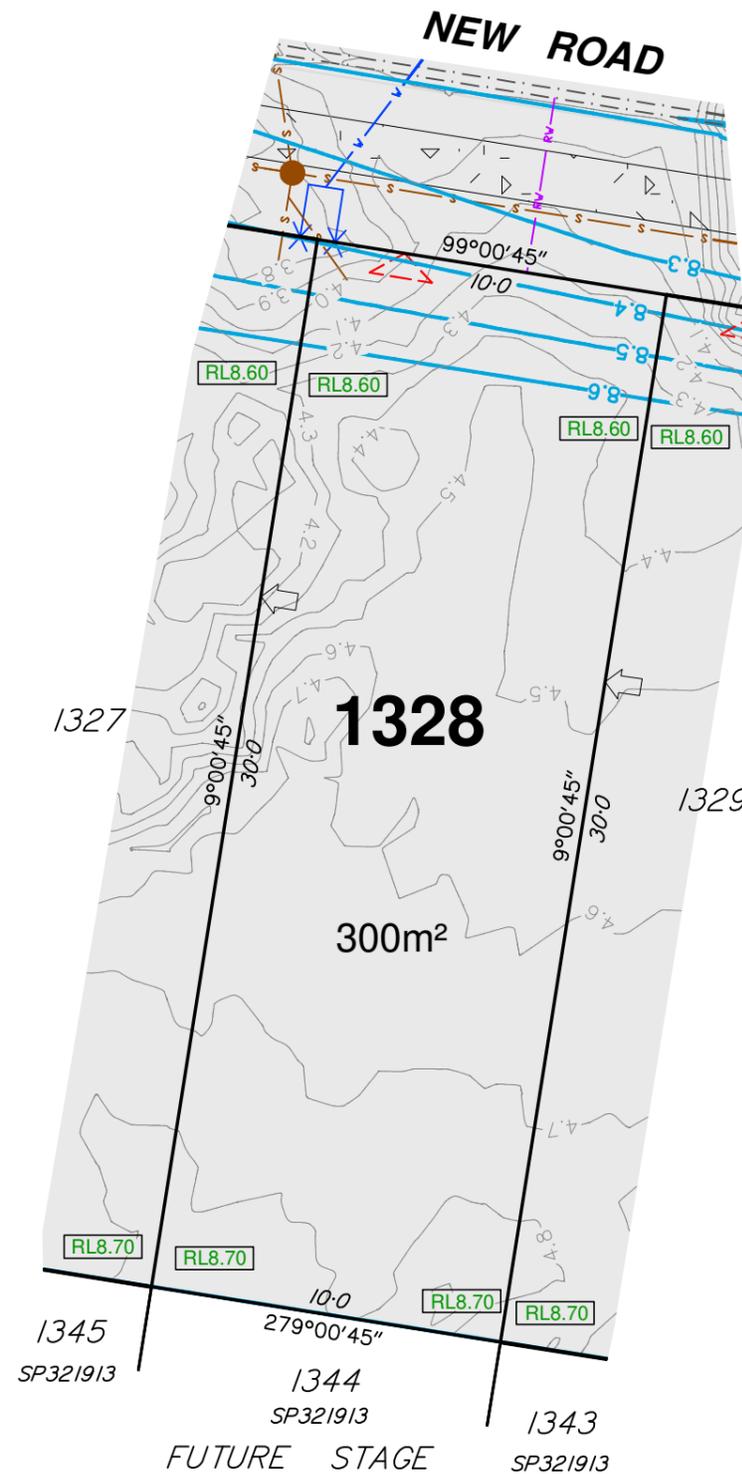
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

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DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1328 VERSION B



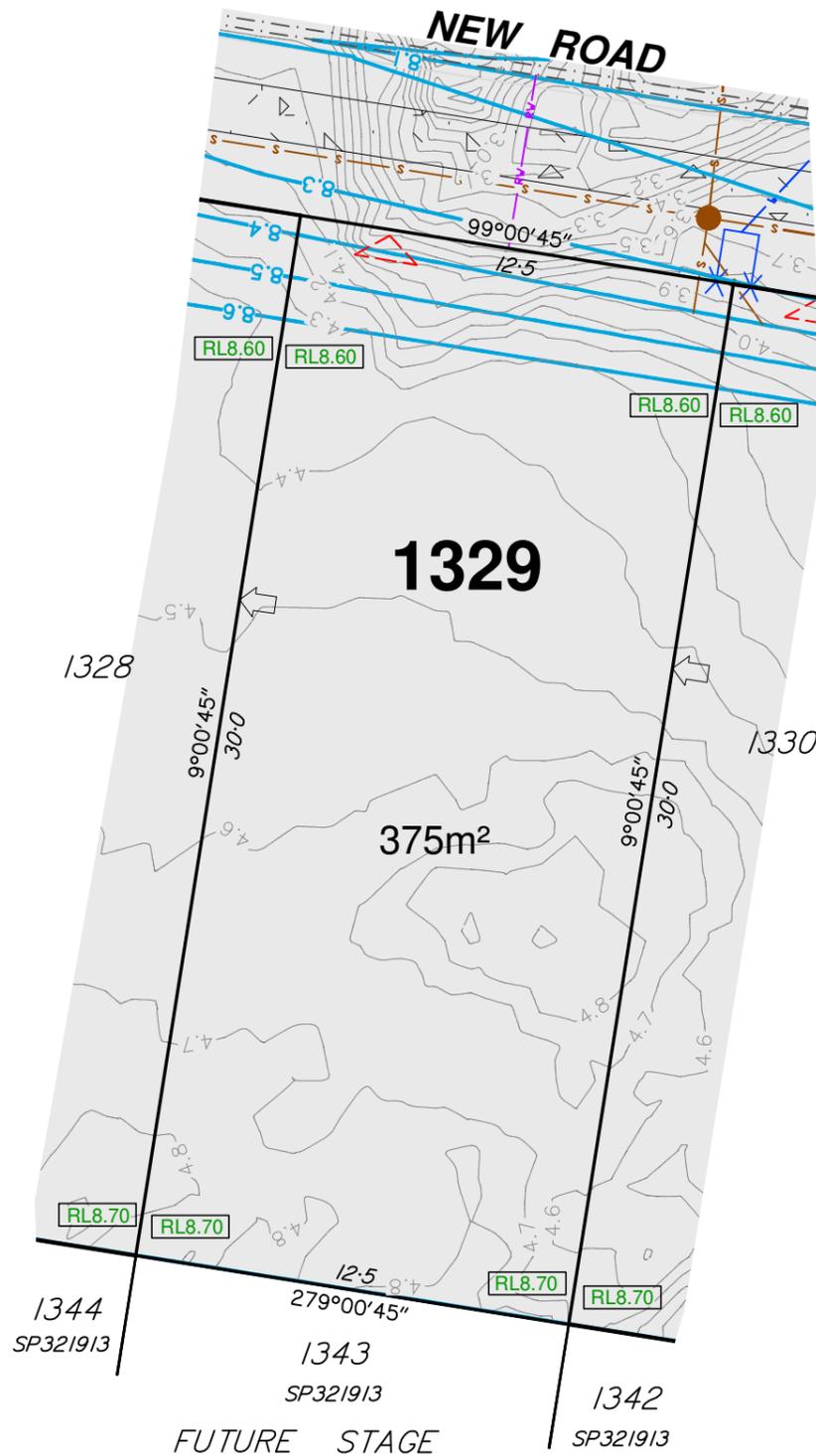
DISCLOSURE PLAN

For Proposed Lot 1329
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
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 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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LEVEL DATUM
AHD.

DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1329 VERSION B

DISCLOSURE PLAN

For Proposed Lot 1330
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- // // 1.8m High Timber Fence
(Installed by Developer)

Notes:

1. This note is an integral part of this plan.
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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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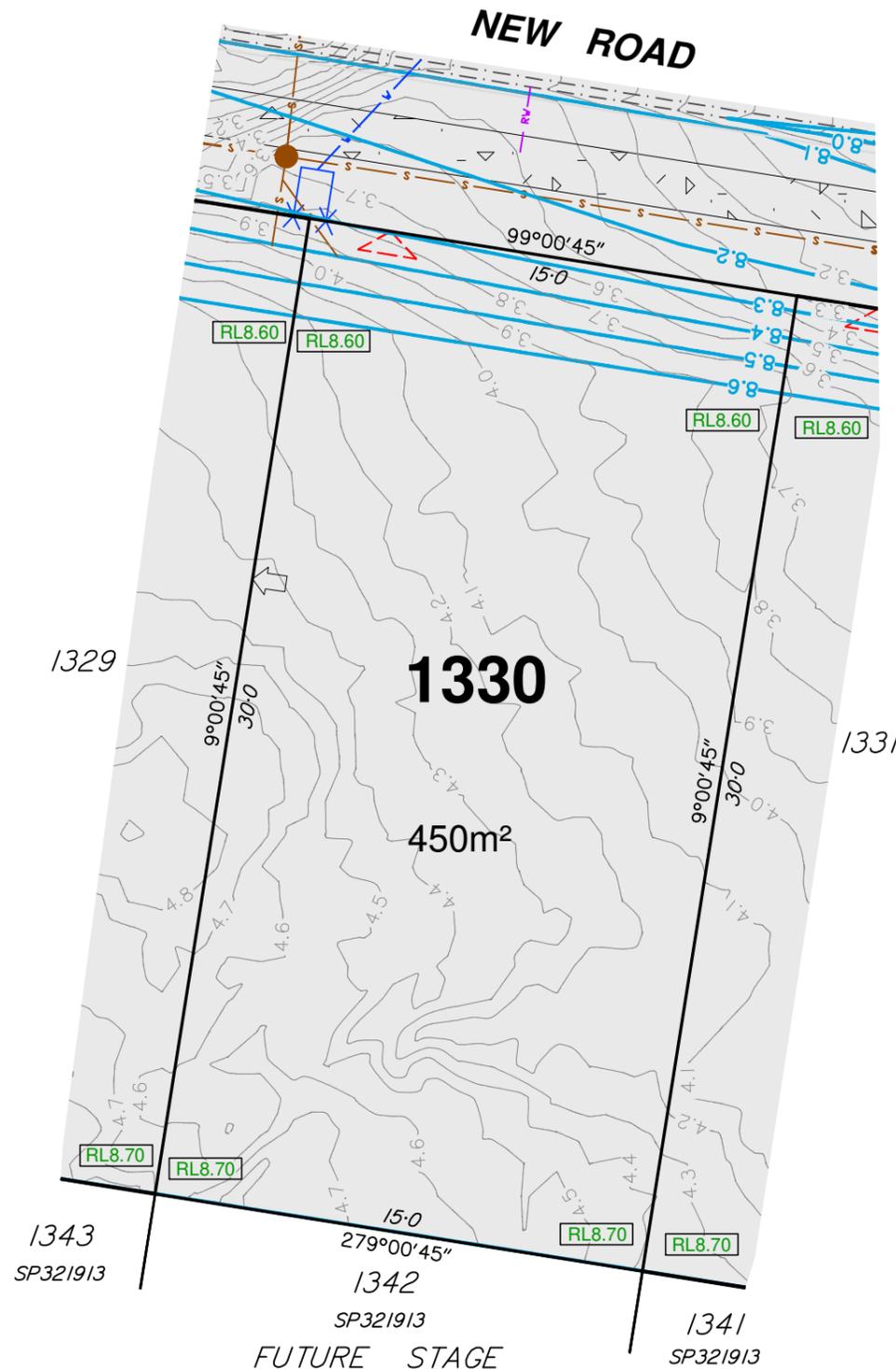
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 ■ Landscape
 ■ Environment
 ■ Surveying

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LEVEL DATUM
AHD.

DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1330 VERSION B



DISCLOSURE PLAN

For Proposed Lot 1331
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - // // 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
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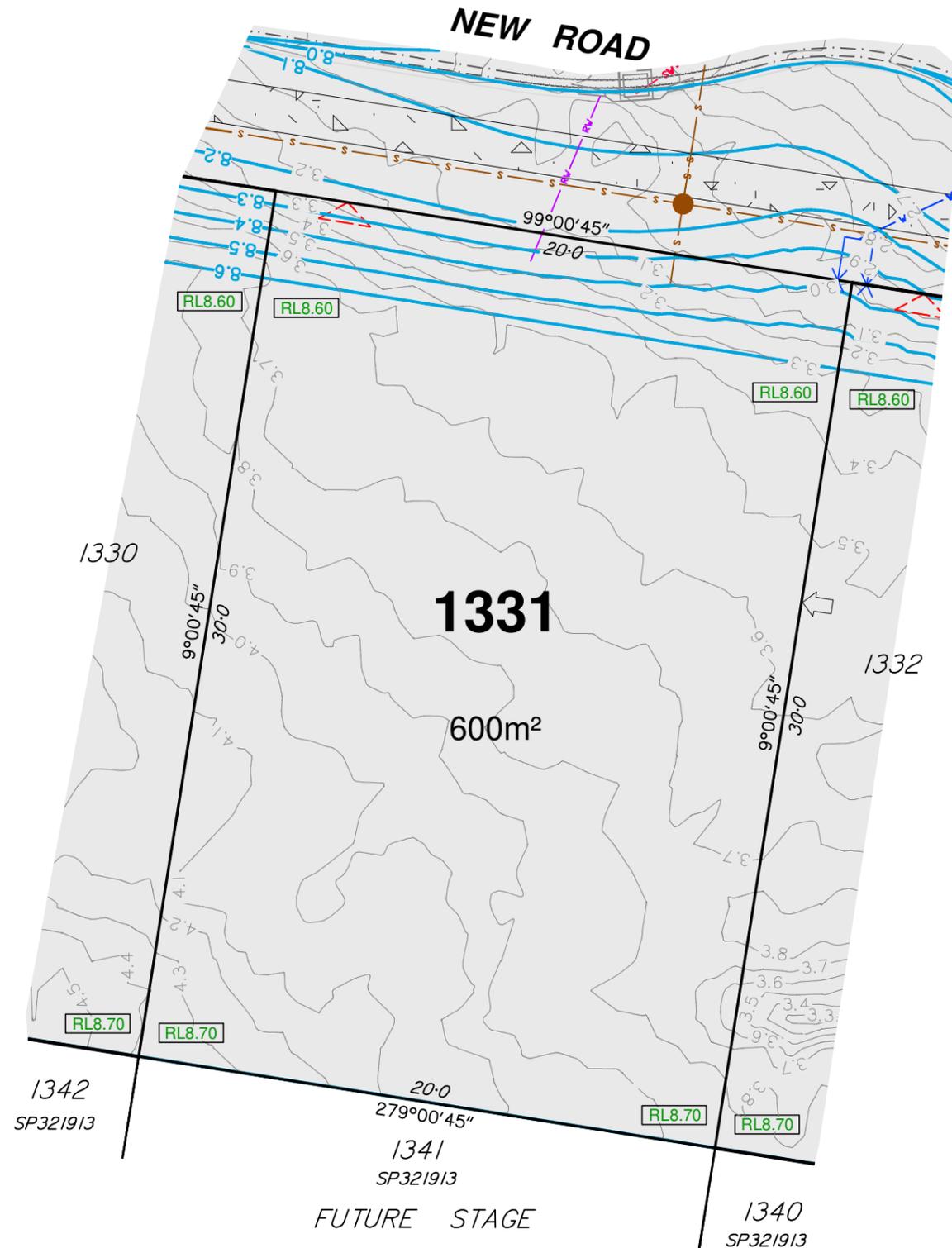
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 ■ Landscape
 ■ Environment
 ■ Surveying

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LEVEL DATUM
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 Scale 1:200 @A3

DATE DRAWN 01-02-2021 DRAWING NO. SB3594_16C-01-1331 VERSION B



DISCLOSURE PLAN

For Proposed Lot 1332
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
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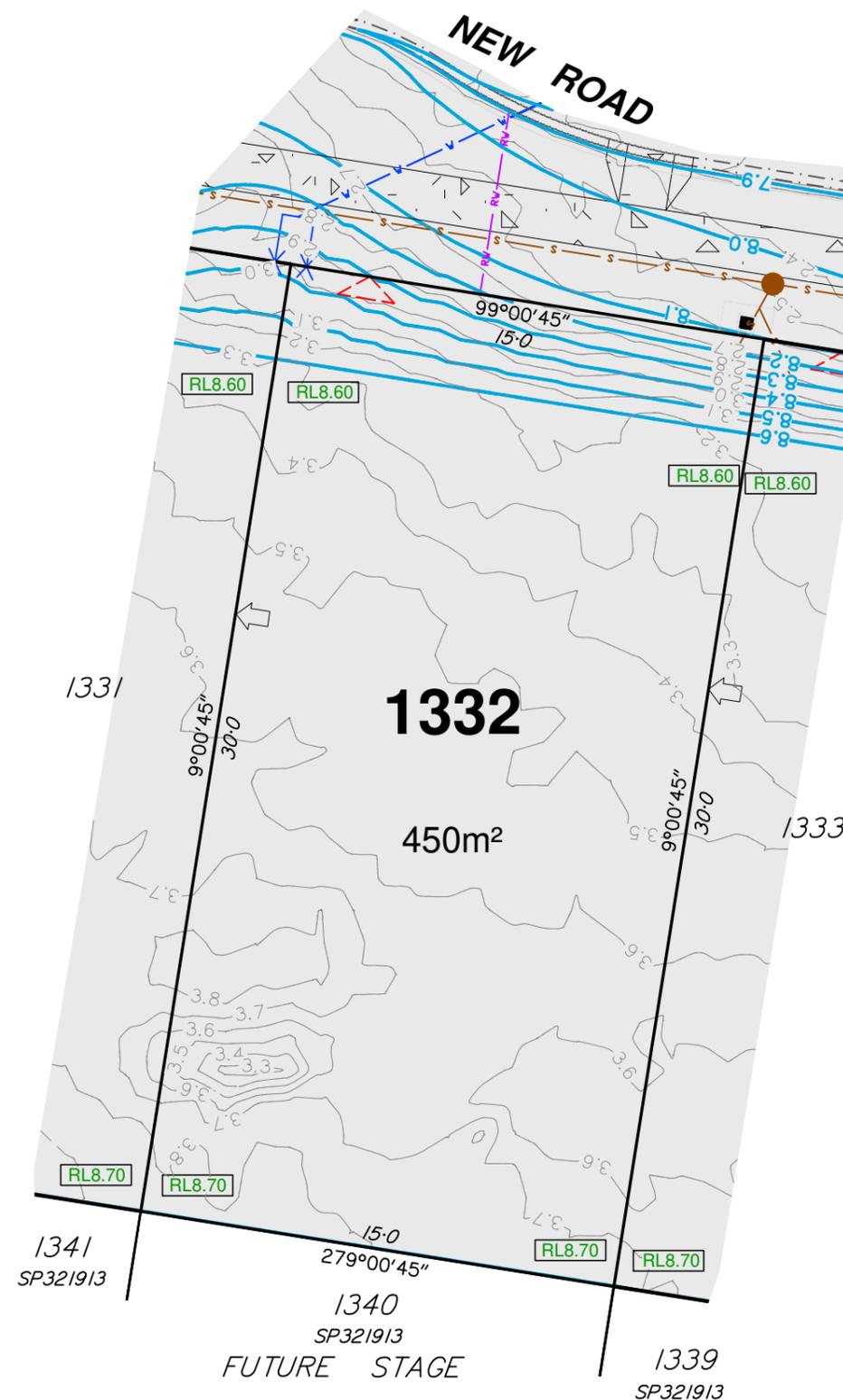


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DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1332 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1333
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - // // 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
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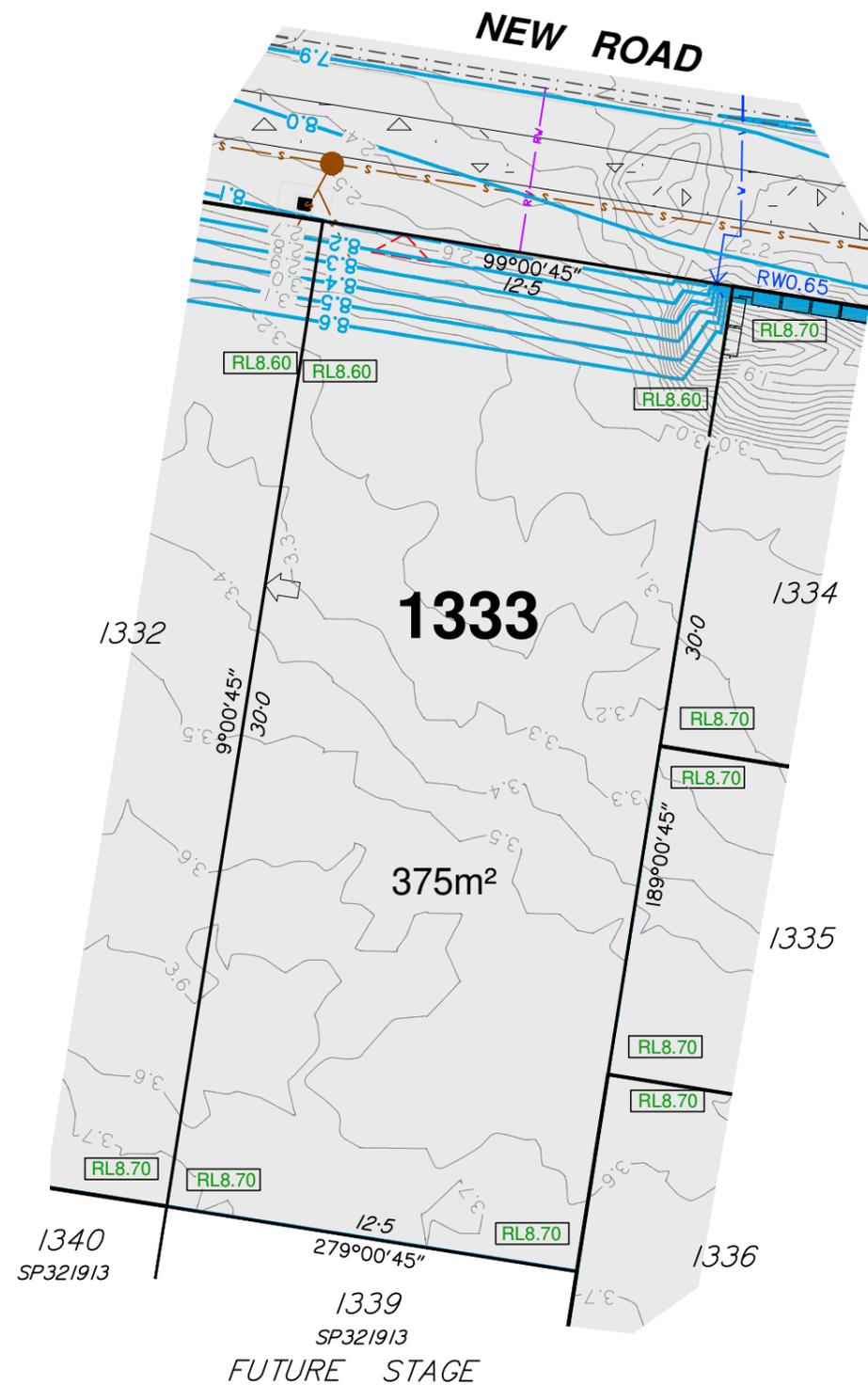
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 ■ Environment
 ■ Surveying

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LEVEL DATUM
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DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1333 VERSION A

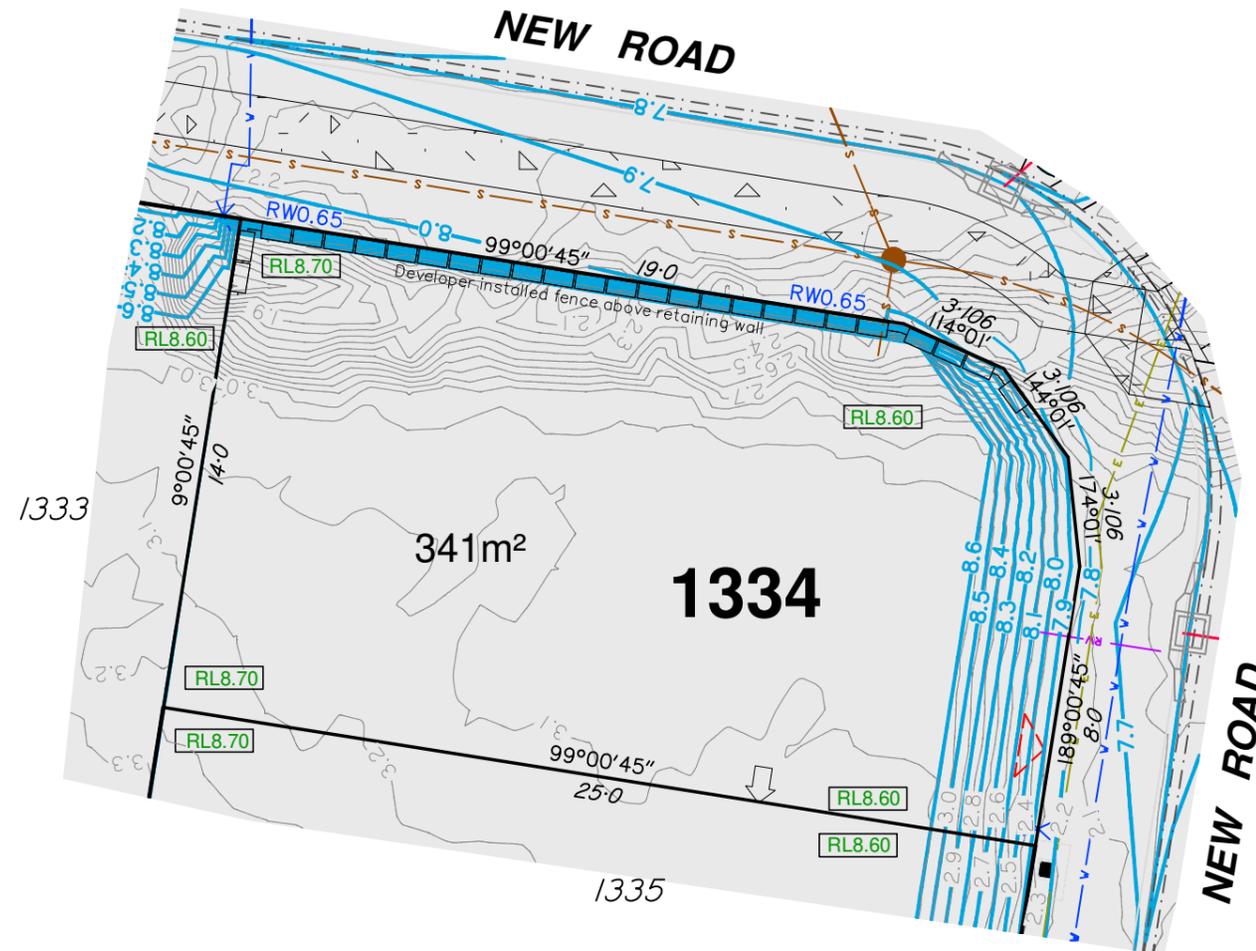


DISCLOSURE PLAN

For Proposed Lot 1334
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL8.70 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary
 - // — // — 1.8m High Timber Fence
(Installed by Developer)



- Notes:**
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DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1334 VERSION A

DISCLOSURE PLAN

For Proposed Lot 1335
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- // // 1.8m High Timber Fence
(Installed by Developer)

Notes:

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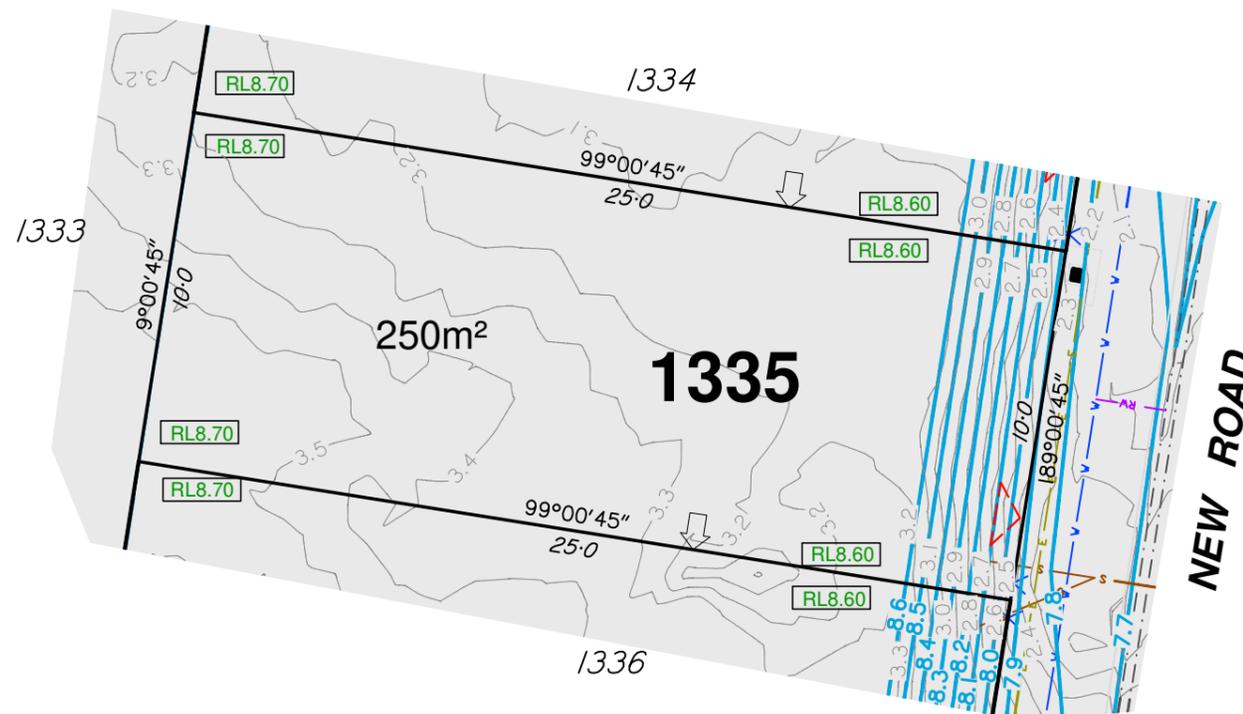


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LEVEL DATUM
AHD.

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1335 VERSION A



DISCLOSURE PLAN

For Proposed Lot 1336
Riverbank - Stage 16C

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- // // 1.8m High Timber Fence
(Installed by Developer)

Notes:

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 Scale 1:200 @A3

DATE DRAWN 16-12-2020 DRAWING NO. SB3594_16C-01-1336 VERSION A

