

For Proposed Lot 427 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329 Caboolture South Locality:

Moreton Bay Regional

Legend:

Local Authority

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-427



For Proposed Lot 428 Riverbank - Stage 2A

Currently Described As RPD: Part of Lot 1025 on SP323329 Caboolture South

Local Authority: Caboolture South

Moreton Bay Regional

### Legend:

Finished Surface Contours (0.1m Interval)

O — Depth of Fill Contours (0.1m Interval)

----- --- Easement Boundary

— s —— s —— Sewer/Sewer Manhole

\_\_\_\_ s \_\_\_\_s Existing Sewer/Sewer Manhole

\_\_\_\_\_sv \_\_\_\_\_ Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV RV RV ROofwater/Kerb Adapter

Water /Water Fitting

X
Water Meter

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

\_\_\_\_ // \_\_\_\_ 1.8m High Timber Fence (Installed by Developer)

### Notes

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# RIVERBANK



Planning Urban Design Candscape Environment M Surveying

HORIZONTAL MERIDIAN MGA

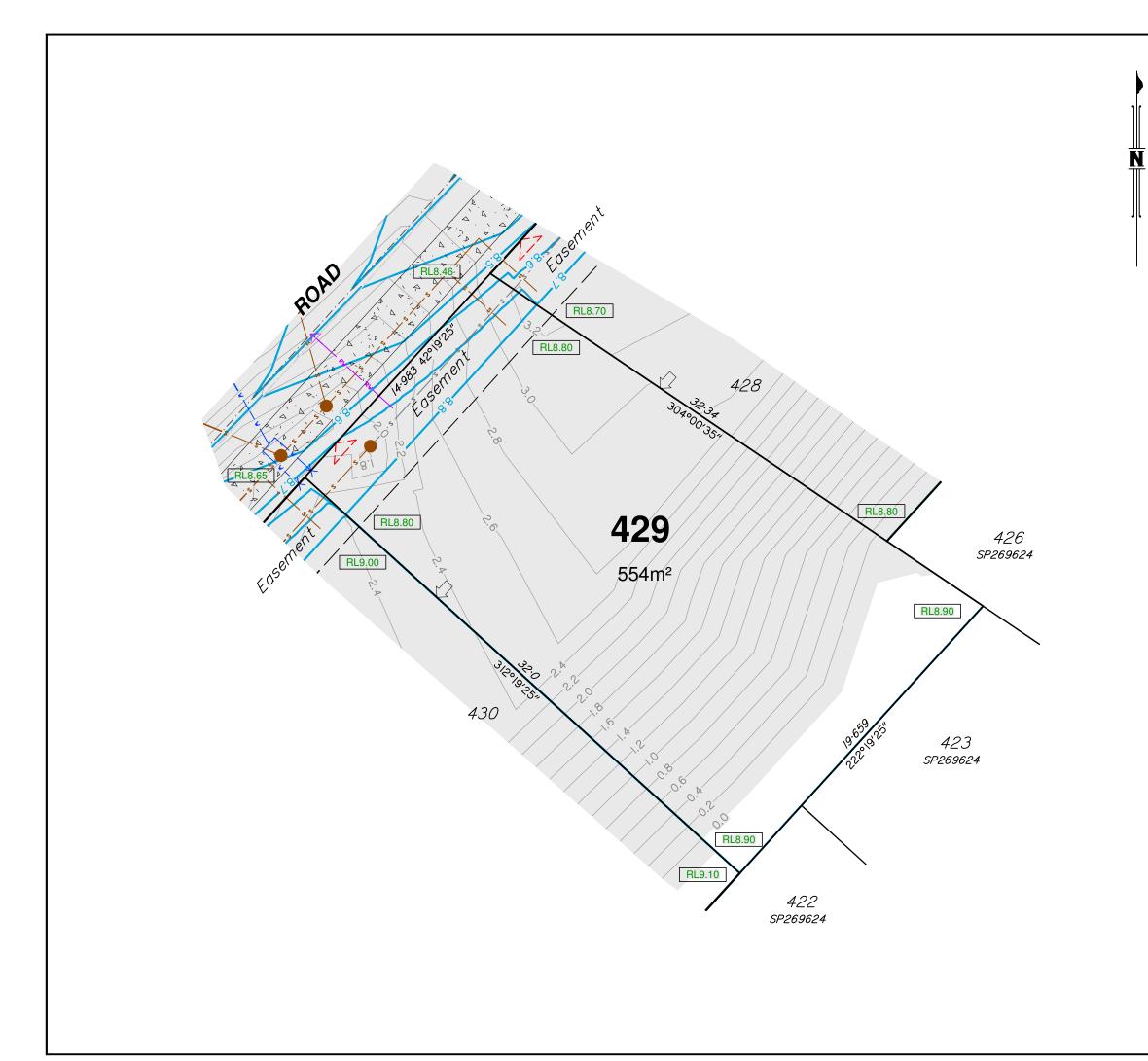
2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

AHD.

DATE DRAWN DRAWING NO. VERSION

DATE DRAWN DRAWING NO. 26-10-2021 SB3594\_2A-01-428

28 B



For Proposed Lot 429 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Locality:

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

---- Easement Boundary

— · — · — Kerb Line

s — s — Sewer/Sewer Manhole

\_\_ s \_\_\_\_s \_\_\_\_ Existing Sewer/Sewer Manhole

Stormwater Gully Trap

V — V — Water/Water Fitting

X Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall Height

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

\_\_\_\_\_ // \_\_\_\_ 1.8m High Timber Fence (Installed by Developer)

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# RIVERBANK



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HORIZONTAL MERIDIAN MGA

Scale 1:200 2 4 LEVEL DATUM AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-429

NO. VERSION 1-429 B



For Proposed Lot 430 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329

Caboolture South Moreton Bay Regional

### Legend:

Local Authority

Locality:

 $\overline{\mathbf{N}}$ 

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

- Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole

Stormwater Gully Trap

Water/Water Fitting

Area to be Filled

Retaining Wall

Roofwater/Kerb Adapter

Water Meter

RL57.32 Design Pad Level

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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HORIZONTAL MERIDIAN MGA ليستلينينا

> LEVEL DATUM @A3 AHD.

DATE DRAWN 26-10-2021

Scale 1:200

DRAWING NO. SB3594 2A-01-430



## For Proposed Lot 431 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329

Caboolture South Moreton Bay Regional

### Legend:

Local Authority

Locality:

 $\overline{\mathbf{N}}$ 

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Water Meter Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-431



For Proposed Lot 432 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329 Caboolture South

Local Authority Moreton Bay Regional

Legend:

Locality:

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary 1.8m High Timber Fence (Installed by Developer)

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HORIZONTAL MERIDIAN MGA ليستلينينا

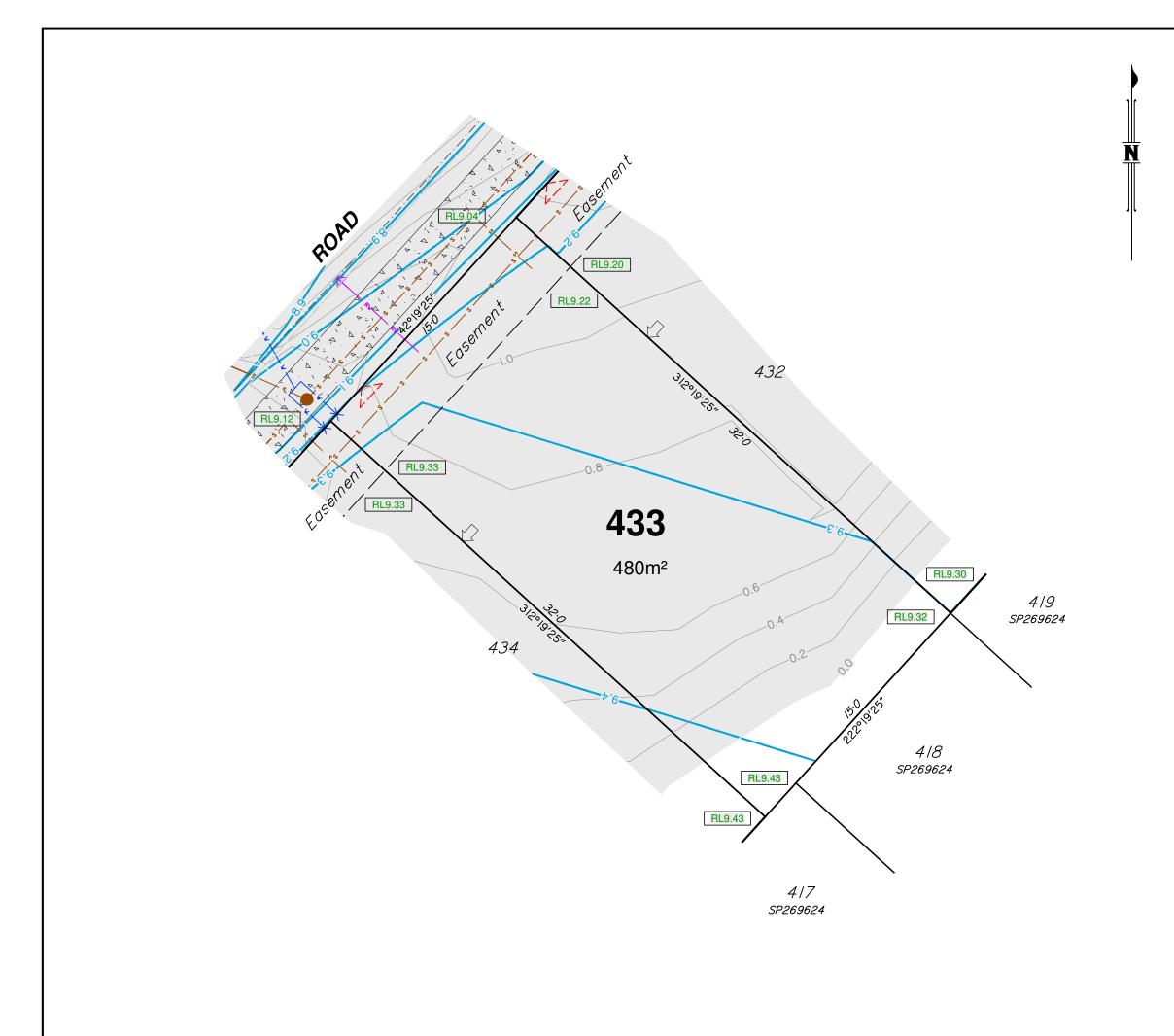
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LEVEL DATUM AHD.

DATE DRAWN 24-01-2022

Scale 1:200

DRAWING NO. SB3594 2A-01-432



For Proposed Lot 433 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329 Caboolture South Locality:

Moreton Bay Regional

Legend:

Local Authority

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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HORIZONTAL MERIDIAN MGA ليستلينينا

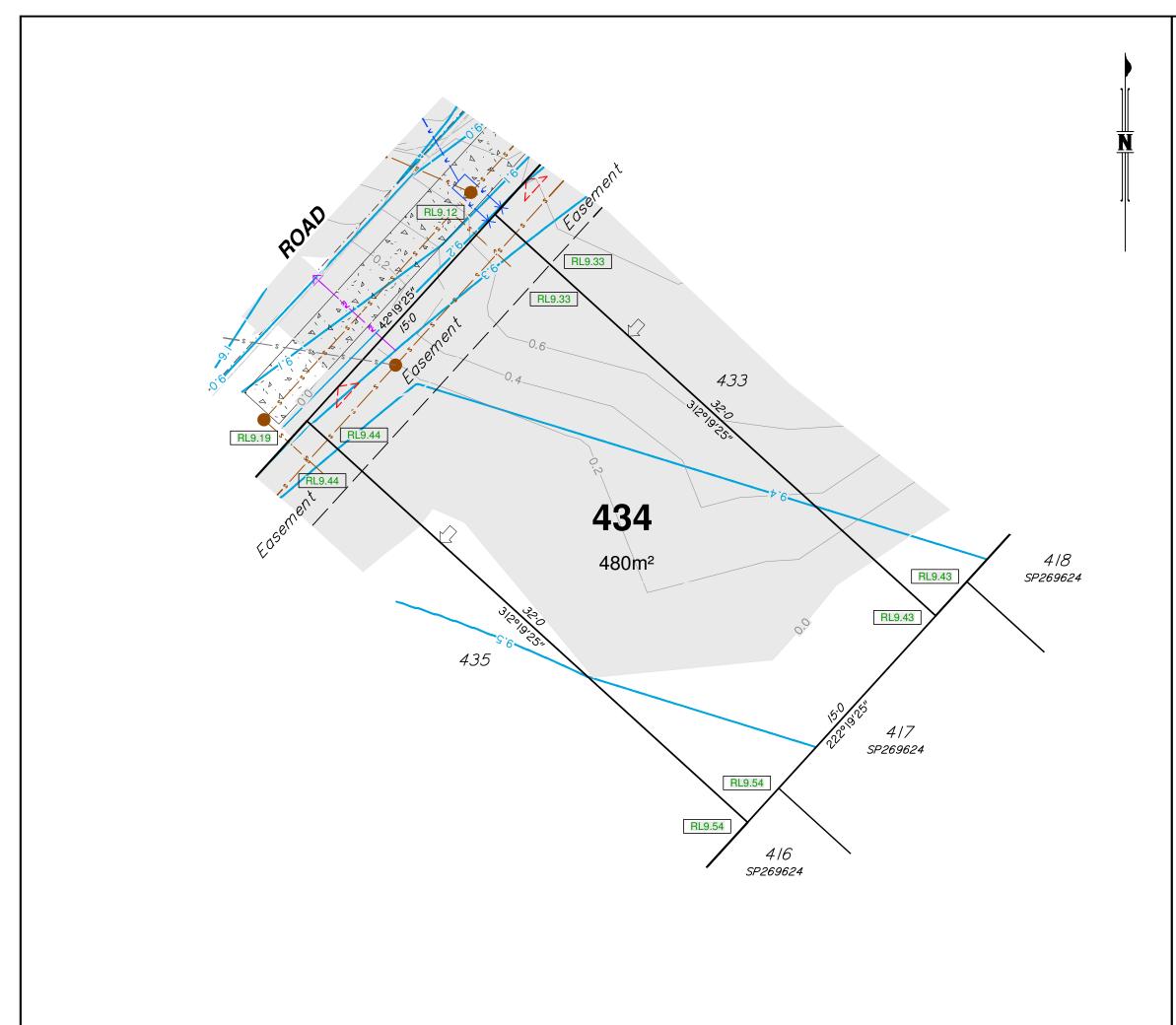
LEVEL DATUM AHD.

DATE DRAWN 24-01-2022

Scale 1:200

DRAWING NO. SB3594 2A-01-433

@A3



For Proposed Lot 434 Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329 Caboolture South Locality: Local Authority: Moreton Bay Regional

Legend:

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water Meter Area to be Filled RL57.32 Design Pad Level

Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Water/Water Fitting

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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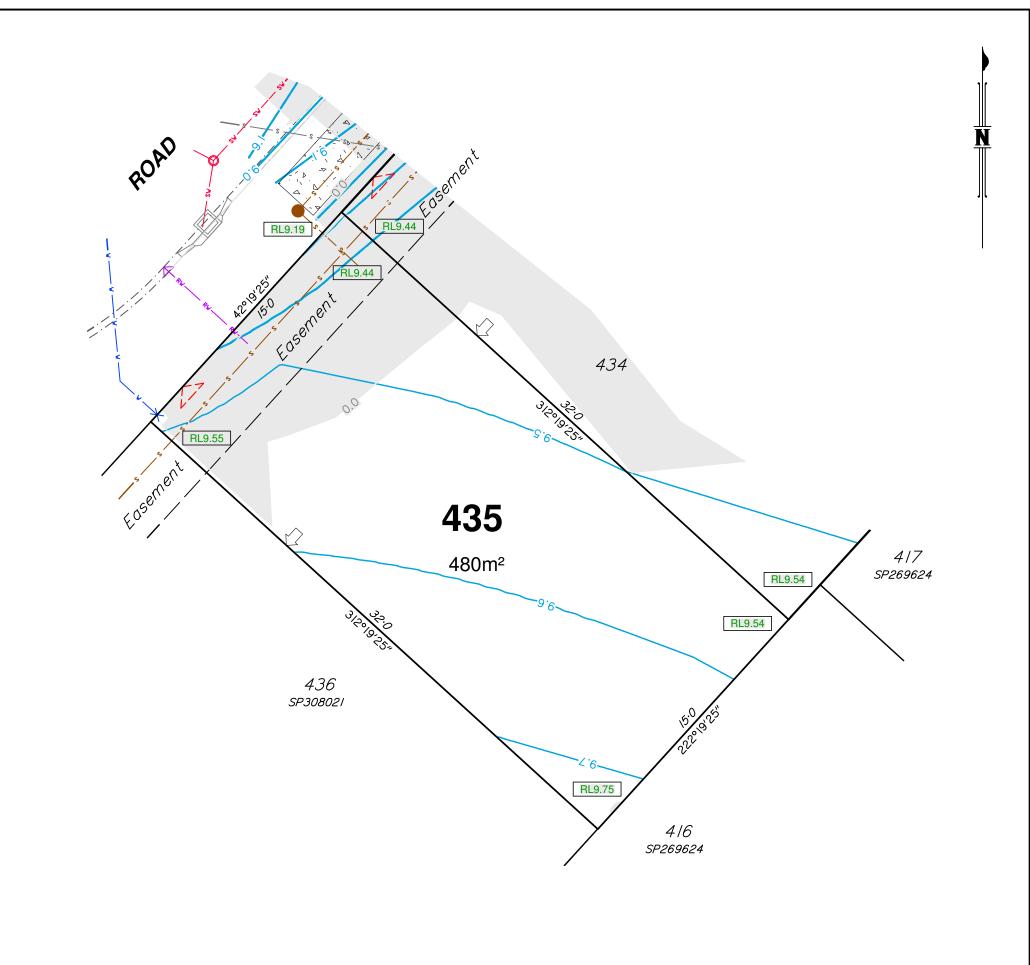


Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 24-01-2022

DRAWING NO. SB3594 2A-01-434



For Proposed Lot 435 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329 Caboolture South

Moreton Bay Regional

Legend:

Local Authority

Locality:

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Existing Sewer/Sewer Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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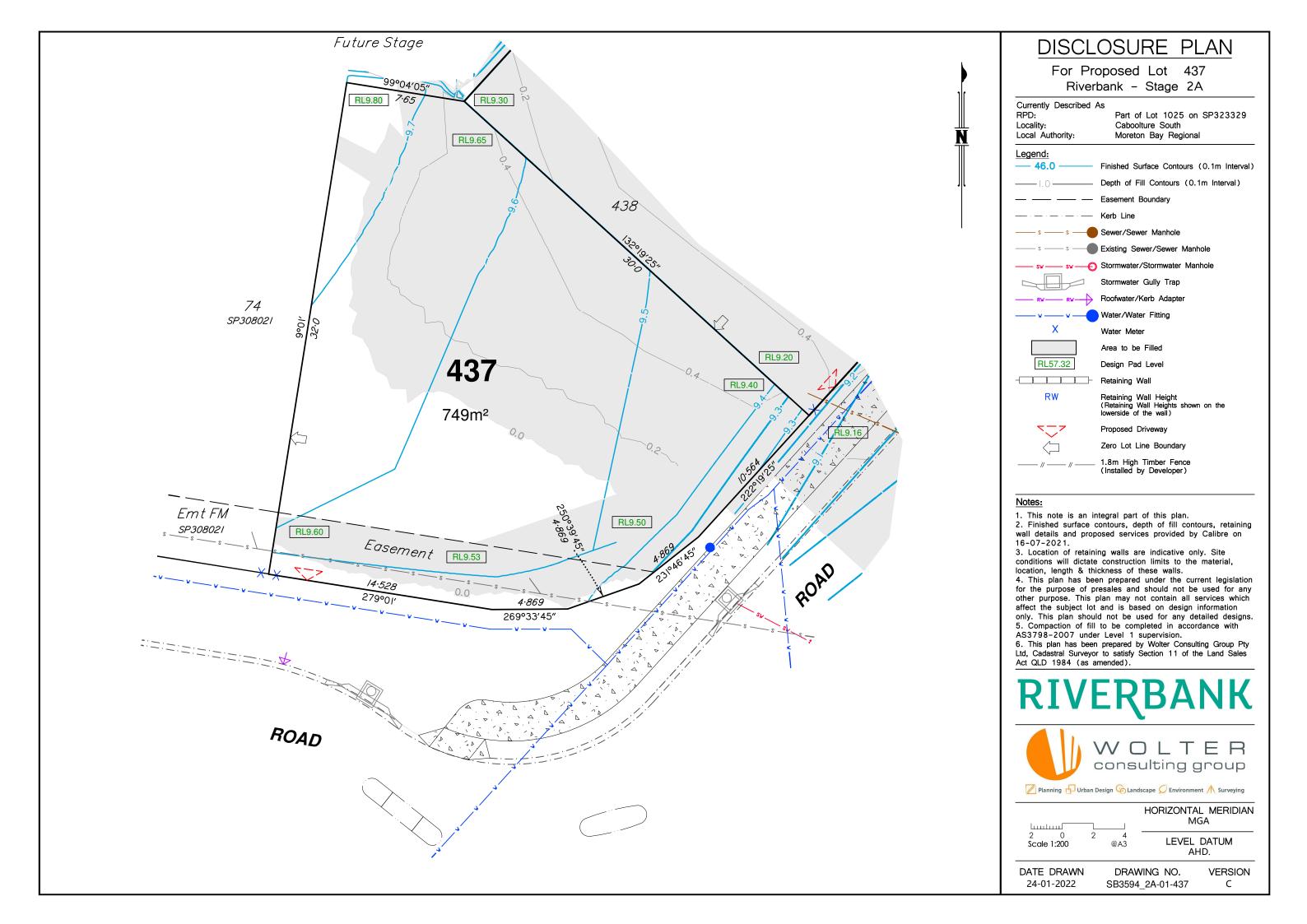
Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 24-01-2022

DRAWING NO. SB3594 2A-01-435





For Proposed Lot 438 Riverbank - Stage 2A

Currently Described As
RPD: Part of Lot 1025 on SP323329
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend: Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Stormwater/Stormwater Manhole

\_\_\_\_\_s \_\_\_\_s Sewer/Sewer Manhole \_\_\_\_\_s \_\_\_s Existing Sewer/Sewer Manhole

Stormwater Gully Trap

Rv Rv Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

\_\_\_\_\_\_ 1.8m High Timber Fence (Installed by Developer)

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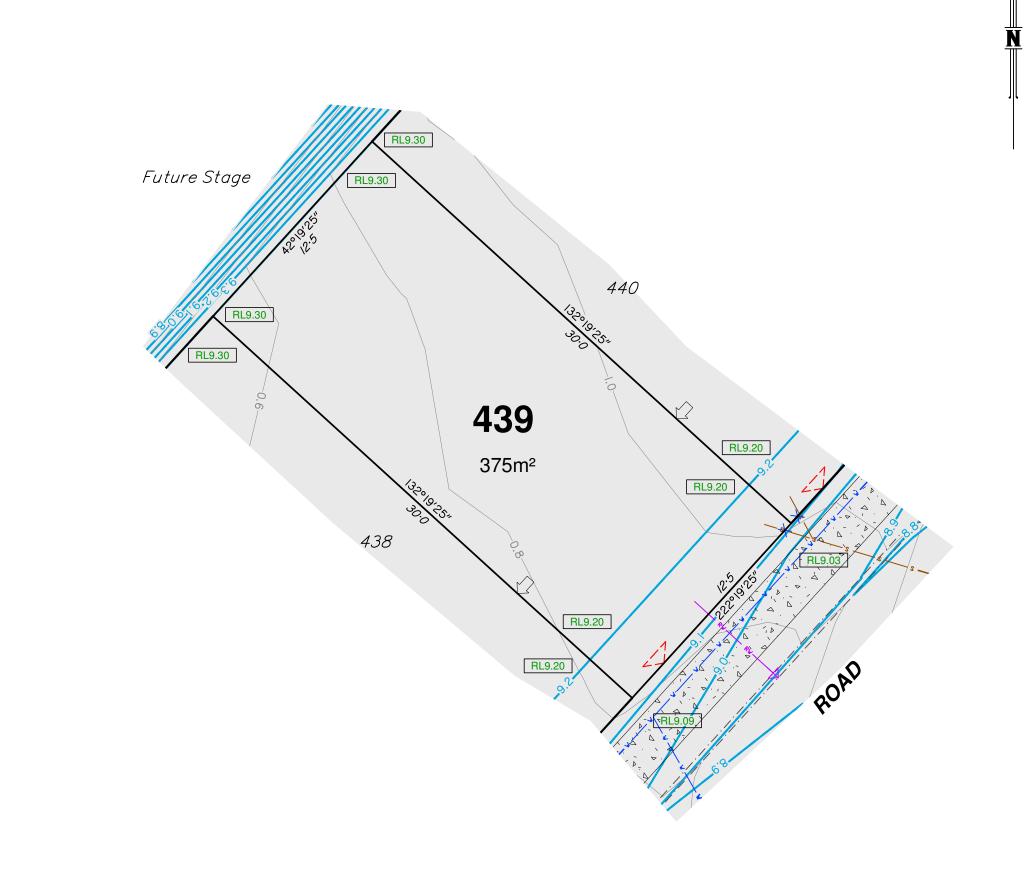
# RIVERBANK



HORIZONTAL MERIDIAN MGA

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Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594 2A-01-438



For Proposed Lot 439 Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329 Caboolture South Locality: Local Authority: Moreton Bay Regional Legend: Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Existing Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Water Meter Area to be Filled RL57.32 Design Pad Level 

- 1. This note is an integral part of this plan.
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Retaining Wall

Proposed Driveway

Zero Lot Line Boundary 1.8m High Timber Fence (Installed by Developer)

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

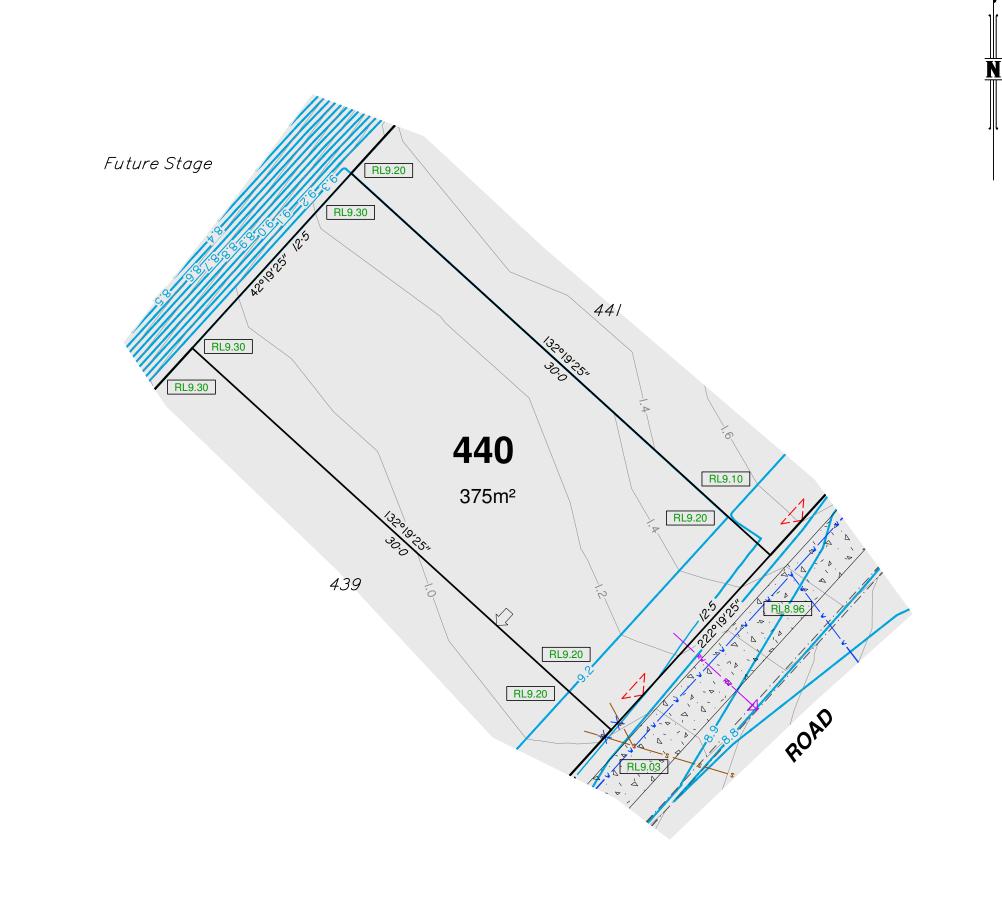
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LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-439



## For Proposed Lot 440 Riverbank - Stage 2A

Currently Described As
RPD: Part of Lot 1025 on SP323329
Locality: Caboolture South
Local Authority: Moreton Bay Regional

## Legend:

Finished Surface Contours (0.1m Interval)
 Depth of Fill Contours (0.1m Interval)

\_\_\_\_\_

---- Easement Boundary

\_\_ s \_\_\_\_s \_\_\_\_ Sewer/Sewer Manhole

\_\_\_ s \_\_\_\_s \_\_\_\_ Existing Sewer/Sewer Manhole

sv sv Stormwater/Stormwater Manhole
Stormwater Gully Trap

RV—RV—RV—ROofwater/Kerb Adapter

X Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Water/Water Fitting

### Notes

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# RIVERBANK



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HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-440



## For Proposed Lot 441 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329 Caboolture South

Moreton Bay Regional

### Legend:

Local Authority

Locality:

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

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Proposed Driveway

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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# RIVERBANK



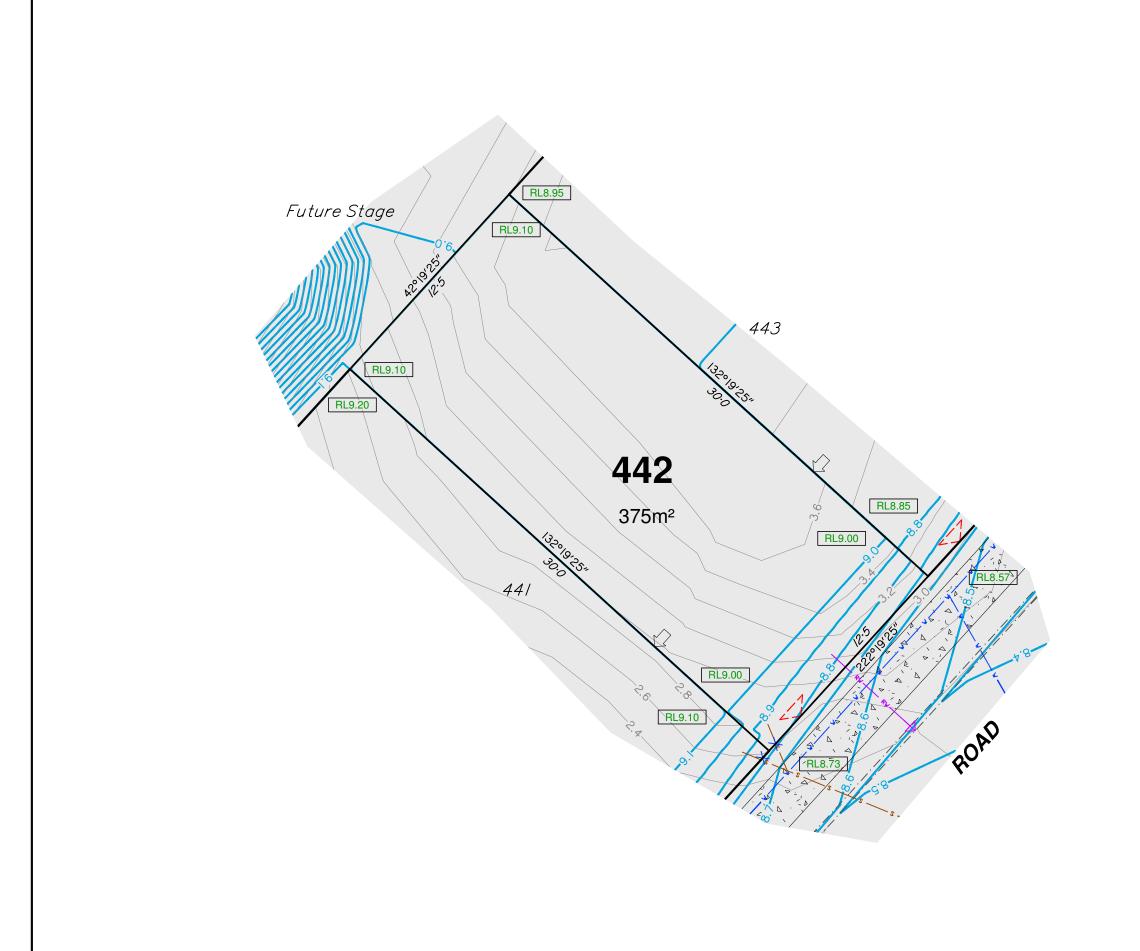
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-441



## For Proposed Lot 442 Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329 Caboolture South Locality: Local Authority: Moreton Bay Regional

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Water Meter Area to be Filled RL57.32 Design Pad Level

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Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

Proposed Driveway

1.8m High Timber Fence (Installed by Developer)

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Legend:

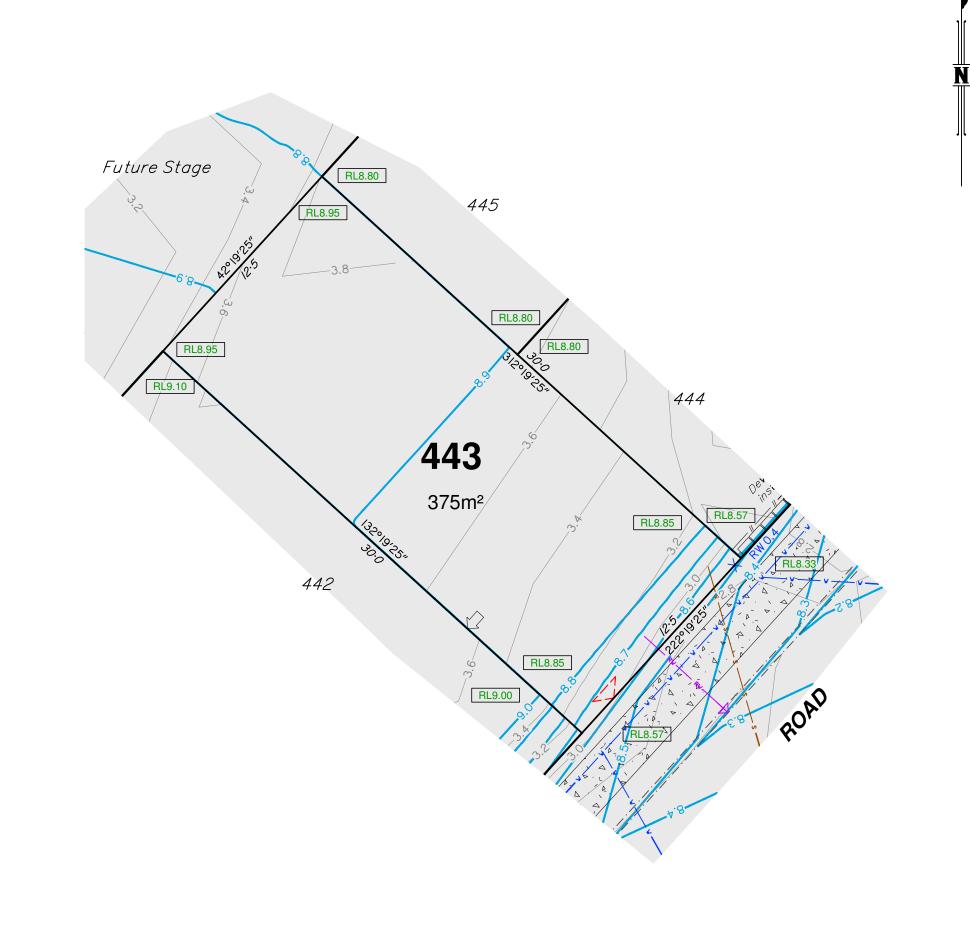
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HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN DRAWING NO. **VERSION** 26-10-2021 SB3594 2A-01-442



For Proposed Lot 443 Riverbank - Stage 2A

Currently Described As

Part of Lot 1025 on SP323329 Caboolture South Locality:

Moreton Bay Regional

### Legend:

Local Authority:

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

Easement Boundary

Sewer/Sewer Manhole

Existing Sewer/Sewer Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
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- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



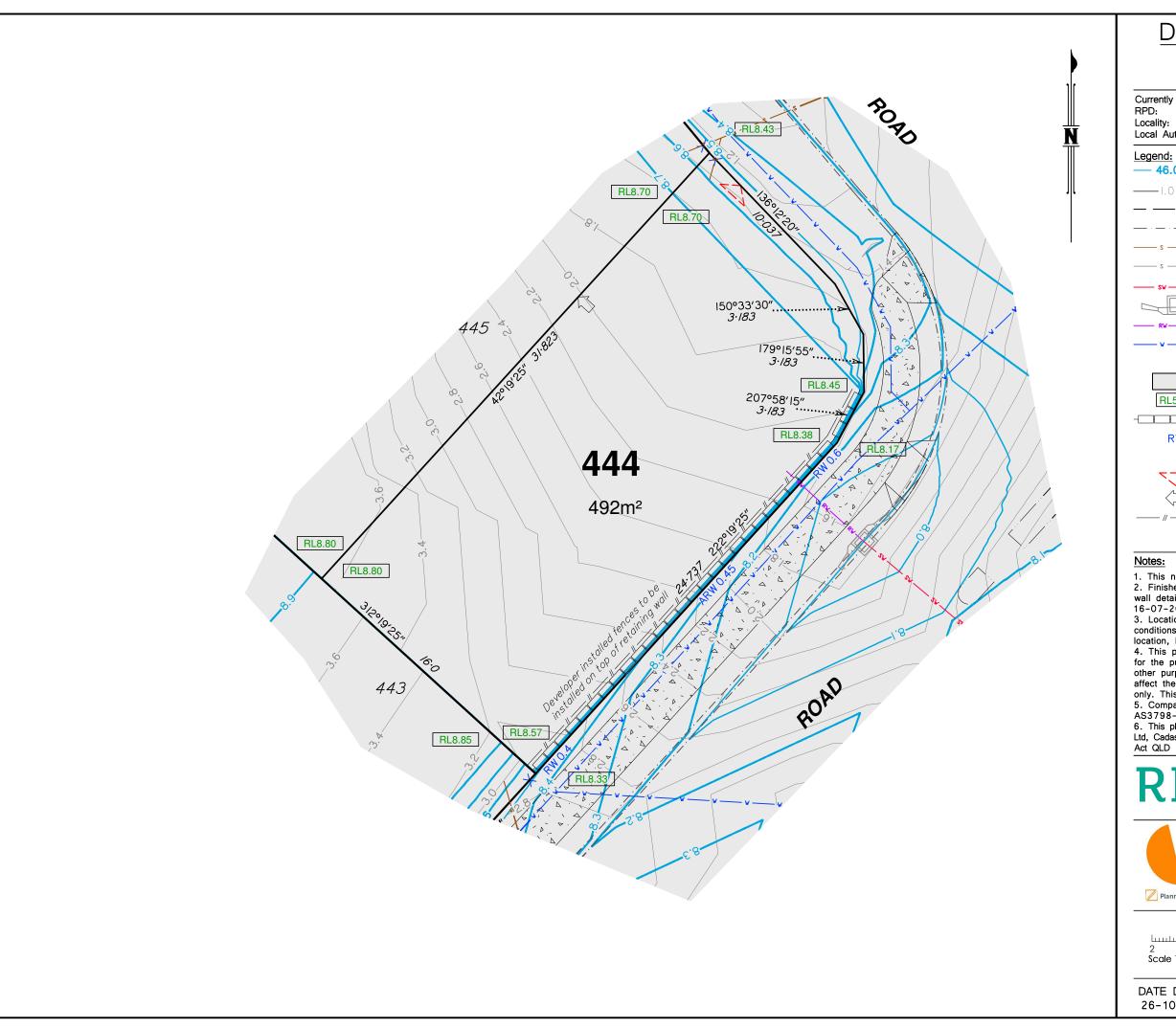
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-443



For Proposed Lot 444 Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329 Caboolture South Local Authority Moreton Bay Regional Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Existing Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Water Meter Area to be Filled RL57.32 Design Pad Level Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 16-07-2021.

1.8m High Timber Fence (Installed by Developer)

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ليستلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 26-10-2021

DRAWING NO. SB3594 2A-01-444



For Proposed Lot 445 Riverbank - Stage 2A

Currently Described As RPD: Part of Lot 1025 on SP323329 Caboolture South Moreton Bay Regional

Legend:

Legend: Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Existing Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Water Meter Area to be Filled RL57.32 Design Pad Level Retaining Wall Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

### Notes:

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# RIVERBANK



HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594 2A-01-445