

DISCLOSURE PLAN

For Proposed Lot 427
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s Sewer/Sewer Manhole
 - s — s Existing Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv Roofwater/Kerb Adapter
 - v — v Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 - // — // 1.8m High Timber Fence (Installed by Developer)

- Notes:**
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.


 Scale 1:200 @A3

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-427 VERSION B



DISCLOSURE PLAN

For Proposed Lot 429
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay Regional

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 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - · - · - · - Kerb Line
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 - s — s — Existing Sewer/Sewer Manhole
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 -  Stormwater Gully Trap
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 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
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RIVERBANK



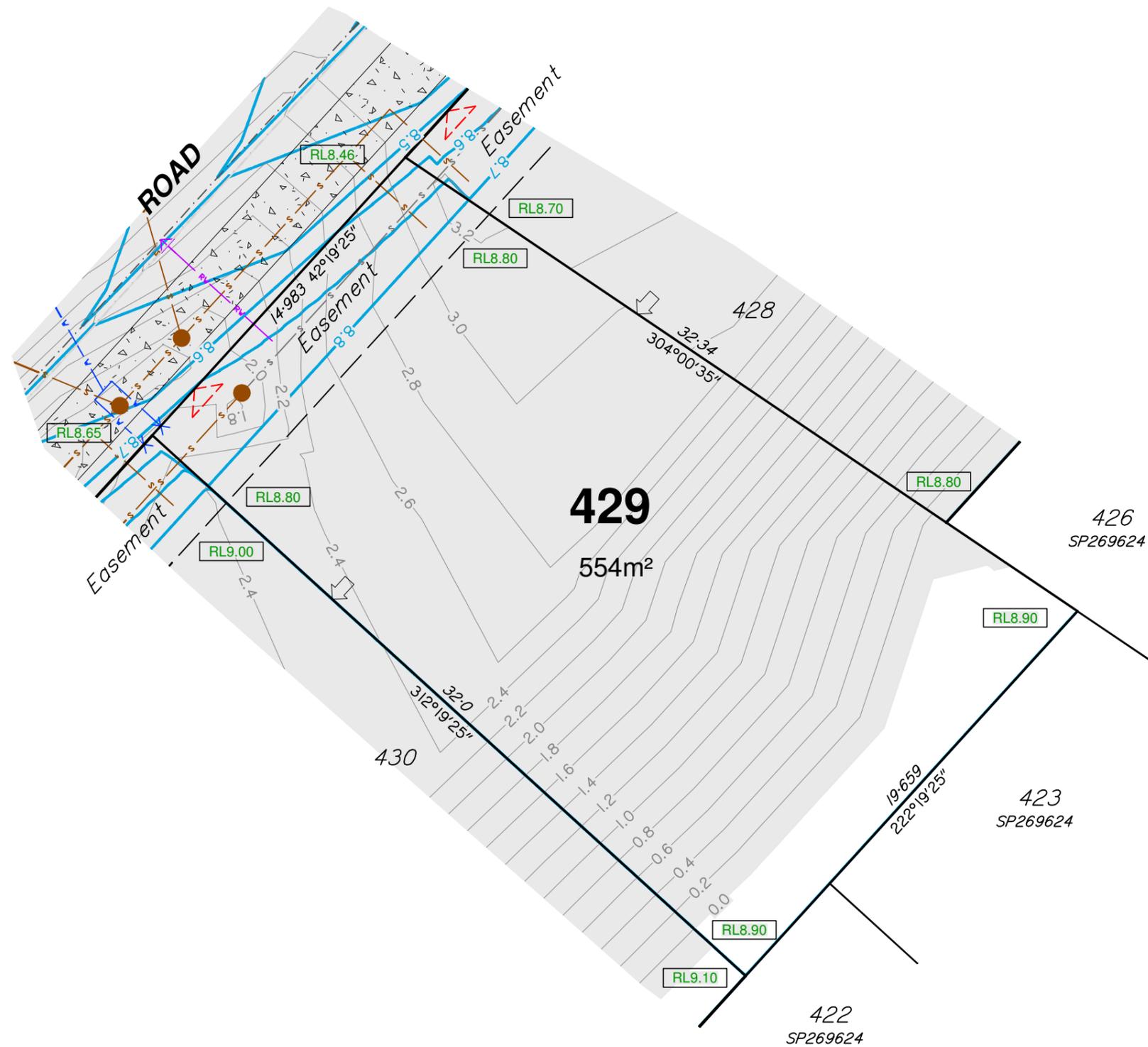
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA


 Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-429 VERSION B



DISCLOSURE PLAN

For Proposed Lot 430
Riverbank - Stage 2A

Currently Described As
RPD: Part of Lot 1025 on SP323329
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Existing Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Kerb Adapter
		Water/Water Fitting
		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)

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Planning
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-430 VERSION B



DISCLOSURE PLAN

For Proposed Lot 431
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Existing Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
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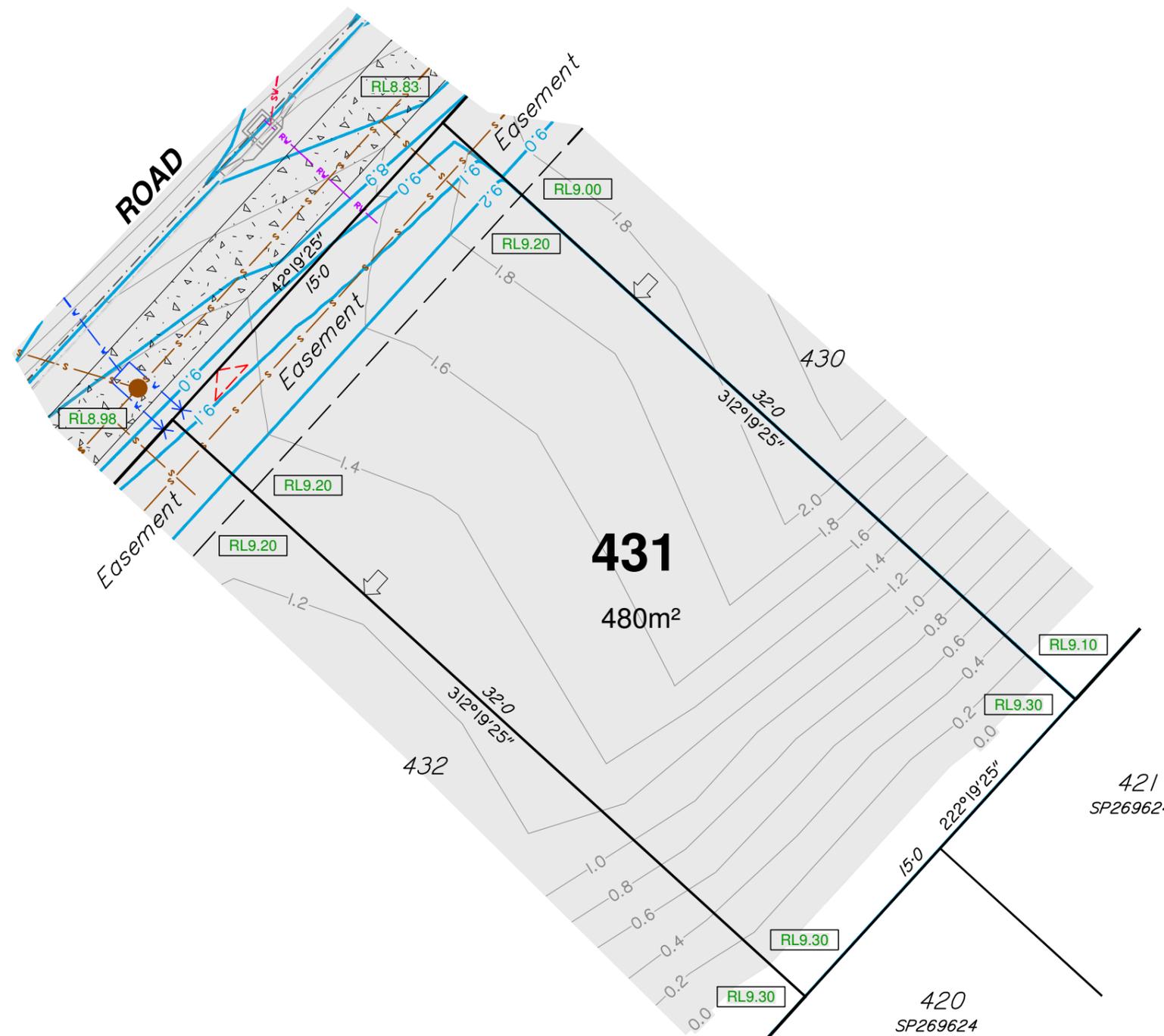
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-431 VERSION B



DISCLOSURE PLAN

For Proposed Lot 432
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Existing Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
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	Proposed Driveway
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 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 24-01-2022 DRAWING NO. SB3594_2A-01-432 VERSION C



DISCLOSURE PLAN

For Proposed Lot 433
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Existing Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



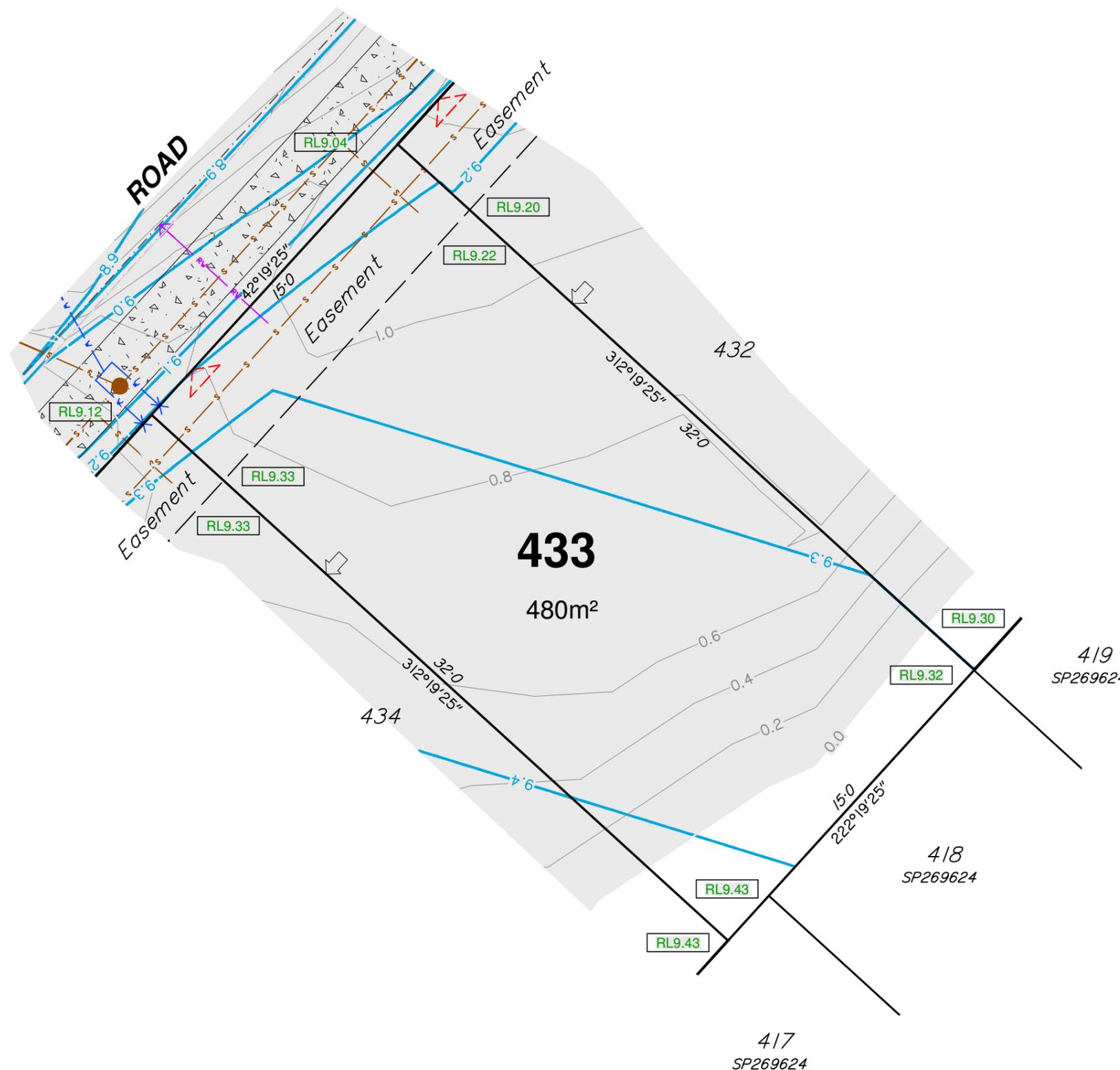
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 24-01-2022	DRAWING NO. SB3594_2A-01-433	VERSION C
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DISCLOSURE PLAN

For Proposed Lot 434
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - · - · - · - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - s — s — Existing Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - // // 1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



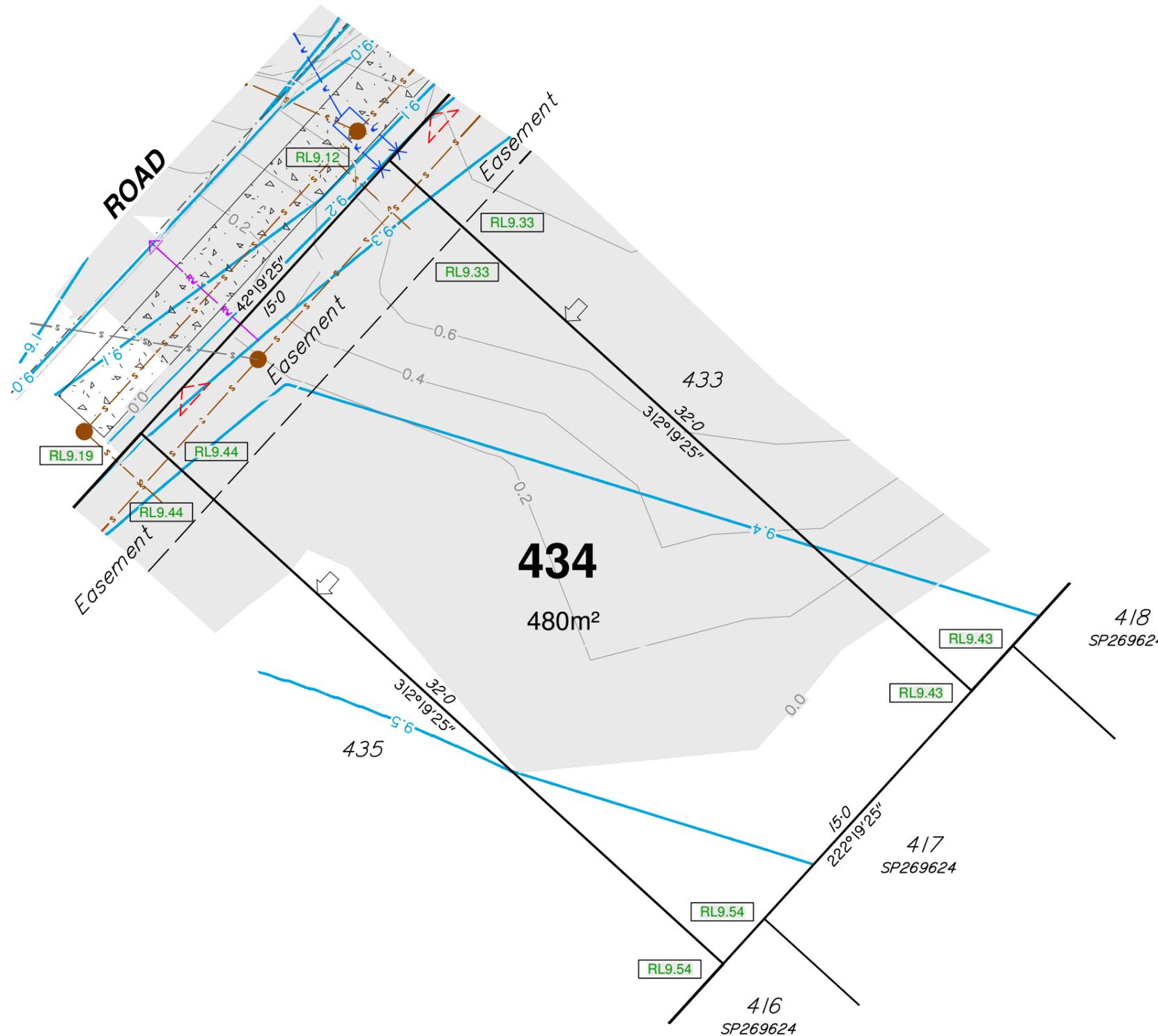
▣ Planning
 ▣ Urban Design
 ▣ Landscape
 ▣ Environment
 ▣ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 24-01-2022 DRAWING NO. SB3594_2A-01-434 VERSION C



DISCLOSURE PLAN

For Proposed Lot 435
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - s — s — Existing Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
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RIVERBANK



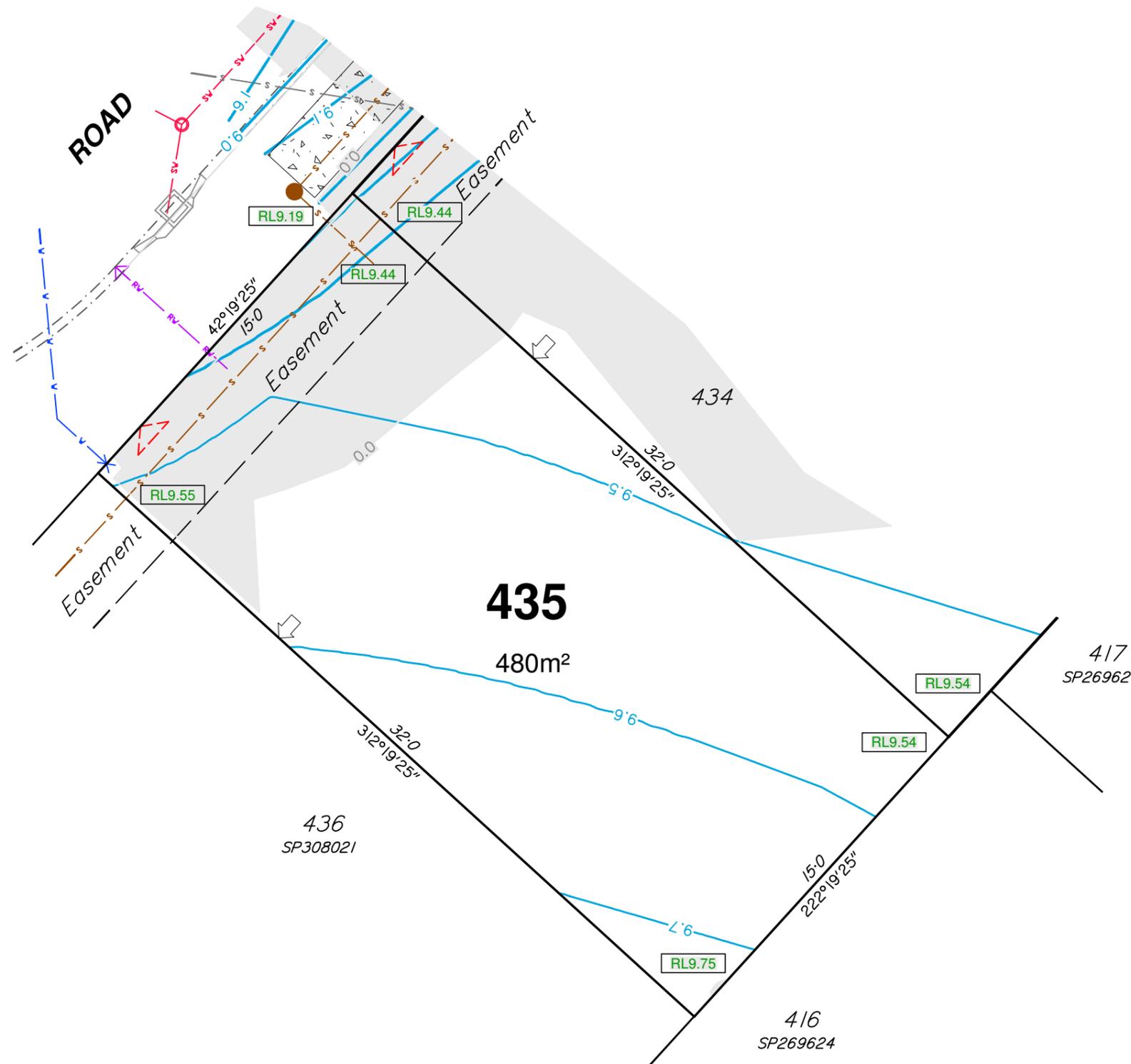
■ Planning
 ■ Urban Design
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 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

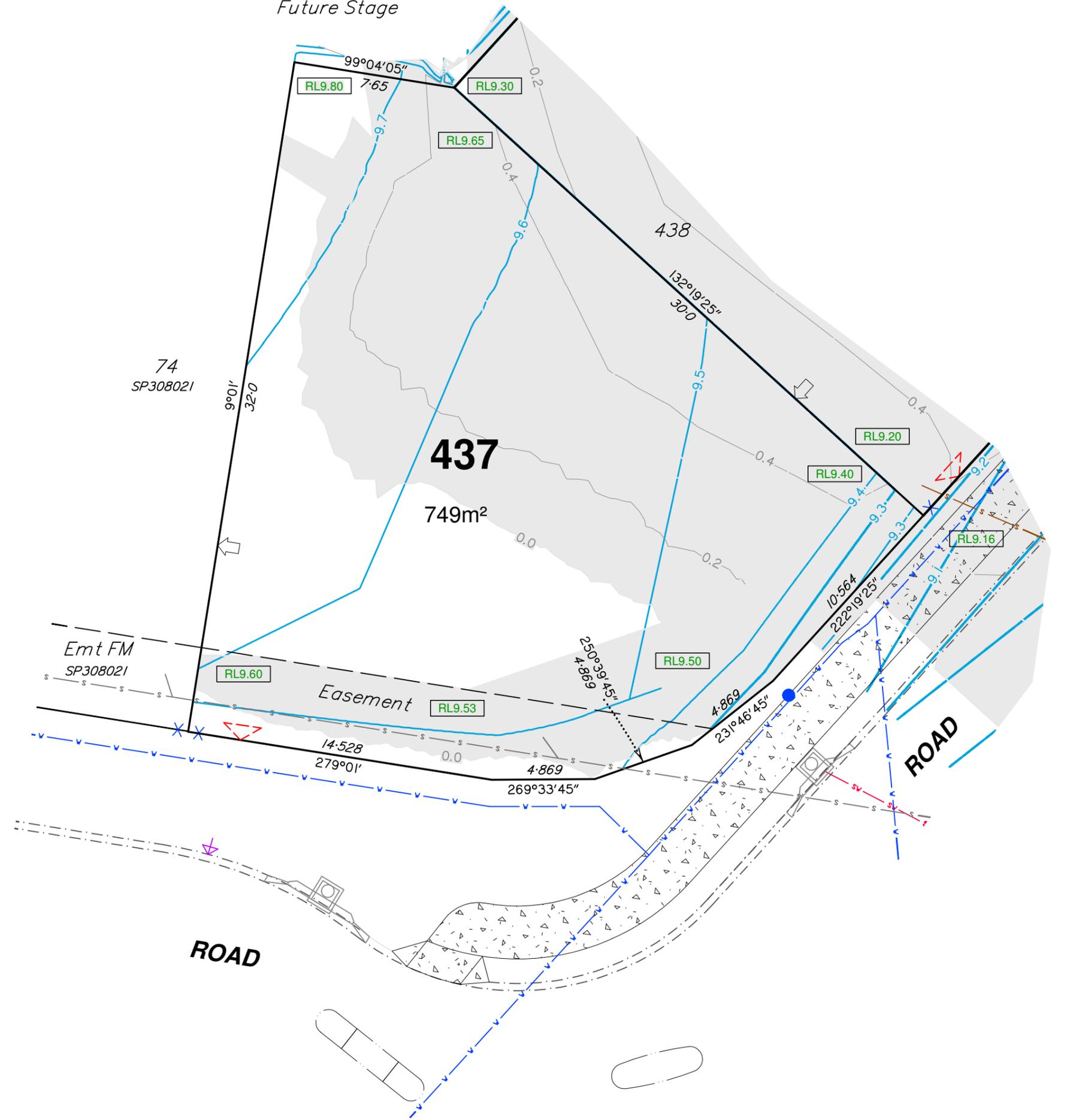
LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 24-01-2022 DRAWING NO. SB3594_2A-01-435 VERSION C



Future Stage



DISCLOSURE PLAN

For Proposed Lot 437
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay Regional

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 - - - - - Easement Boundary
 - - - - - Kerb Line
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 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

DATE DRAWN 24-01-2022 DRAWING NO. SB3594_2A-01-437 VERSION C

DISCLOSURE PLAN

For Proposed Lot 438
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
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 - - - - - Kerb Line
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 - s — s — Existing Sewer/Sewer Manhole
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 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
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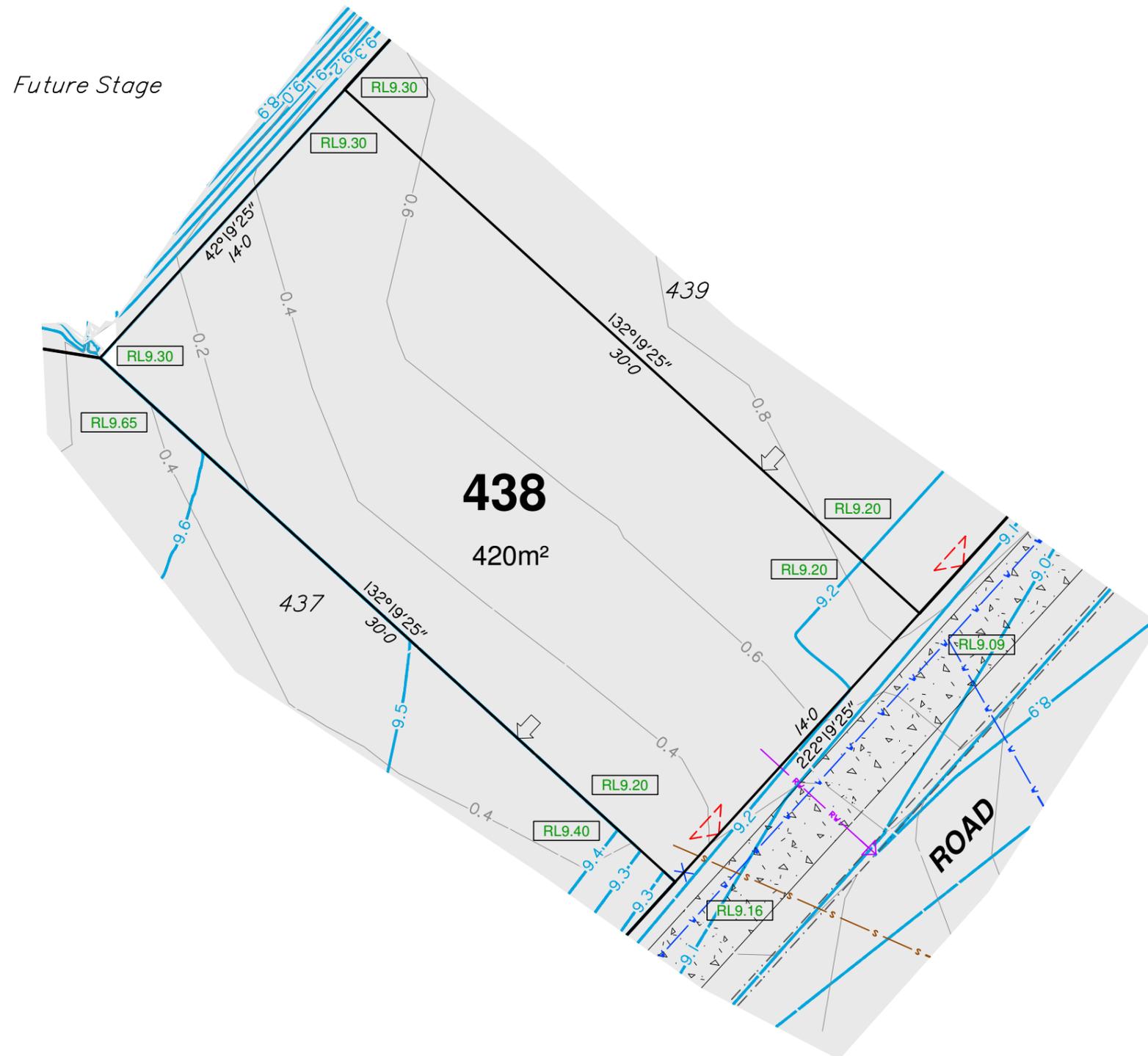
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-438 VERSION B



DISCLOSURE PLAN

For Proposed Lot 439
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

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- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- s — s — Existing Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- RL9.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
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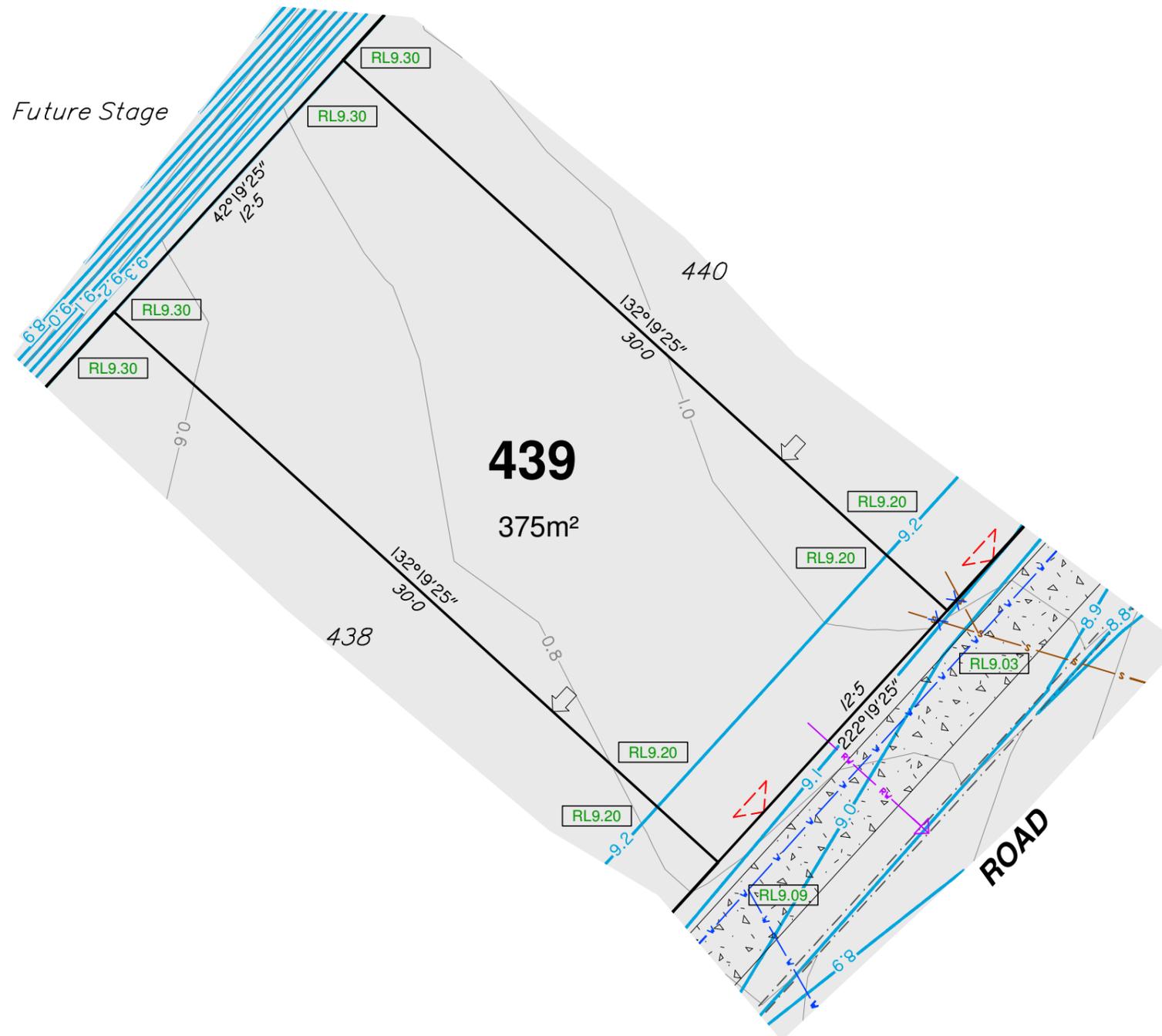


📐 Planning
 🏡 Urban Design
 🌿 Landscape
 🌍 Environment
 📏 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-439 VERSION B



DISCLOSURE PLAN

For Proposed Lot 440
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

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 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - △ Proposed Driveway
 - ← Zero Lot Line Boundary
 - // // 1.8m High Timber Fence (Installed by Developer)

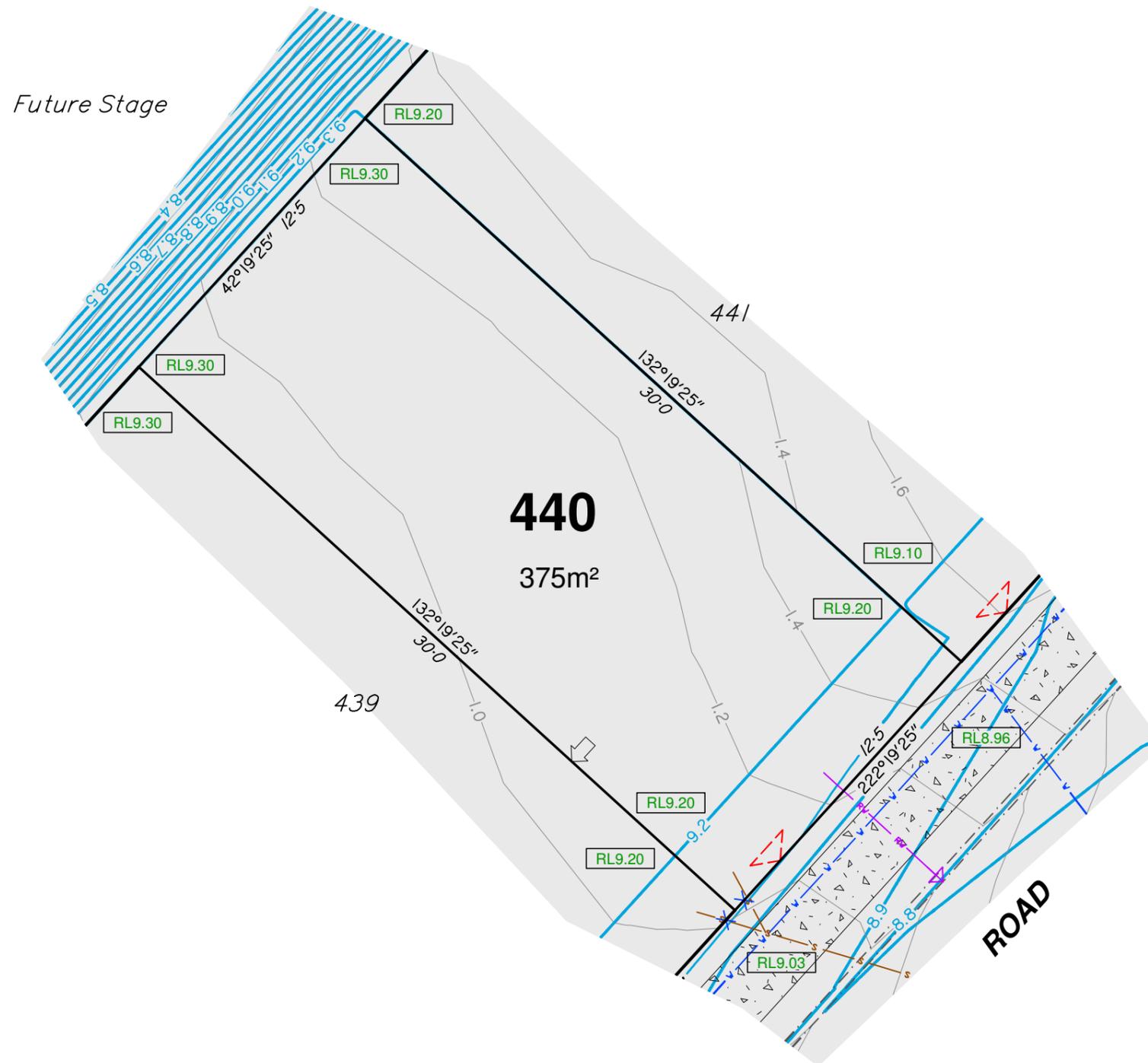
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HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-440 VERSION B



DISCLOSURE PLAN

For Proposed Lot 442
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay Regional

Legend:

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
	Sewer/Sewer Manhole
	Existing Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

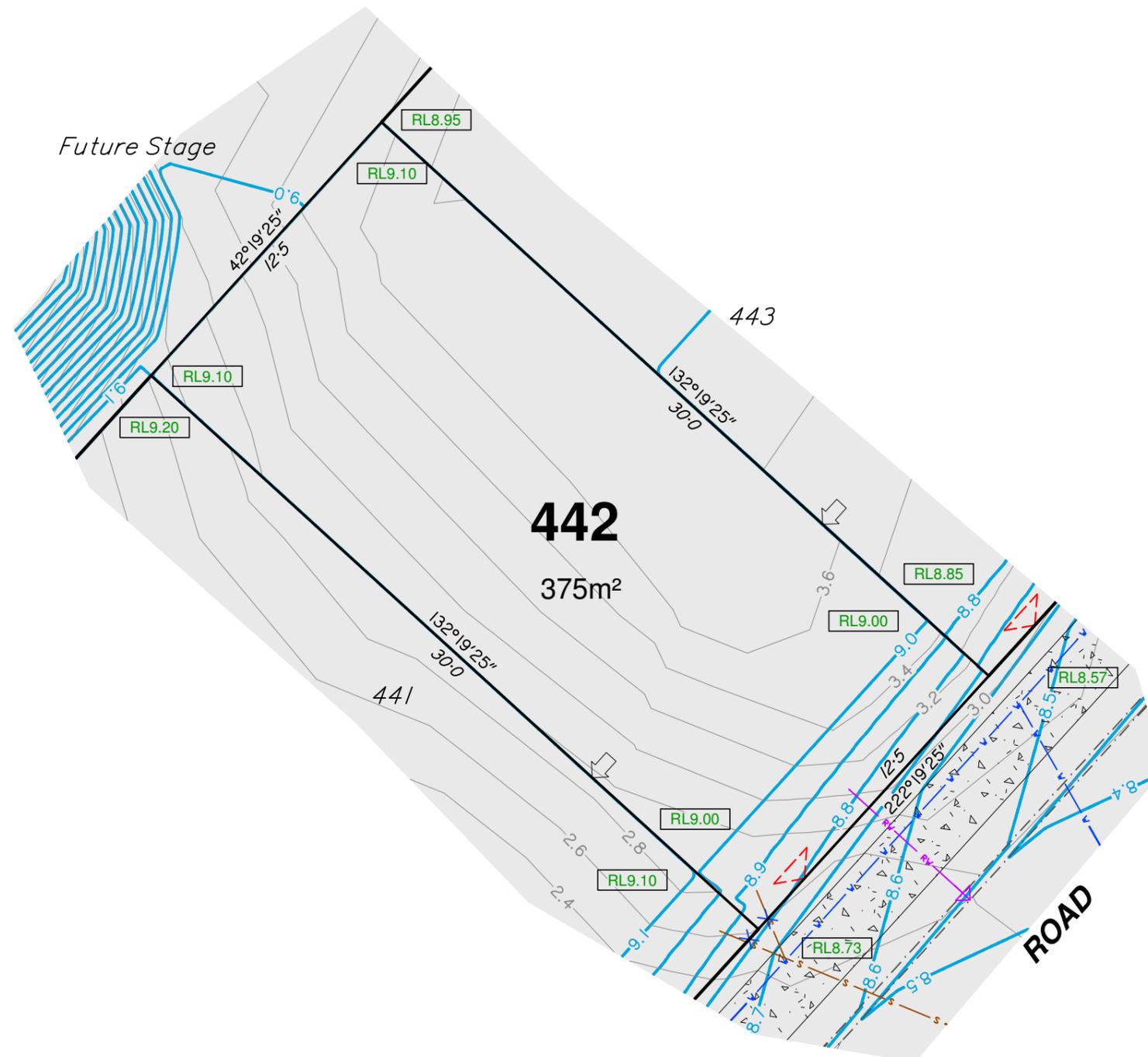
RIVERBANK



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HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-442 VERSION B



DISCLOSURE PLAN

For Proposed Lot 443
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
 RPD: Caboolture South
 Locality: Caboolture South
 Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - s — s — Existing Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 16-07-2021.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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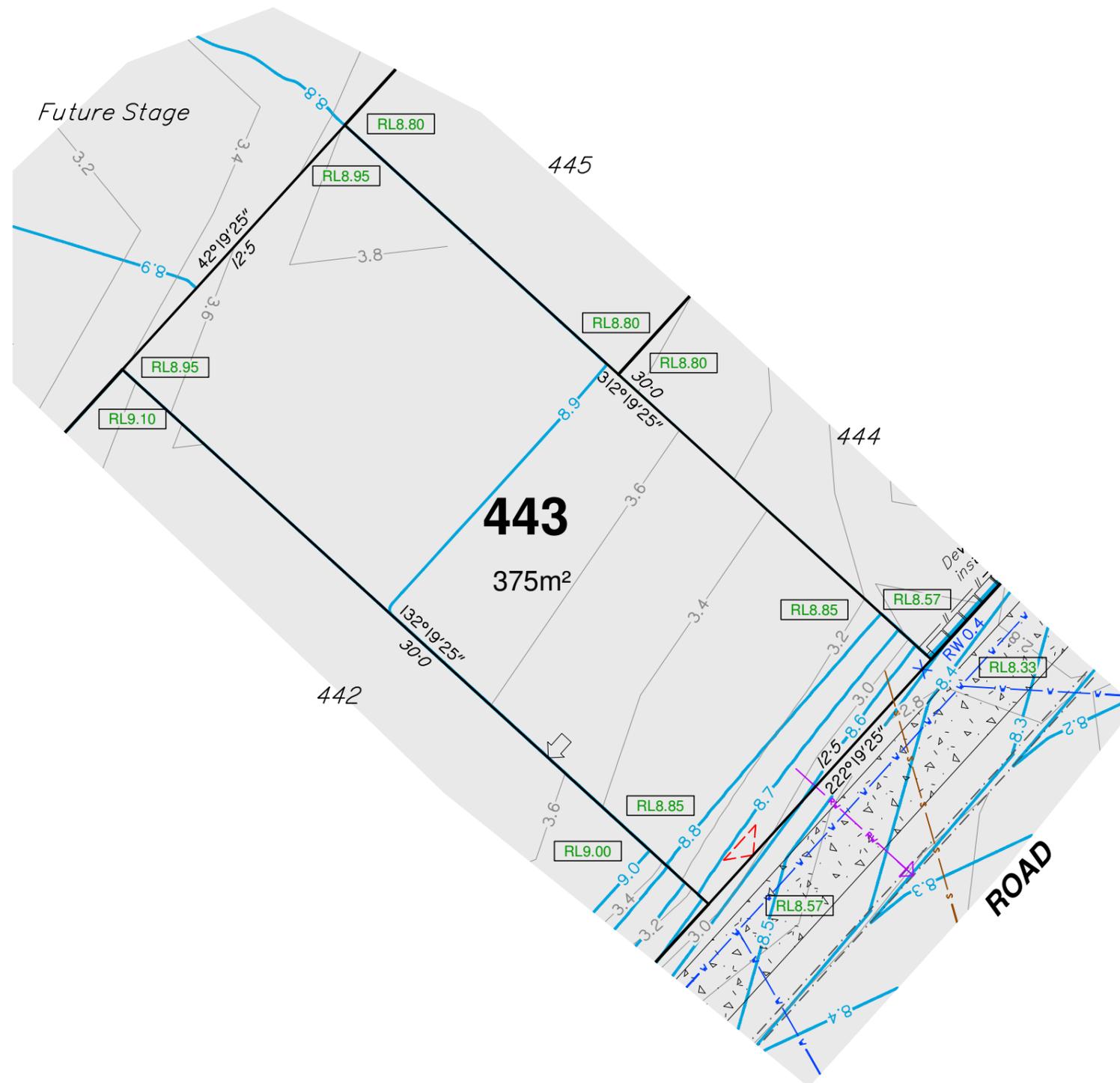
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HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 26-10-2021 DRAWING NO. SB3594_2A-01-443 VERSION B



DISCLOSURE PLAN

For Proposed Lot 445
Riverbank - Stage 2A

Currently Described As Part of Lot 1025 on SP323329
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Existing Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
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