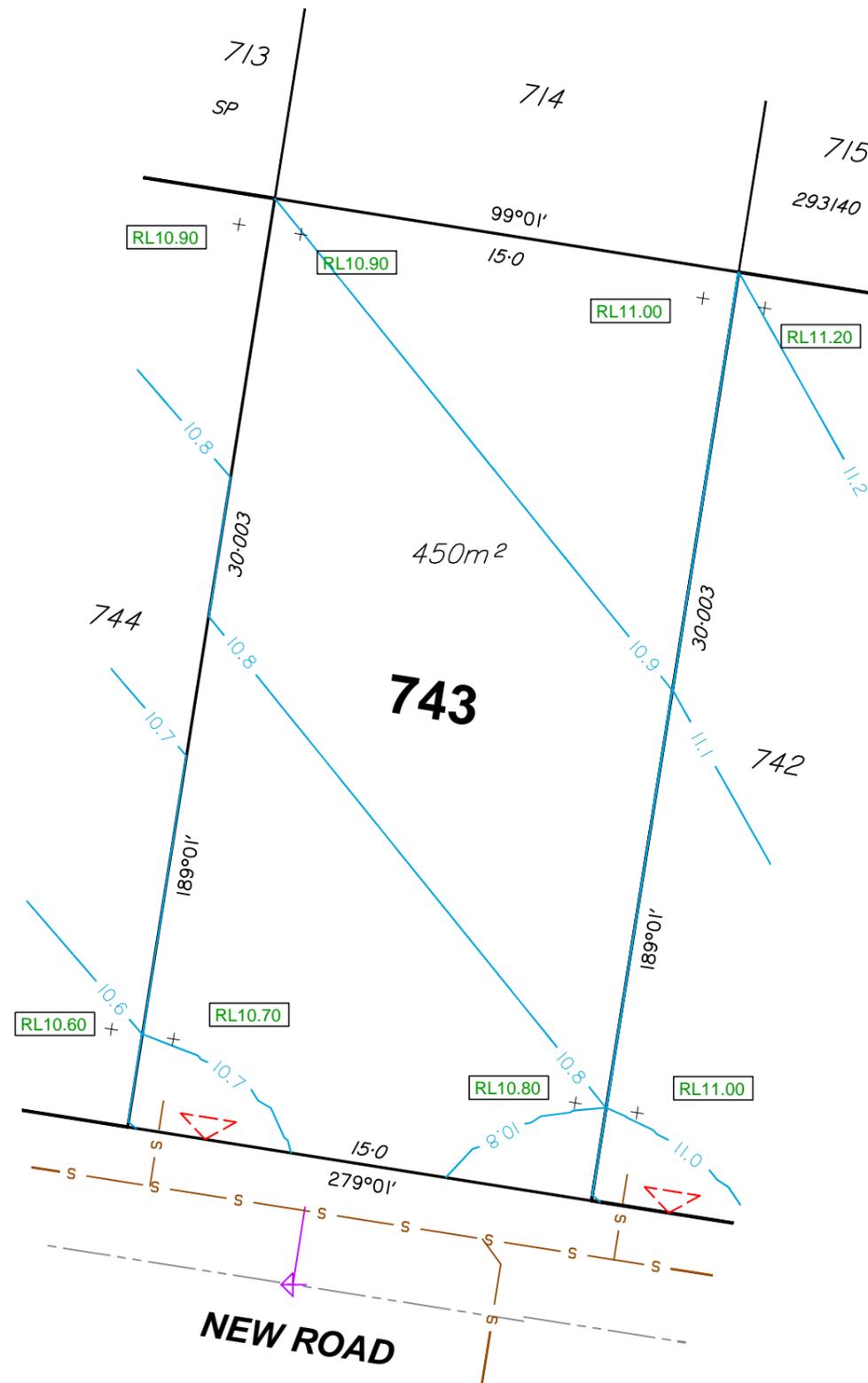


DISCLOSURE PLAN

For Proposed Lot 743
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-743 VERSION B

DISCLOSURE PLAN

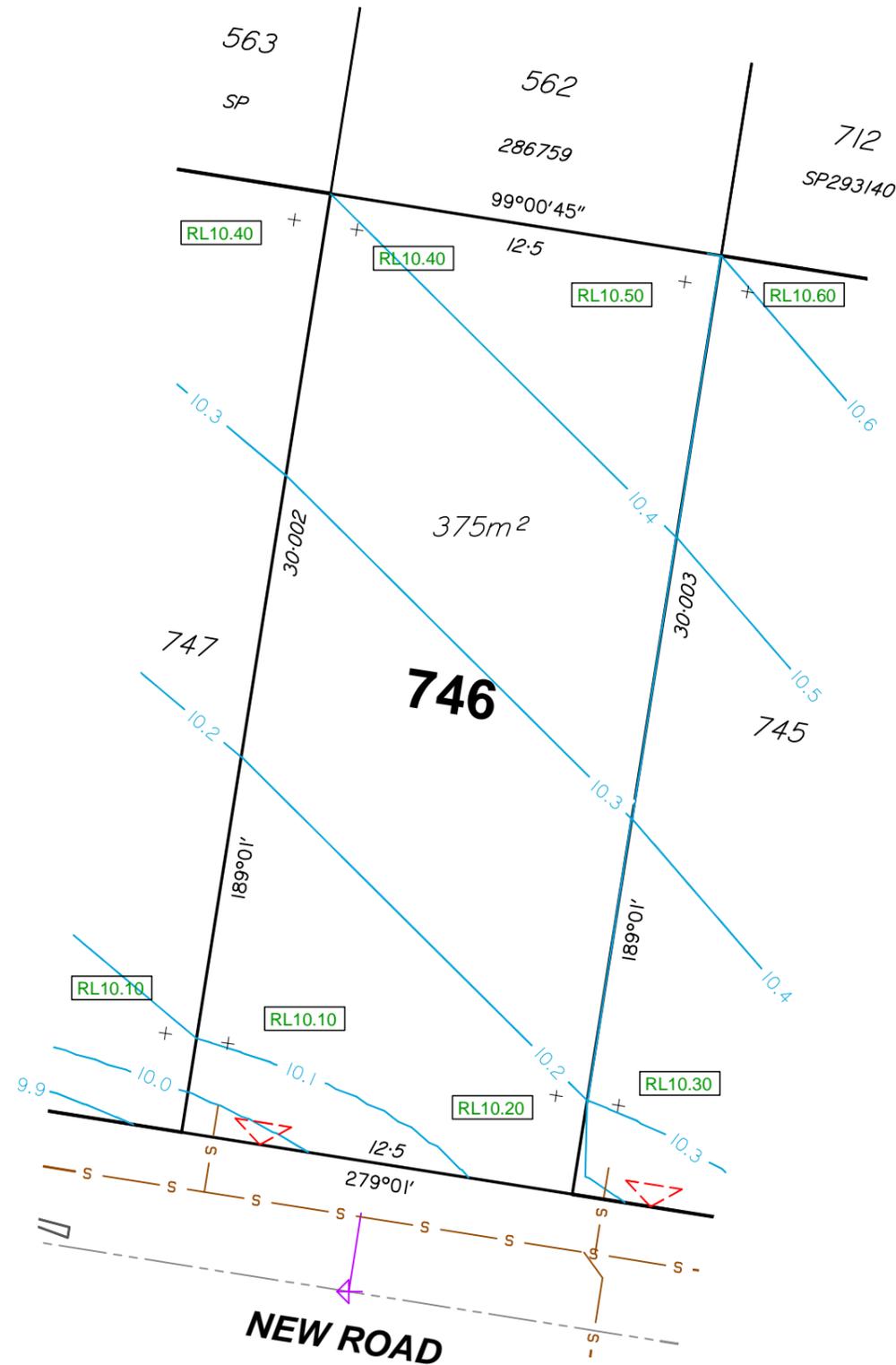
For Proposed Lot 746
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SW	Stormwater/Stormwater Manhole
	AS	Stormwater Gully Trap
	RW	Roofwater/Roofwater Pit
		Kerb Adapter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	// //	Developer installed timber acoustic fence
		Proposed Driveway
		Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - Builders shall not build off the design levels shown; a site survey is required.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-746 VERSION B

DISCLOSURE PLAN

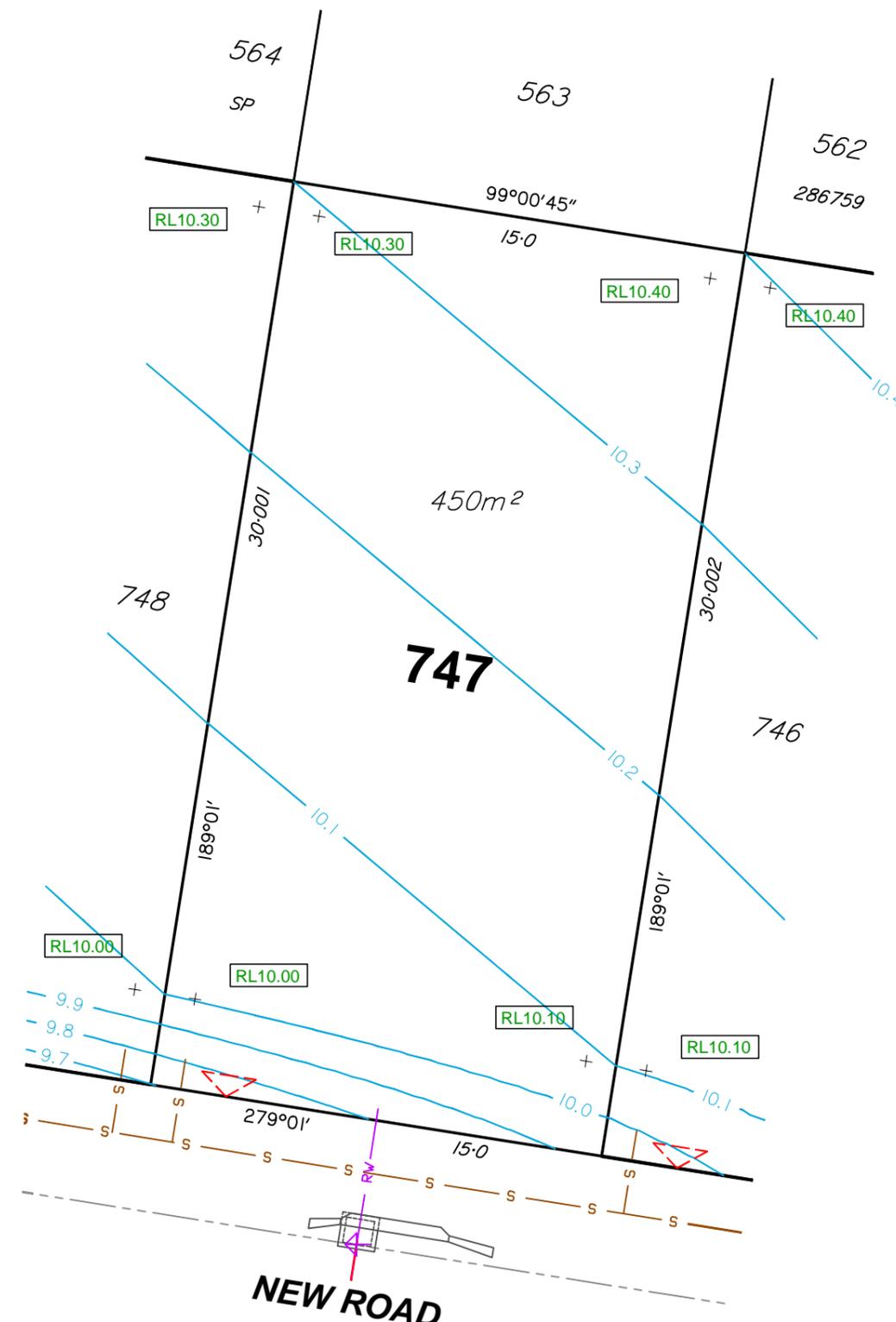
For Proposed Lot 747
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SW	Stormwater/Stormwater Manhole
	AS	Stormwater Gully Trap
	RW	Roofwater/Roofwater Pit
		Kerb Adapter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	// //	Developer installed timber acoustic fence
		Proposed Driveway
		Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017	DRAWING NO. SB3594-09-747	VERSION B
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DISCLOSURE PLAN

For Proposed Lot 748
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - AS Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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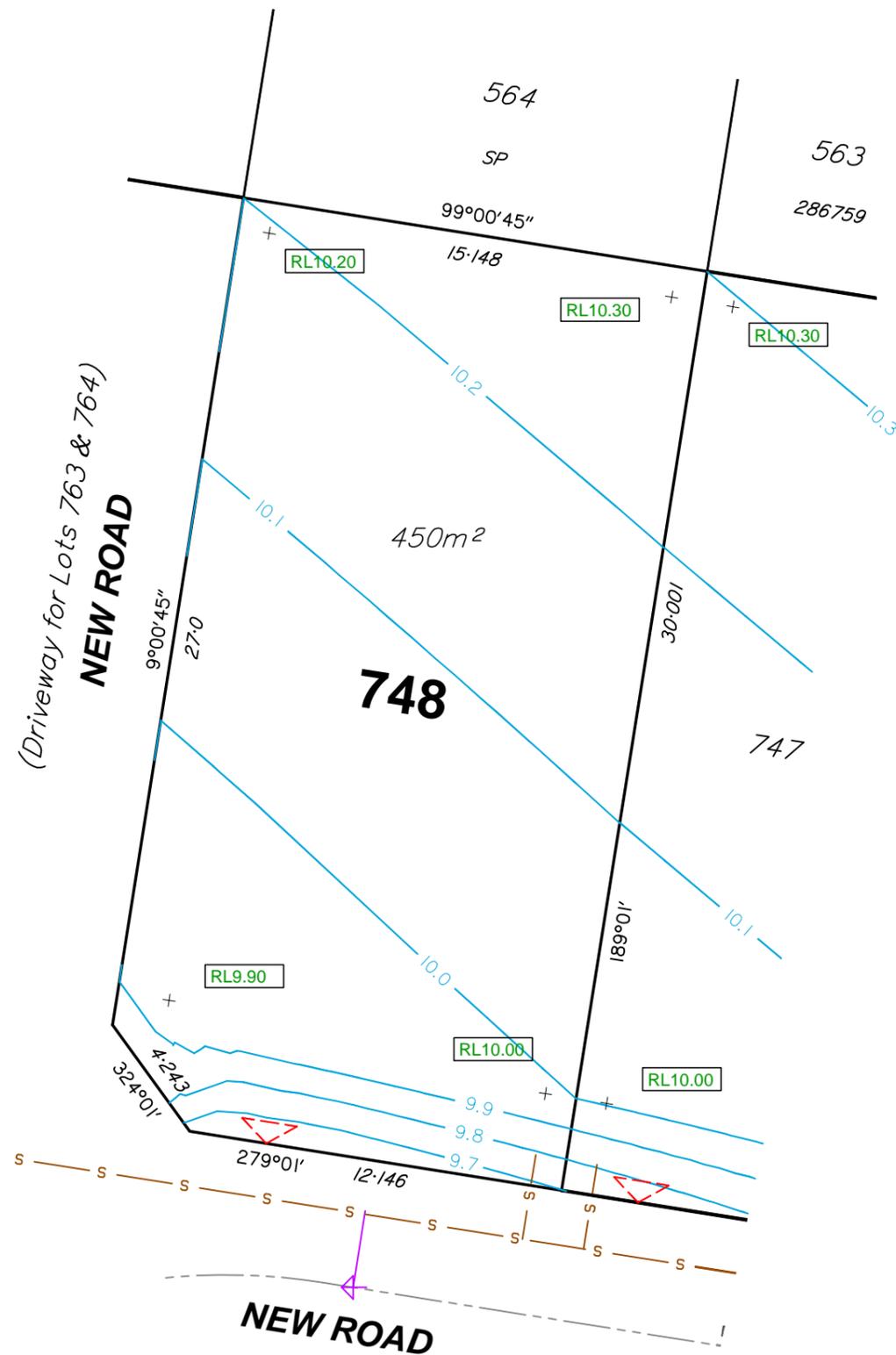
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017
DRAWING NO. SB3594-09-748
VERSION B

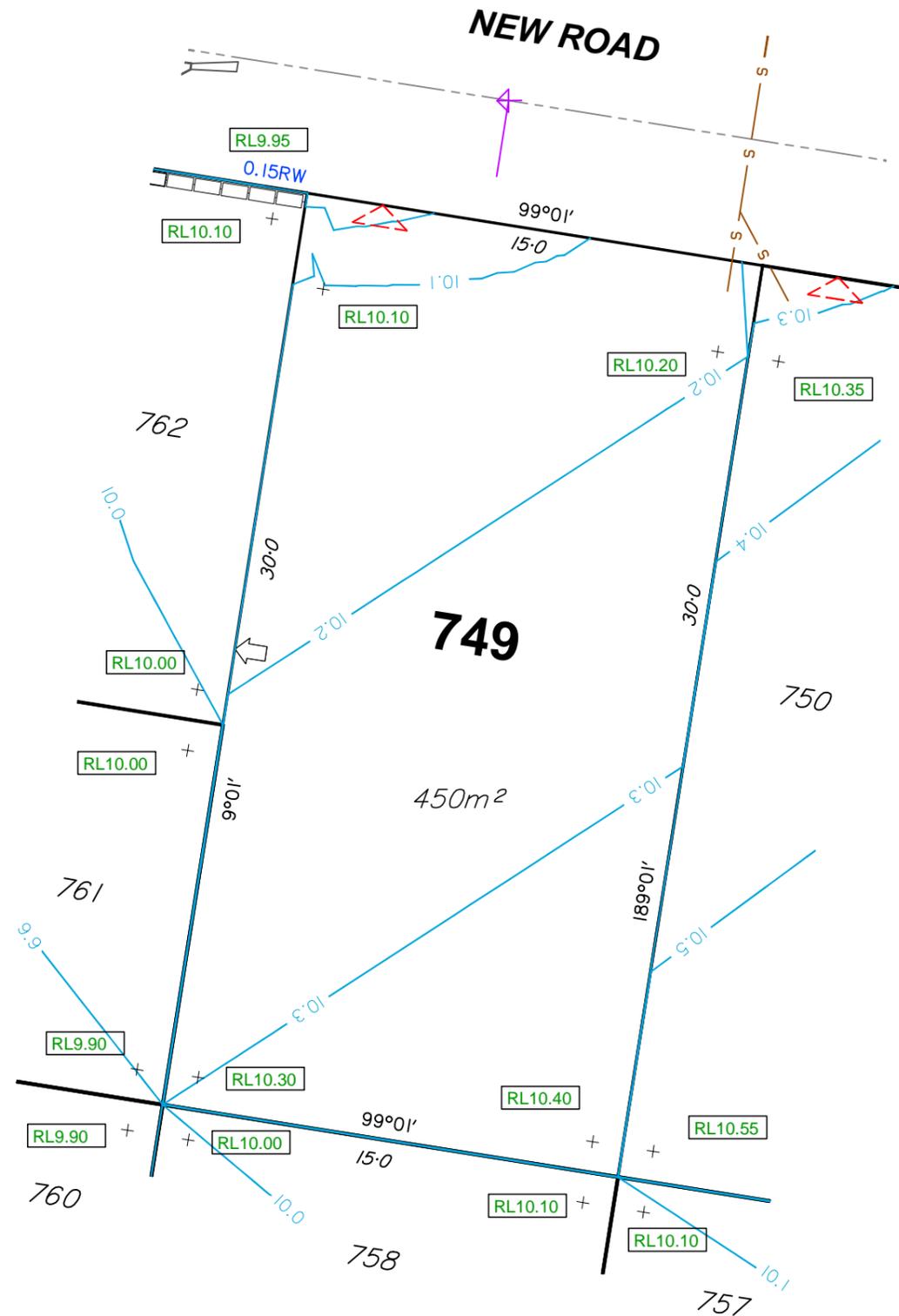


DISCLOSURE PLAN

For Proposed Lot 749
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - AS Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - ◀ Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - ◀ Proposed Driveway
 - ◀ Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017
DRAWING NO. SB3594-09-749
VERSION B

DISCLOSURE PLAN

For Proposed Lot 750
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SW	Stormwater/Stormwater Manhole
	AS	Stormwater Gully Trap
	RW	Roofwater/Roofwater Pit
		Kerb Adapter
		Area to be Filled
	+ RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Developer installed timber acoustic fence
		Proposed Driveway
		Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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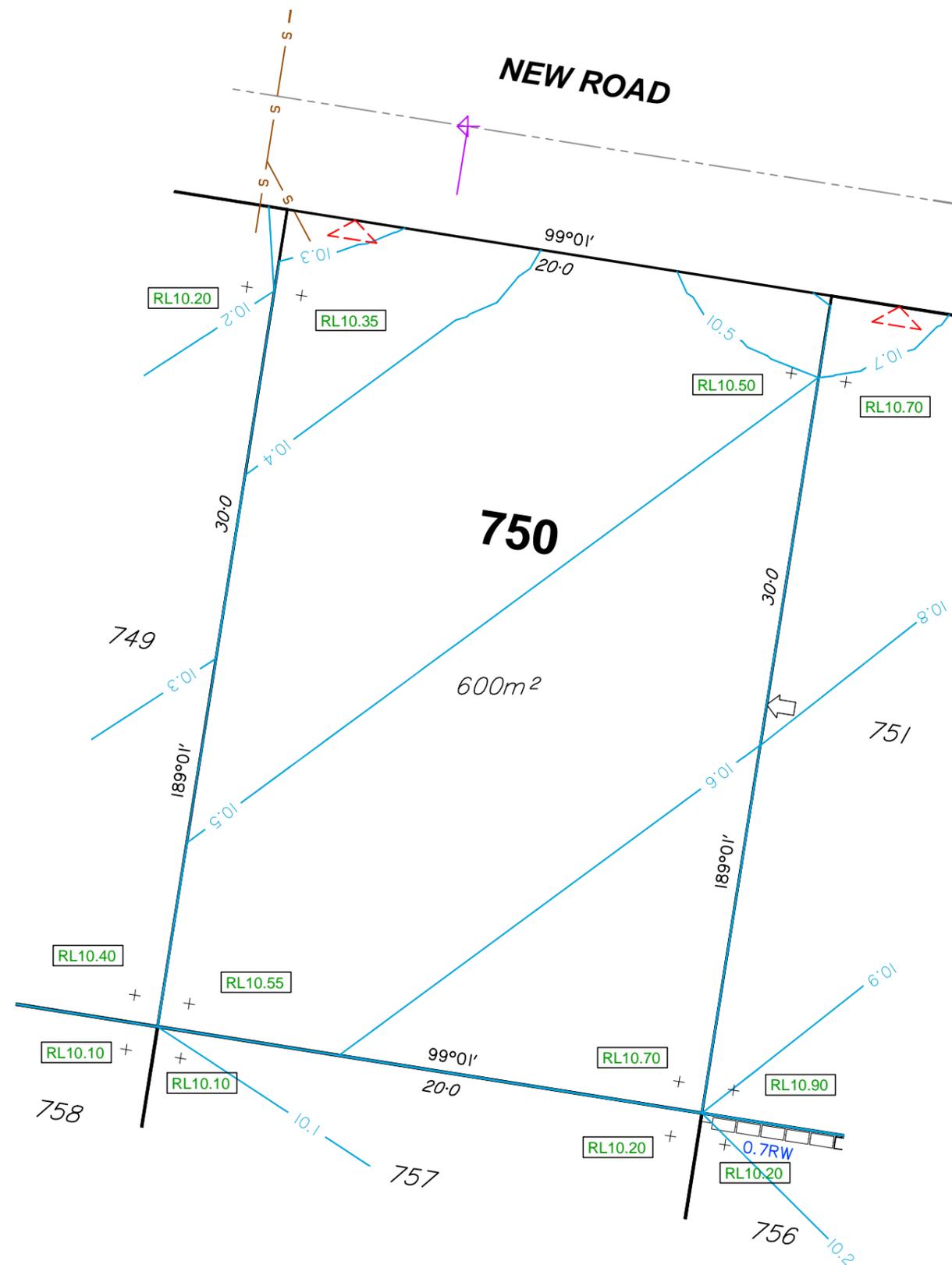
Planning
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017	DRAWING NO. SB3594-09-750	VERSION B
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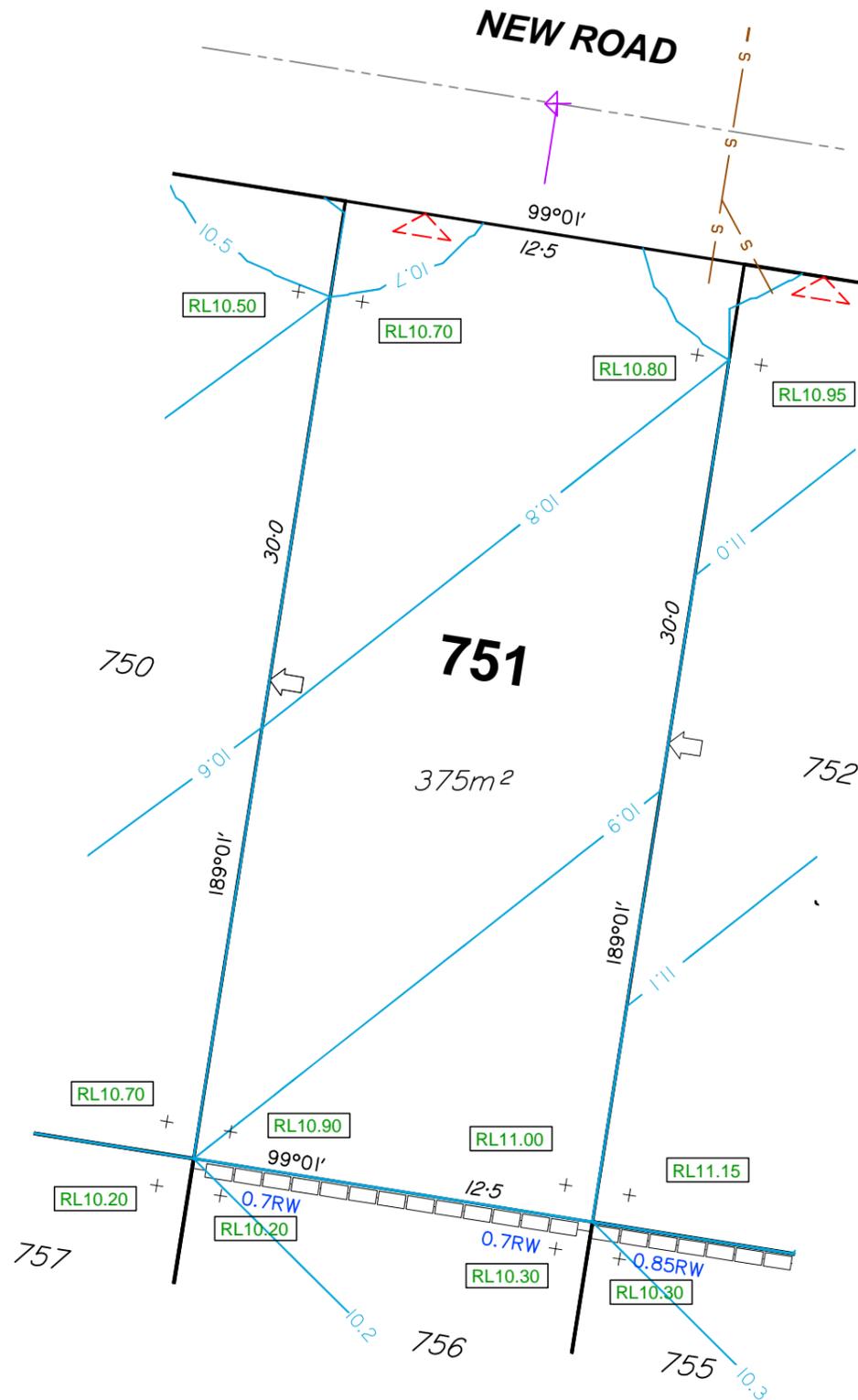
DISCLOSURE PLAN

For Proposed Lot 751
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SW	Stormwater/Stormwater Manhole
	AS	Stormwater Gully Trap
	RW	Roofwater/Roofwater Pit
		Kerb Adapter
		Area to be Filled
	+ RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Developer installed timber acoustic fence
		Proposed Driveway
		Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017	DRAWING NO. SB3594-09-751	VERSION B
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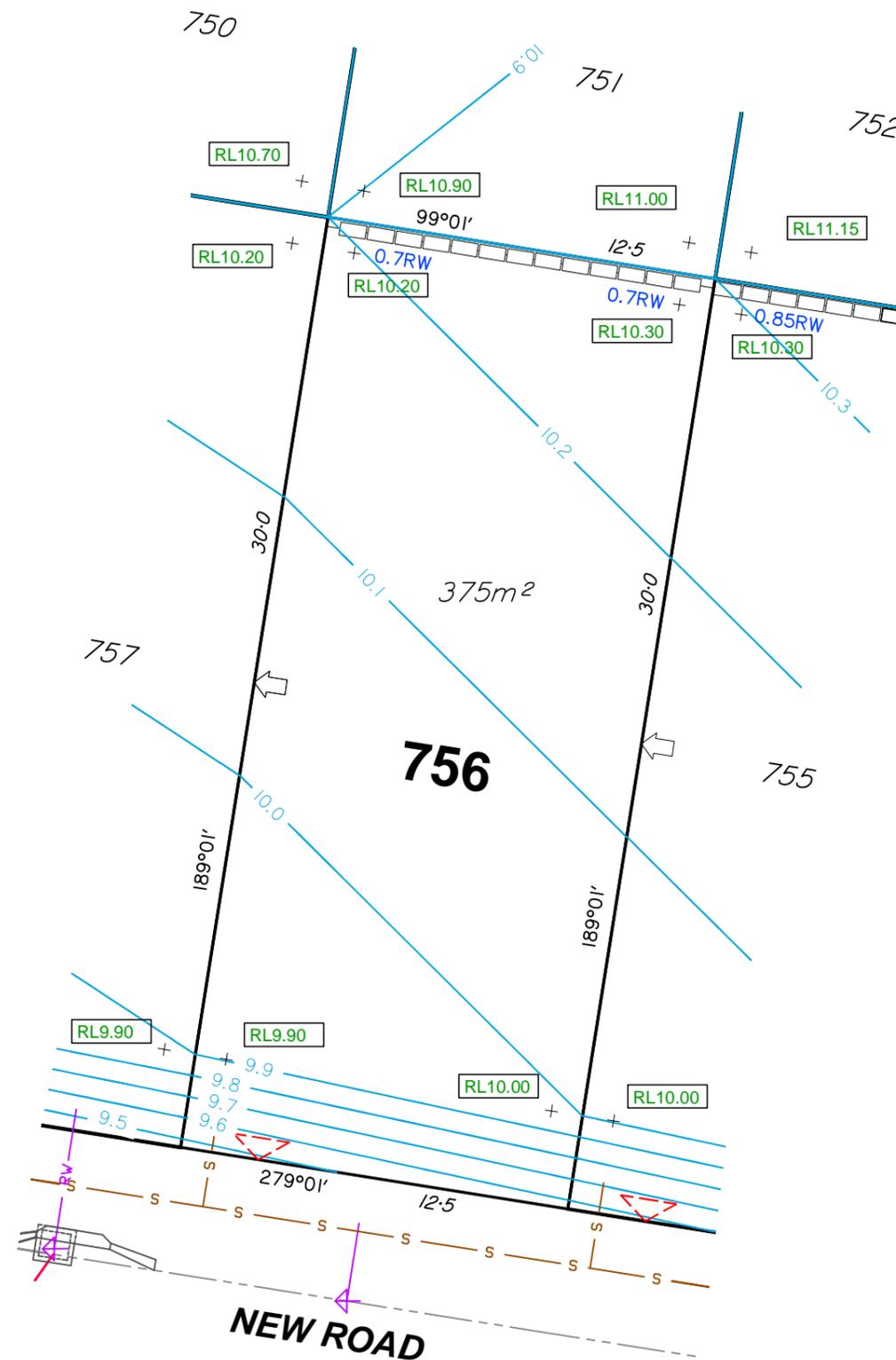
DISCLOSURE PLAN

For Proposed Lot 756
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-756 VERSION B

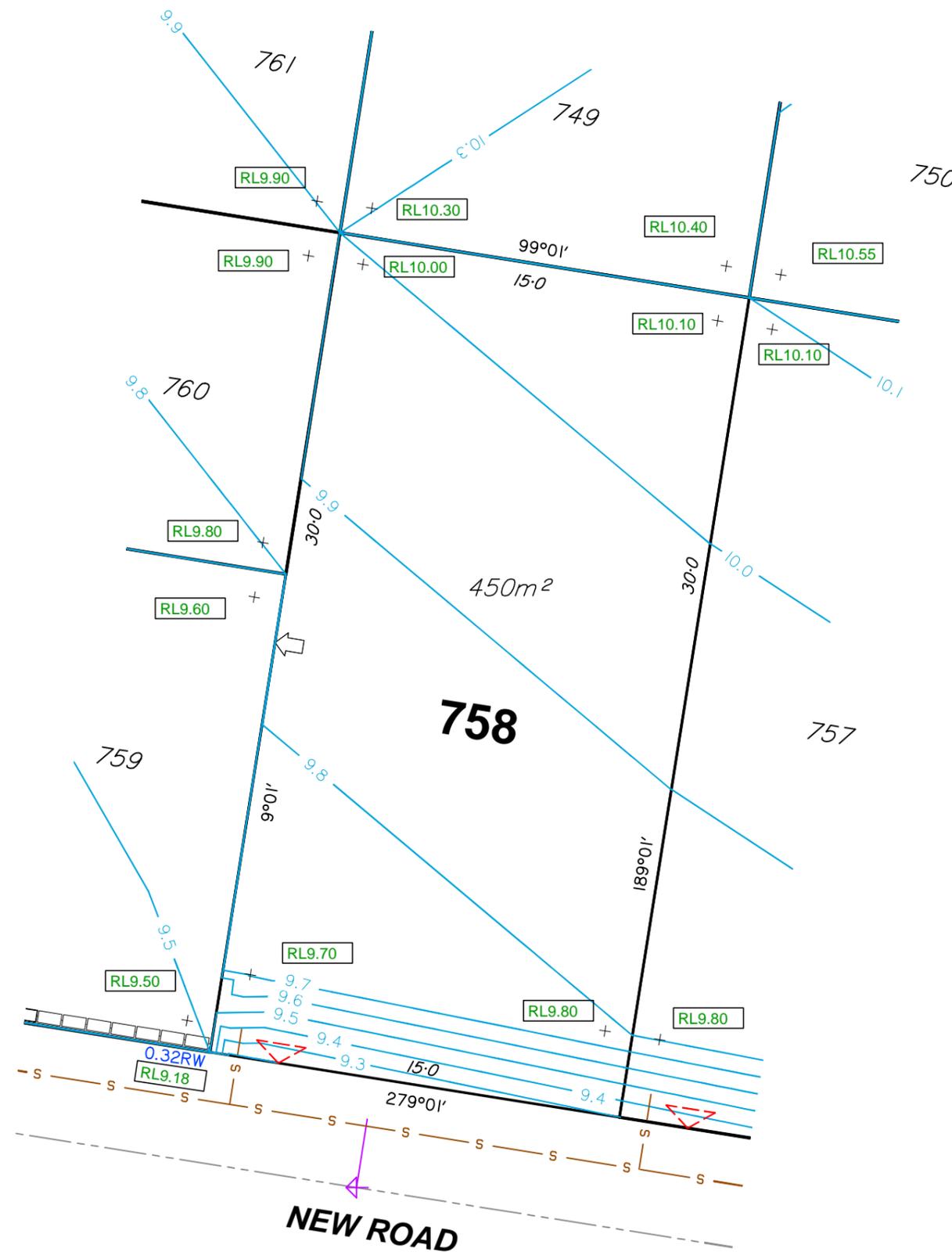
DISCLOSURE PLAN

For Proposed Lot 758
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-758 VERSION B

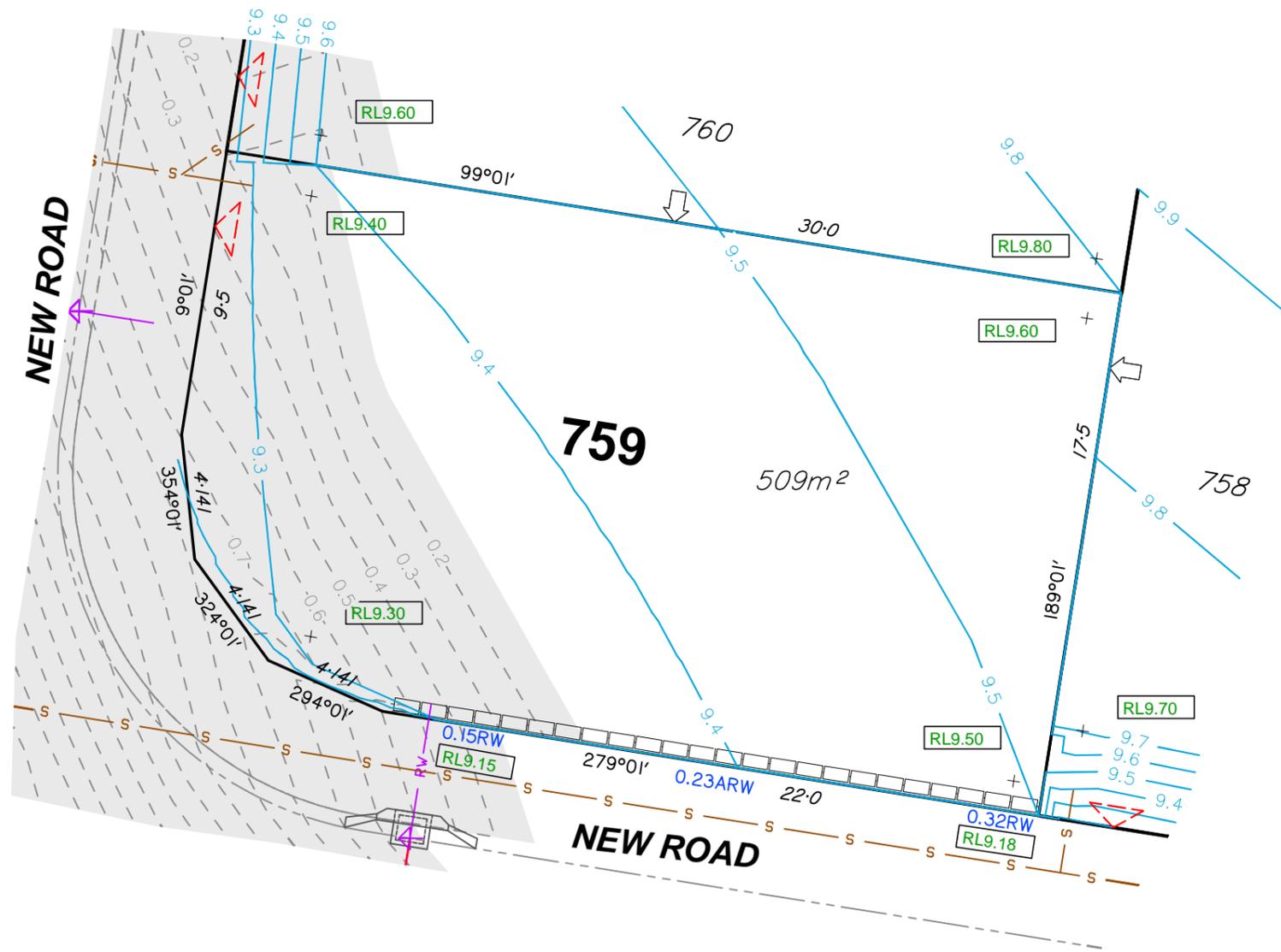
DISCLOSURE PLAN

For Proposed Lot 759
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - + RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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[Icon] Urban Design
[Icon] Landscape
[Icon] Environment
[Icon] Surveying

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MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

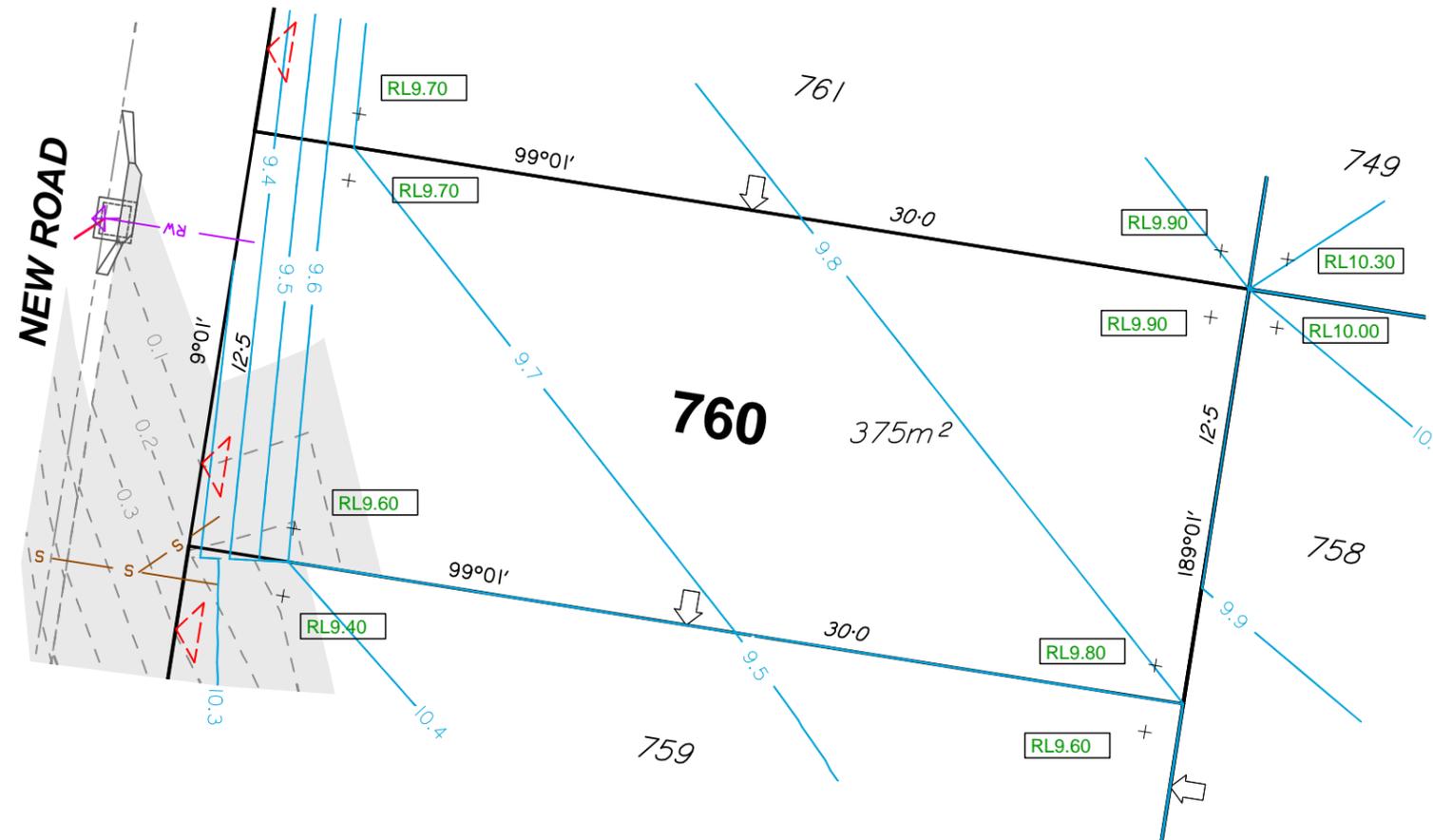
DATE DRAWN 05-09-2017	DRAWING NO. SB3594-09-759	VERSION B
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DISCLOSURE PLAN

For Proposed Lot 760
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ↔ Kerb Adapter
 - Area to be Filled
 - + RL9.70 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ↔ Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-760 VERSION B

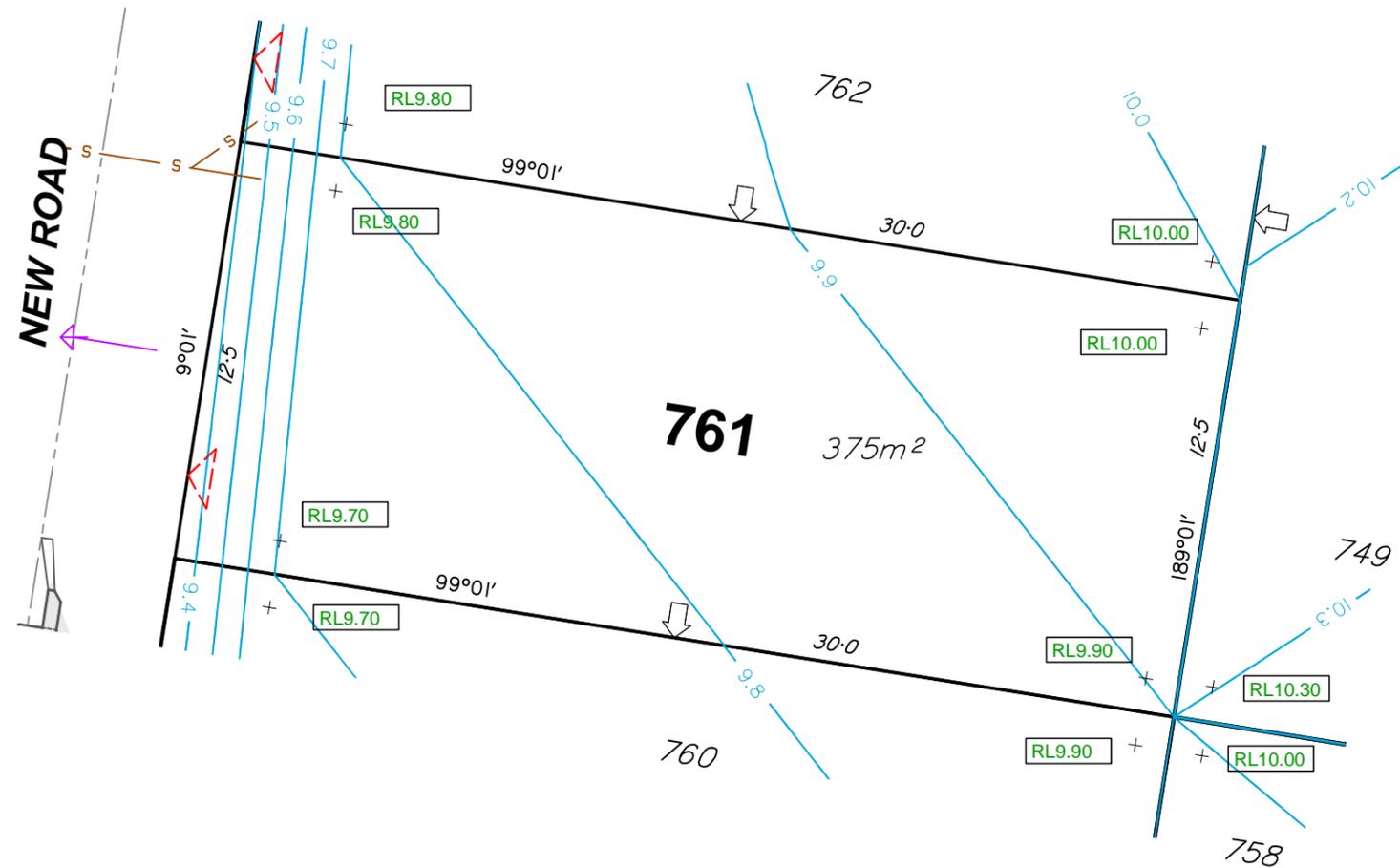
DISCLOSURE PLAN

For Proposed Lot 761
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ↔ Kerb Adapter
 - Area to be Filled
 - + [RL9.70] Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ↔ Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-761 VERSION B

DISCLOSURE PLAN

For Proposed Lot 763
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + [RL57.32] Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
 - // // Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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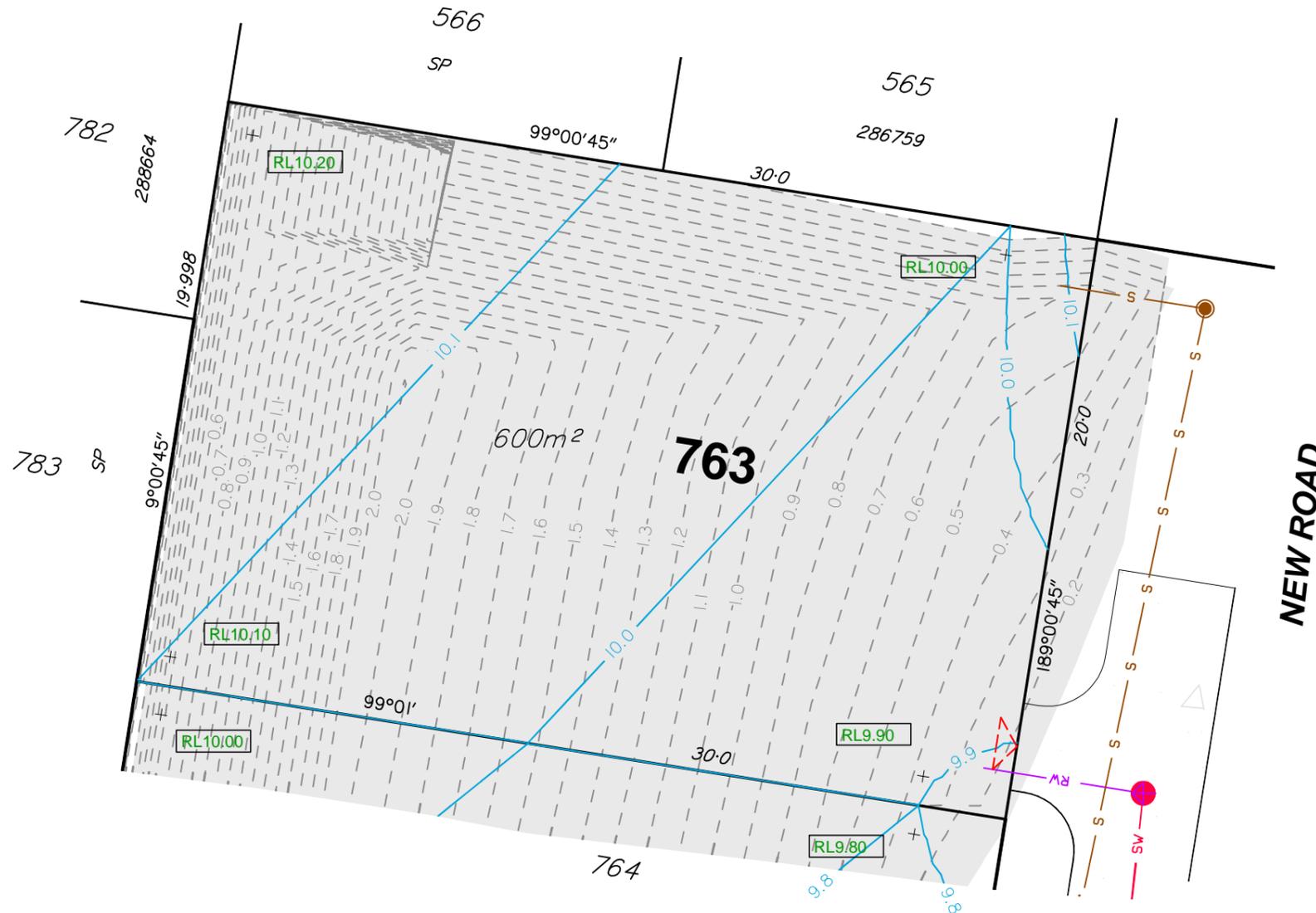
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-763 VERSION B



DISCLOSURE PLAN

For Proposed Lot 764
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - AS Stormwater Gully Trap
 - ◀ Kerb Adapter
 - Area to be Filled
 - + RL9.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ◀ Zero Lot Line Boundary

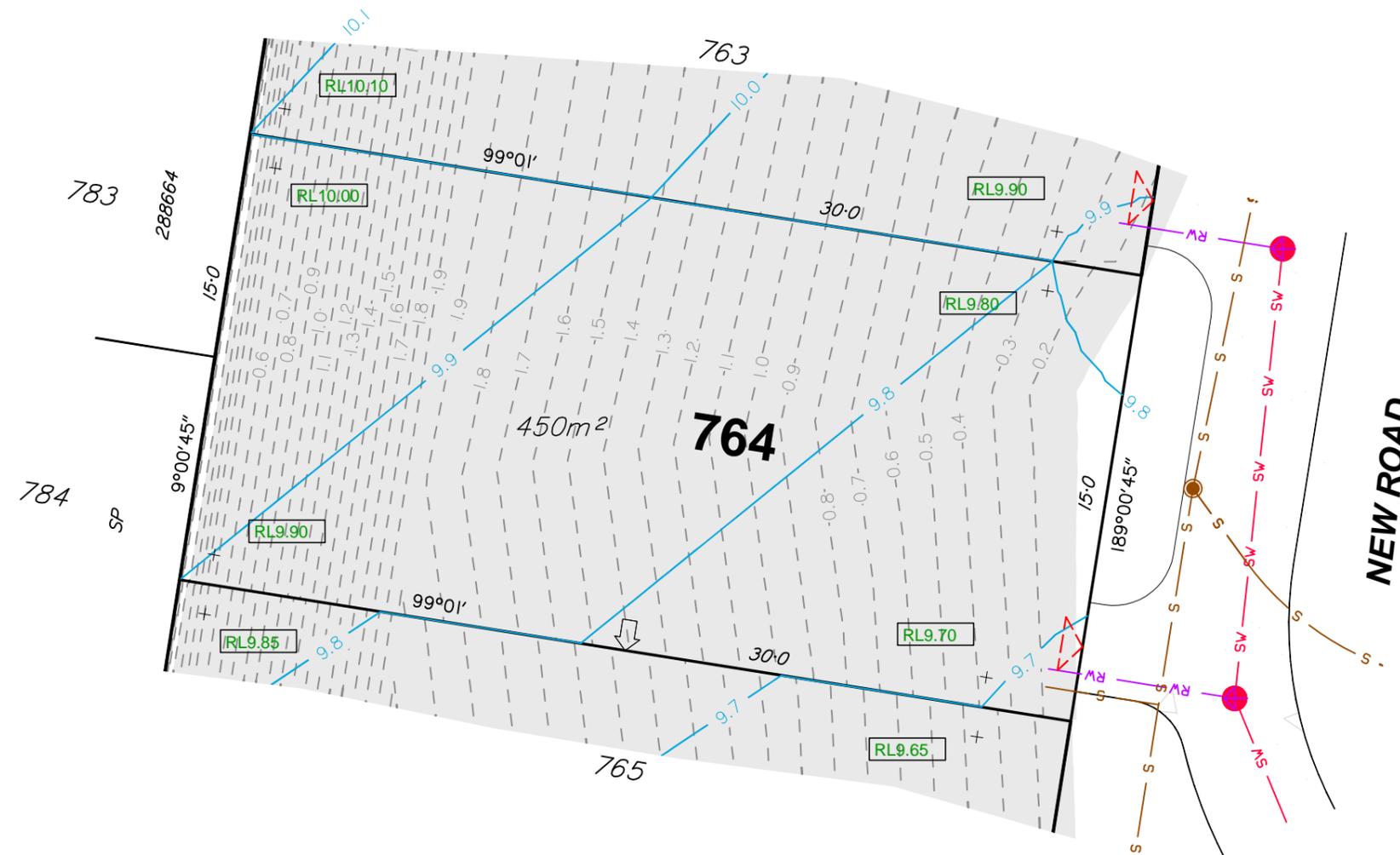
- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 05-09-2017
DRAWING NO. SB3594-09-764
VERSION B



DISCLOSURE PLAN

For Proposed Lot 765
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + [RL9.32] Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
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RIVERBANK

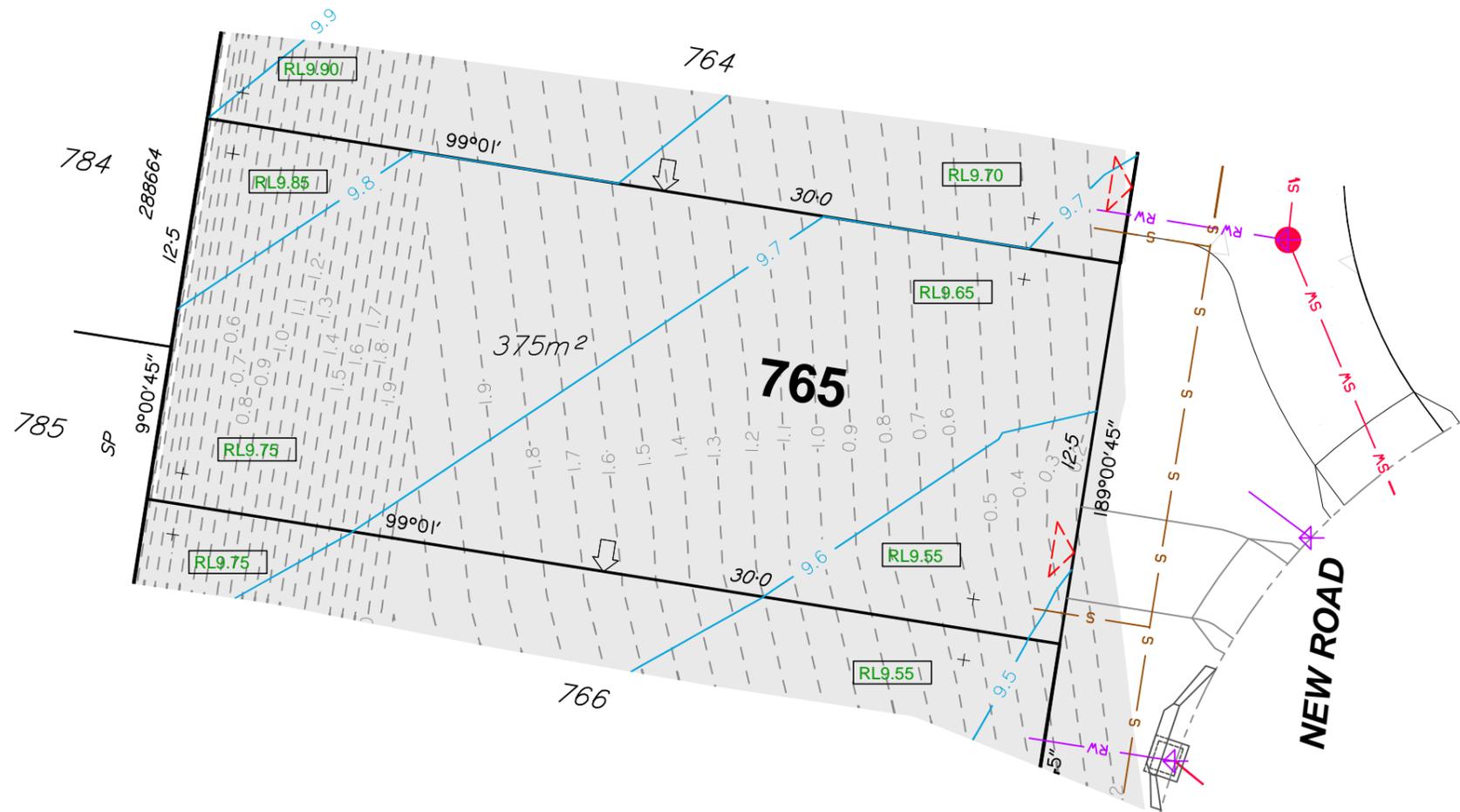


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-765 VERSION B



DISCLOSURE PLAN

For Proposed Lot 766
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ◀ Kerb Adapter
 - Area to be Filled
 - + RL9.75 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ◀ Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



WOLTER
consulting group

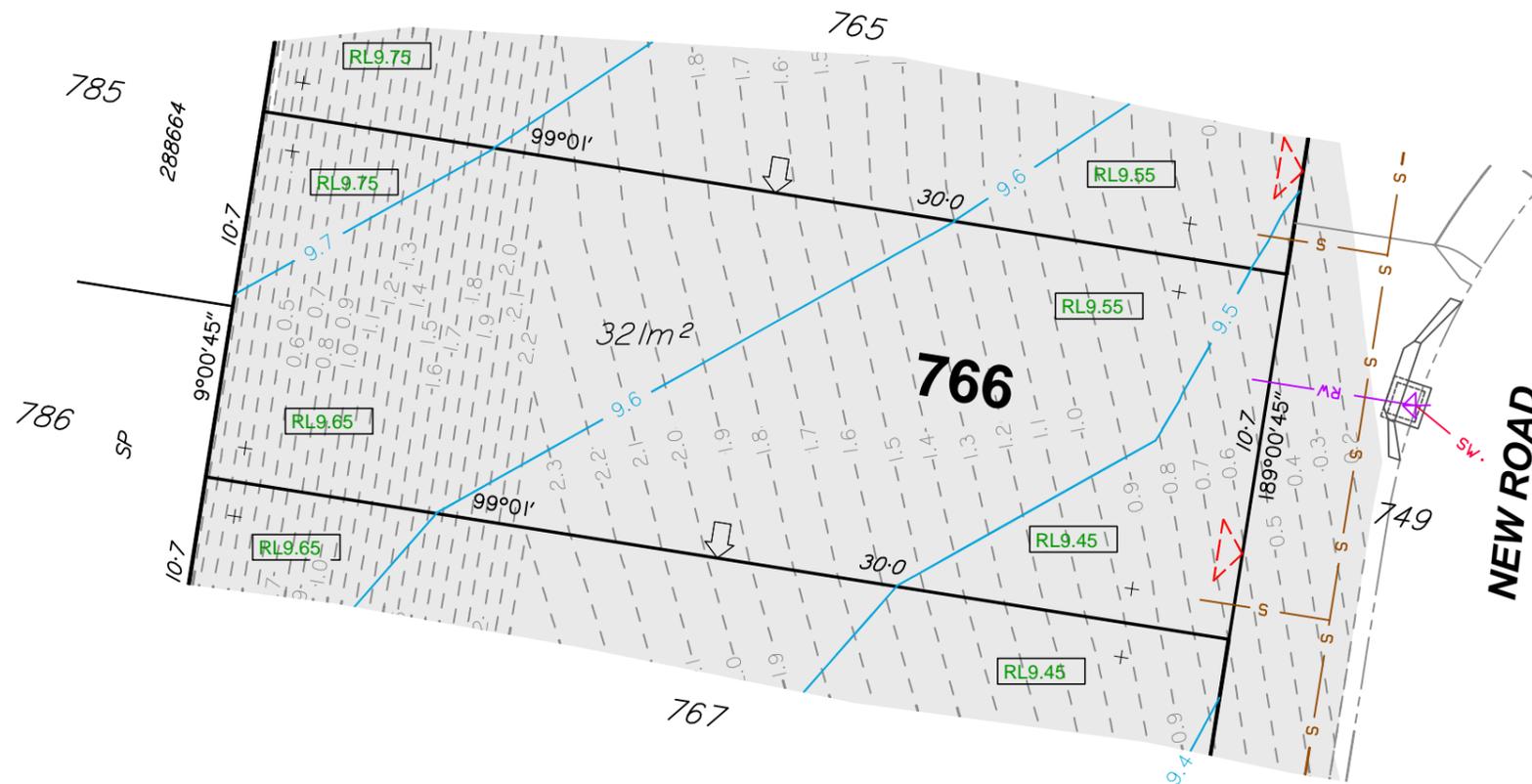
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

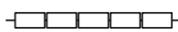
DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-766 VERSION B



DISCLOSURE PLAN

For Proposed Lot 767
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + [RL9.32] Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

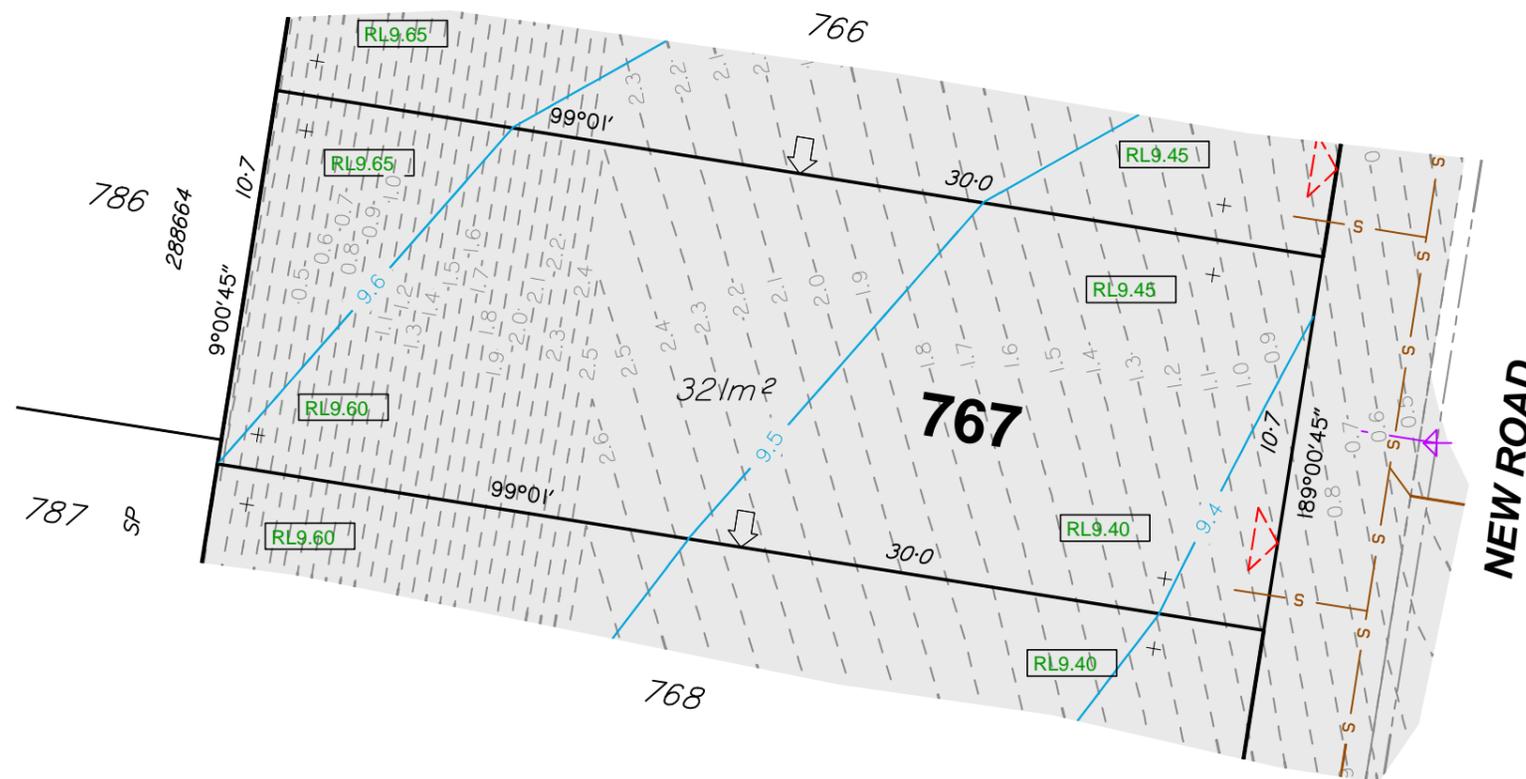


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-767 VERSION B



DISCLOSURE PLAN

For Proposed Lot 768
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ↔ Kerb Adapter
 - Area to be Filled
 - + [RL9.57.32] Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ↔ Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

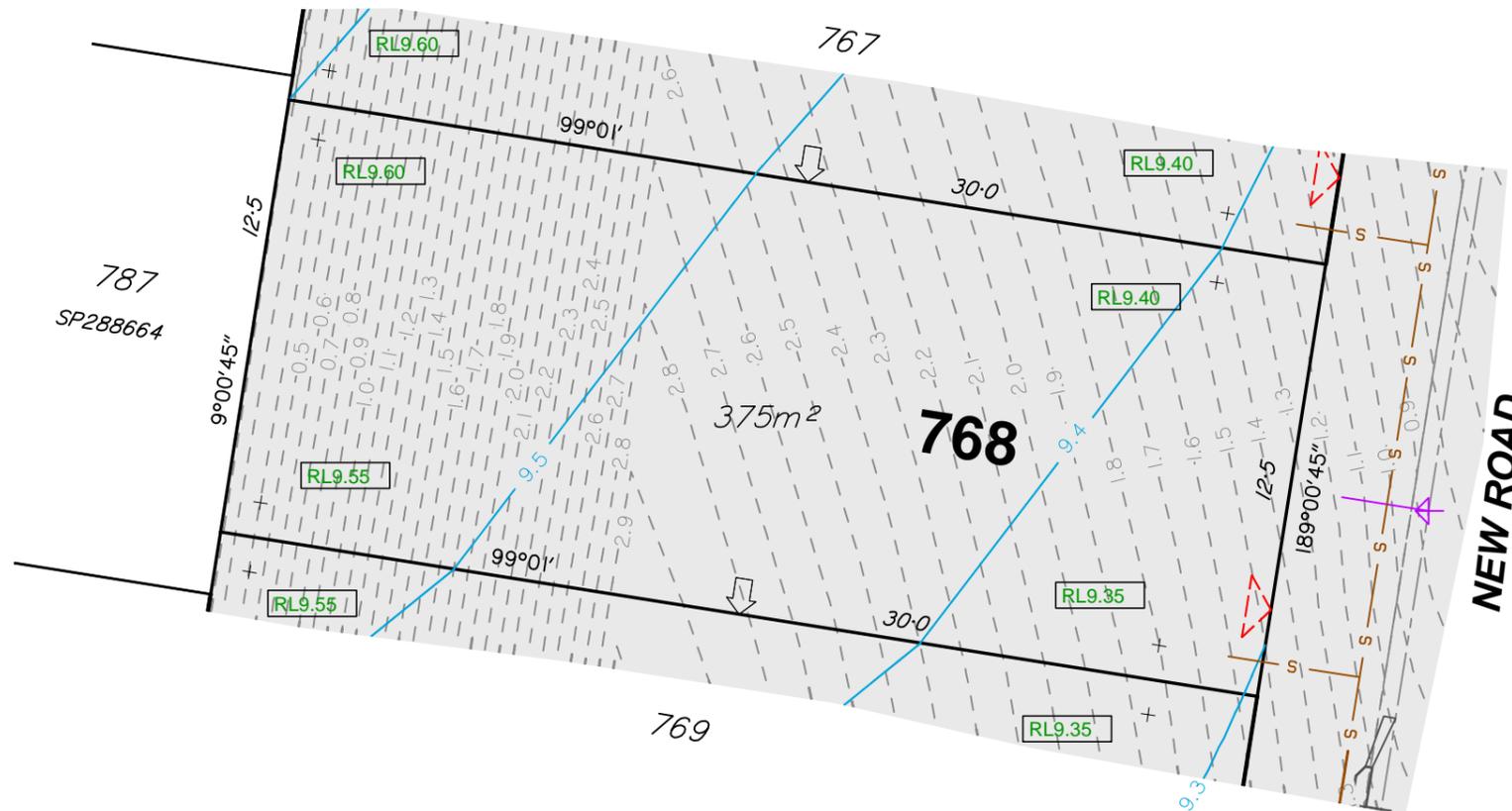


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-768 VERSION B



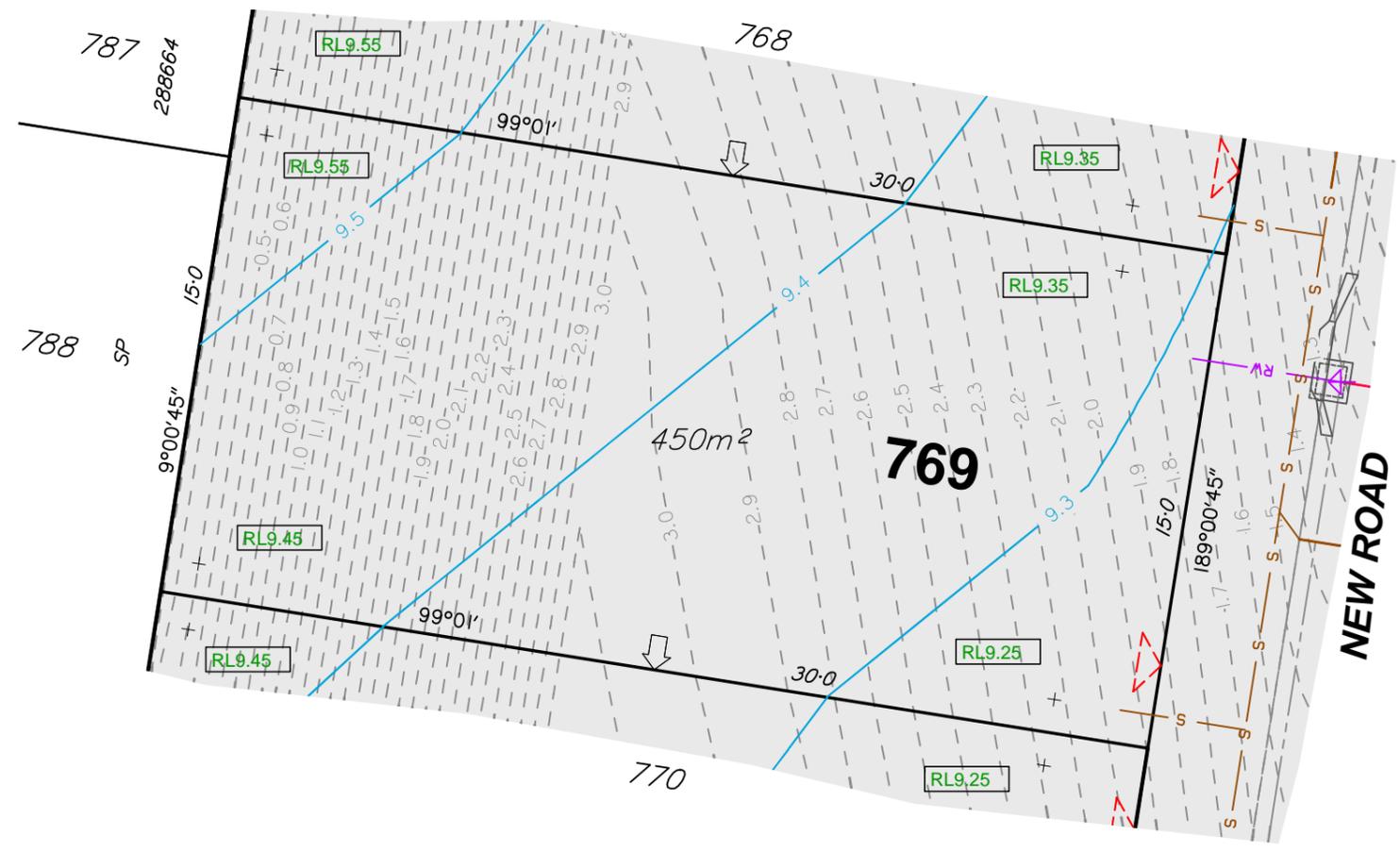
DISCLOSURE PLAN

For Proposed Lot 769
Riverbank - Stage 14B

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ◀ Kerb Adapter
 - Area to be Filled
 - + RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ◀ Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-769 VERSION B

DISCLOSURE PLAN

For Proposed Lot 770
Riverbank - Stage 14B

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + RL9.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-770 VERSION B

