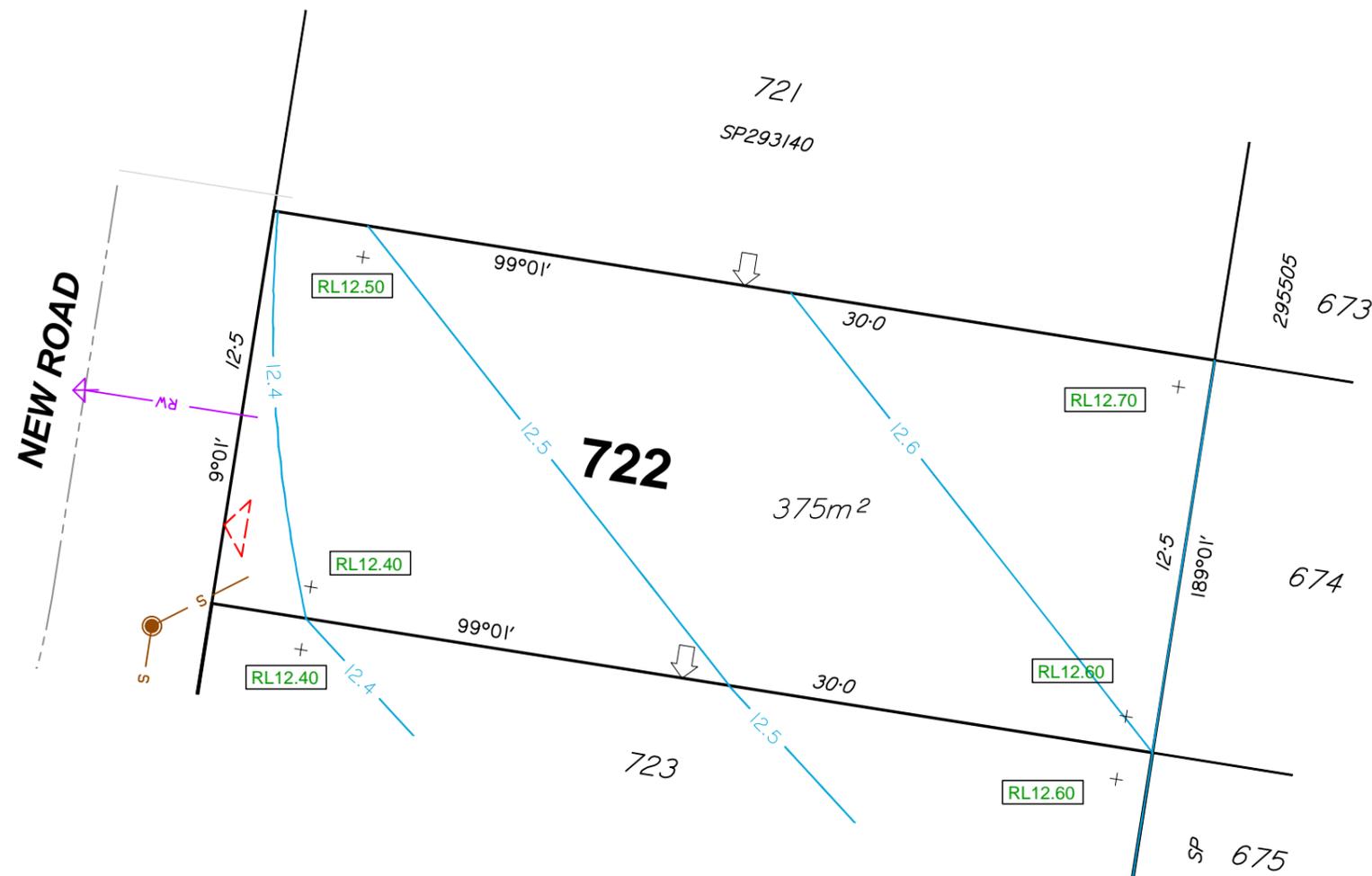


DISCLOSURE PLAN

For Proposed Lot 722
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - AS Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - + [RL57.32] Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary



DISCLOSURE PLAN

For Proposed Lot 723
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - AS — Stormwater Gully Trap
 - ← Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



WOLTER
consulting group

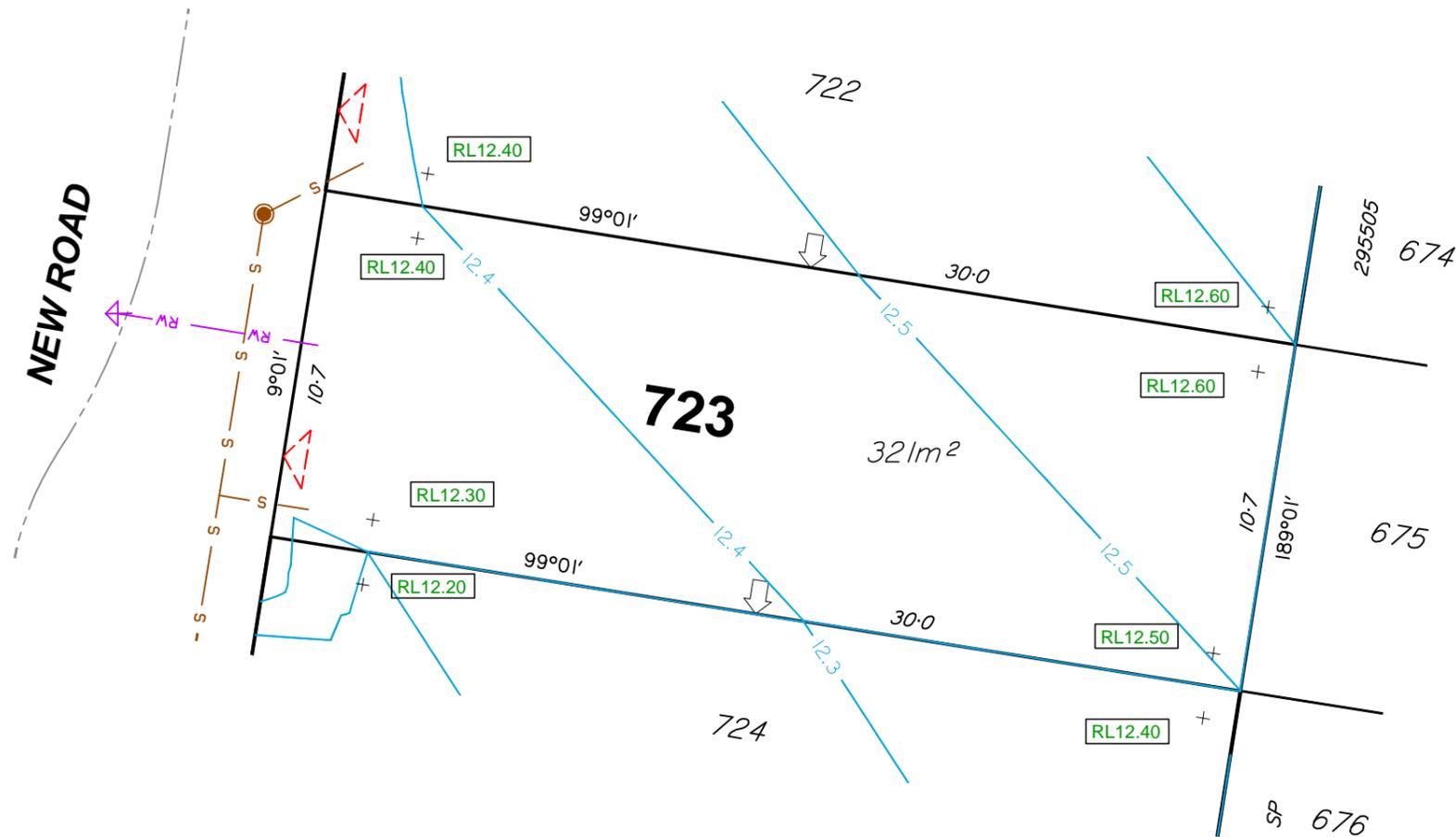
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-723 VERSION B



DISCLOSURE PLAN

For Proposed Lot 724
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - // // Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

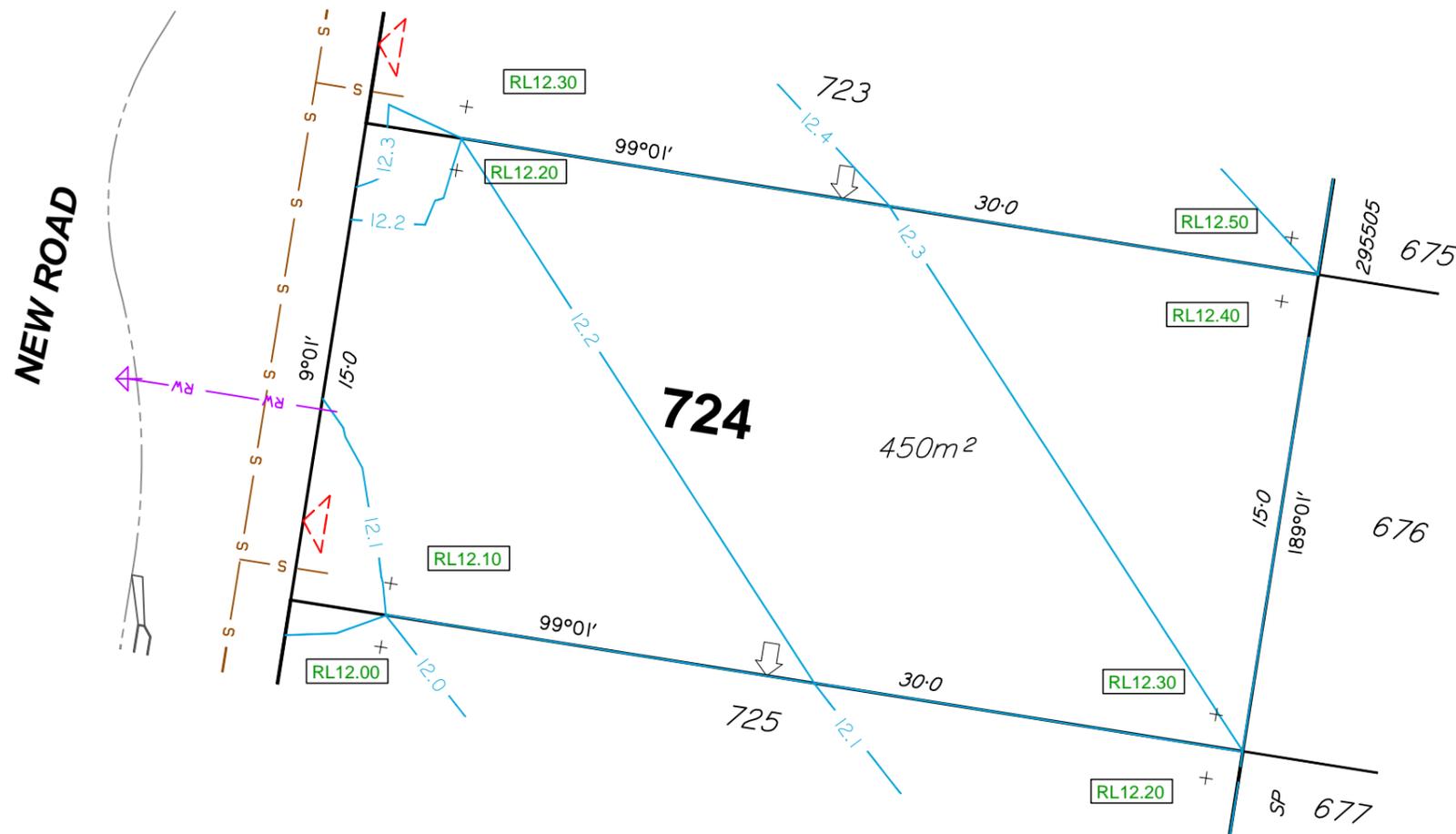
WOLTER
consulting group

📐 Planning
🏡 Urban Design
🌿 Landscape
🌍 Environment
📏 Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.

Scale 1:200 @A3

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-724 VERSION B



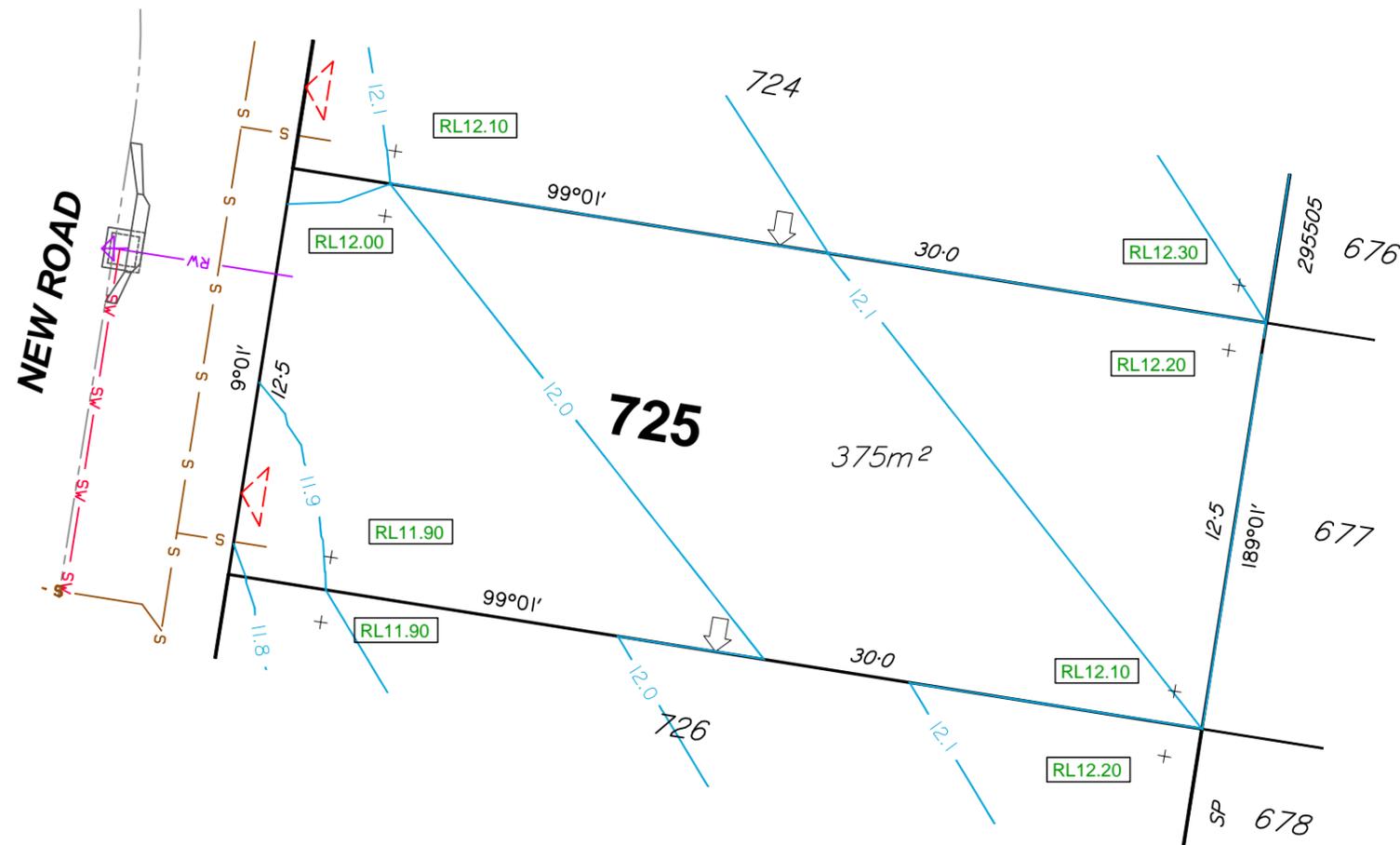
DISCLOSURE PLAN

For Proposed Lot 725
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK

WOLTER
consulting group

■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-725 VERSION B

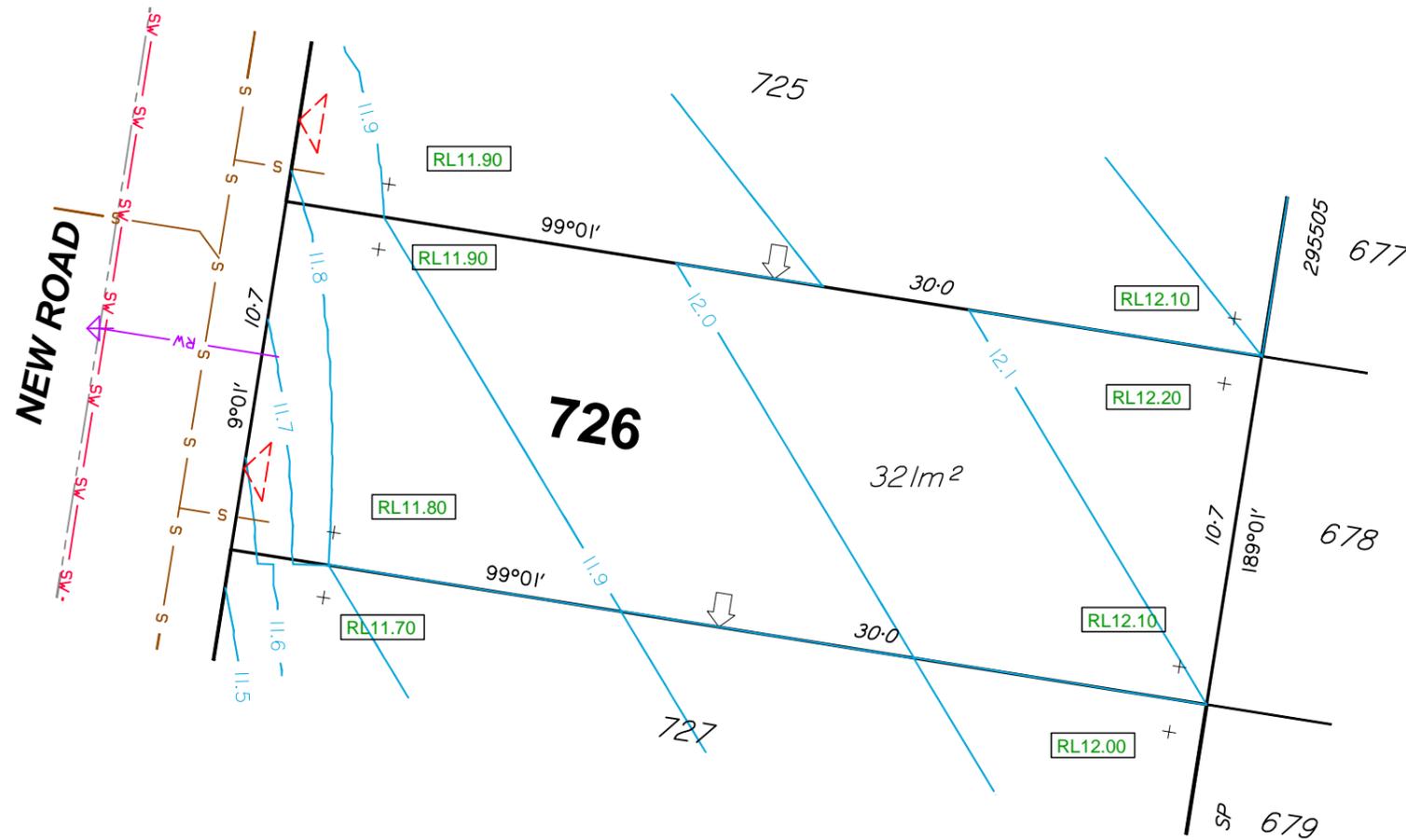
DISCLOSURE PLAN

For Proposed Lot 726
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ◀ Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ◀ Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-726 VERSION B

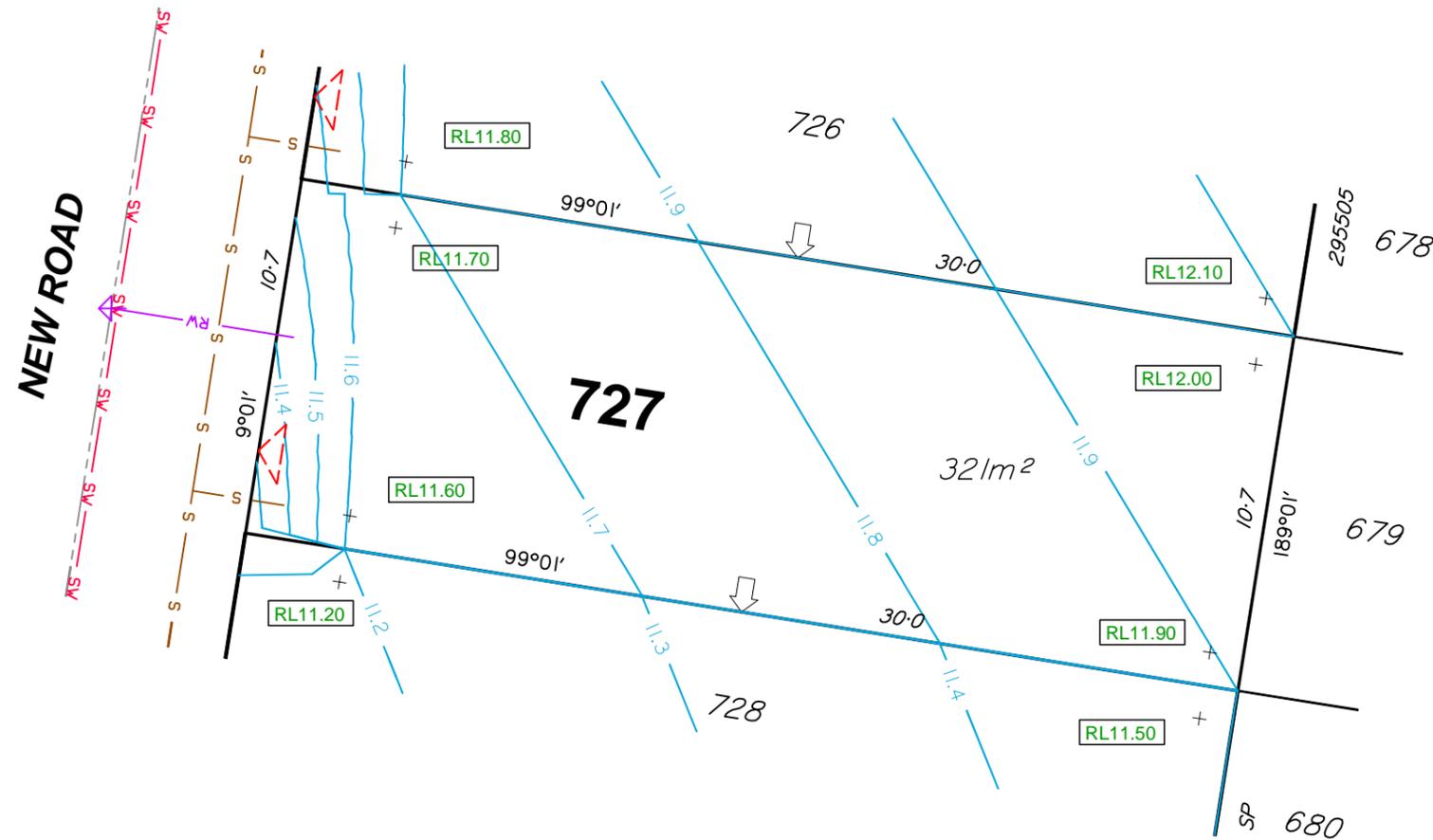
DISCLOSURE PLAN

For Proposed Lot 727
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK

WOLTER
consulting group

■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-727 VERSION B

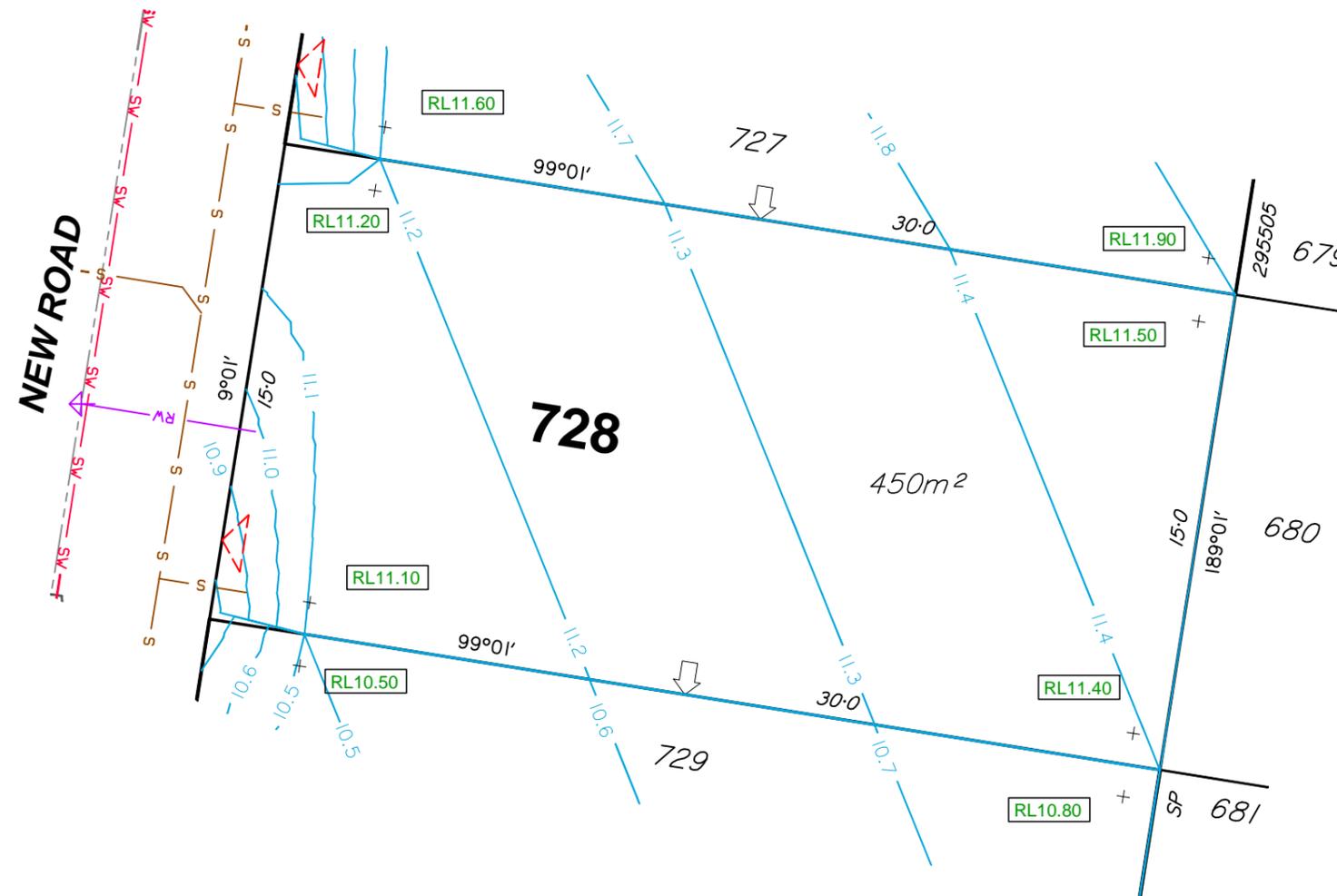
DISCLOSURE PLAN

For Proposed Lot 728
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + RL57.32 Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - - - - - Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

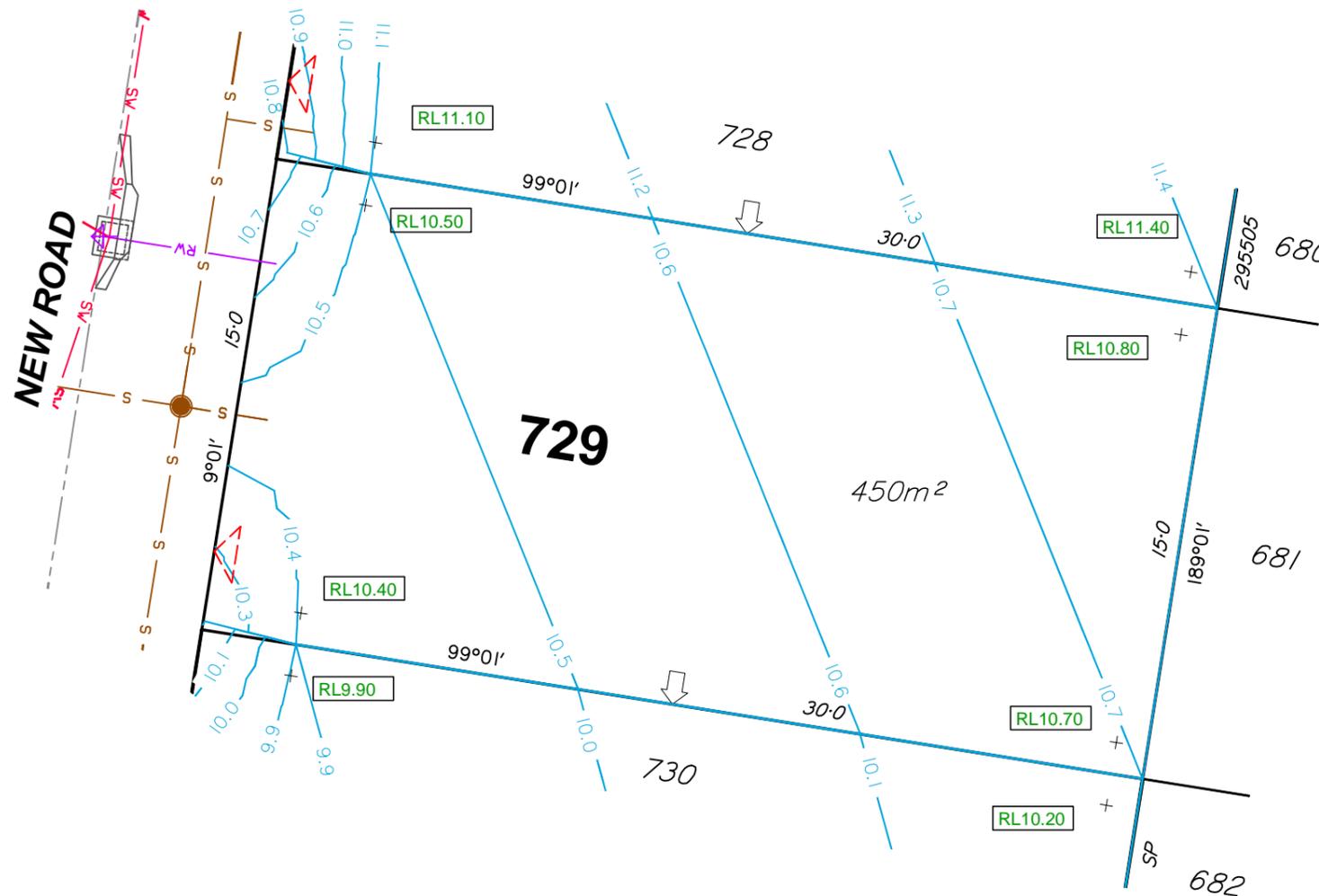
DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-728 VERSION B

DISCLOSURE PLAN

For Proposed Lot 729
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - K — Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-729 VERSION B

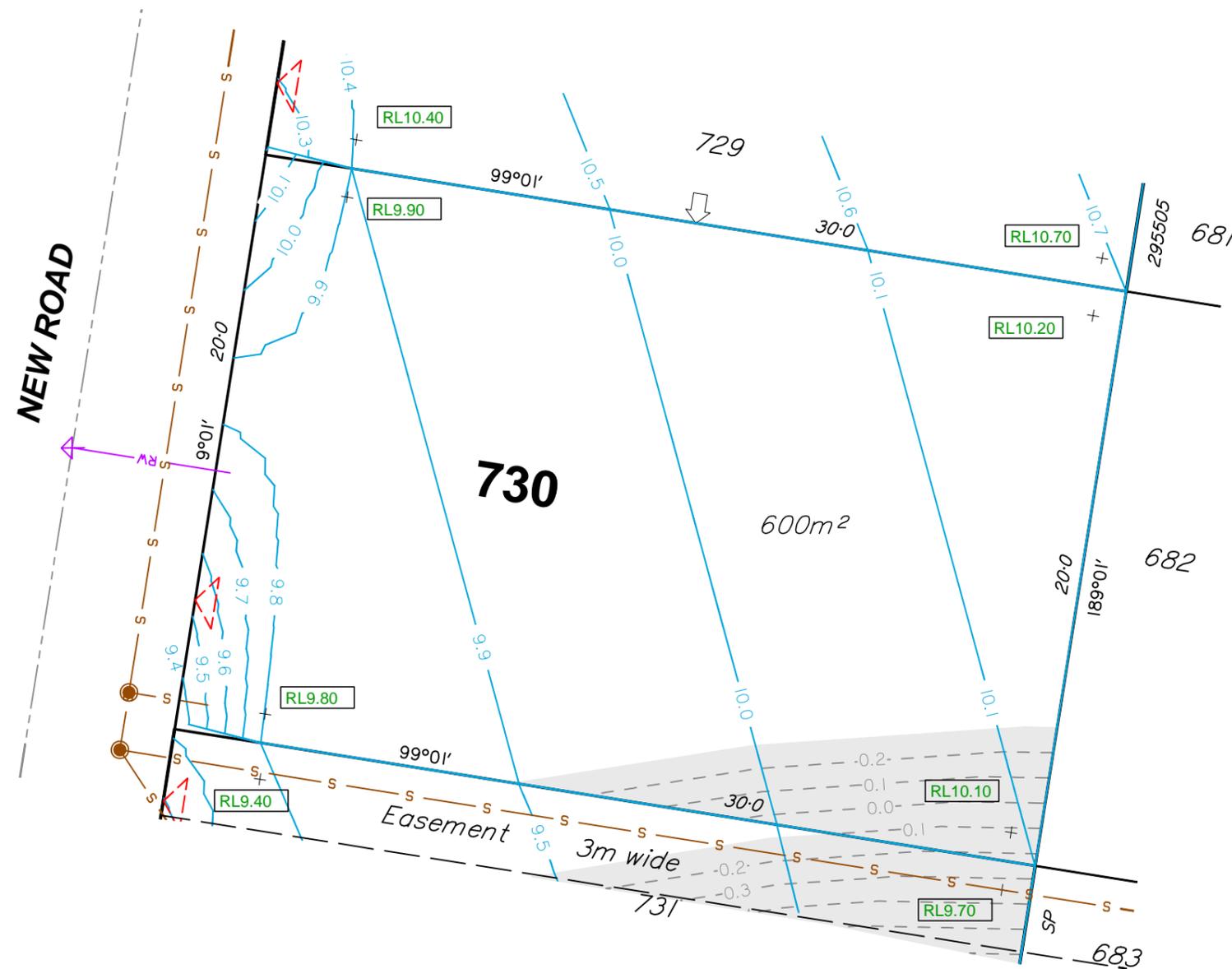
DISCLOSURE PLAN

For Proposed Lot 730
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - K — Kerb Adapter
 - Area to be Filled
 - + [RL57.32] Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK

WOLTER
consulting group

■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

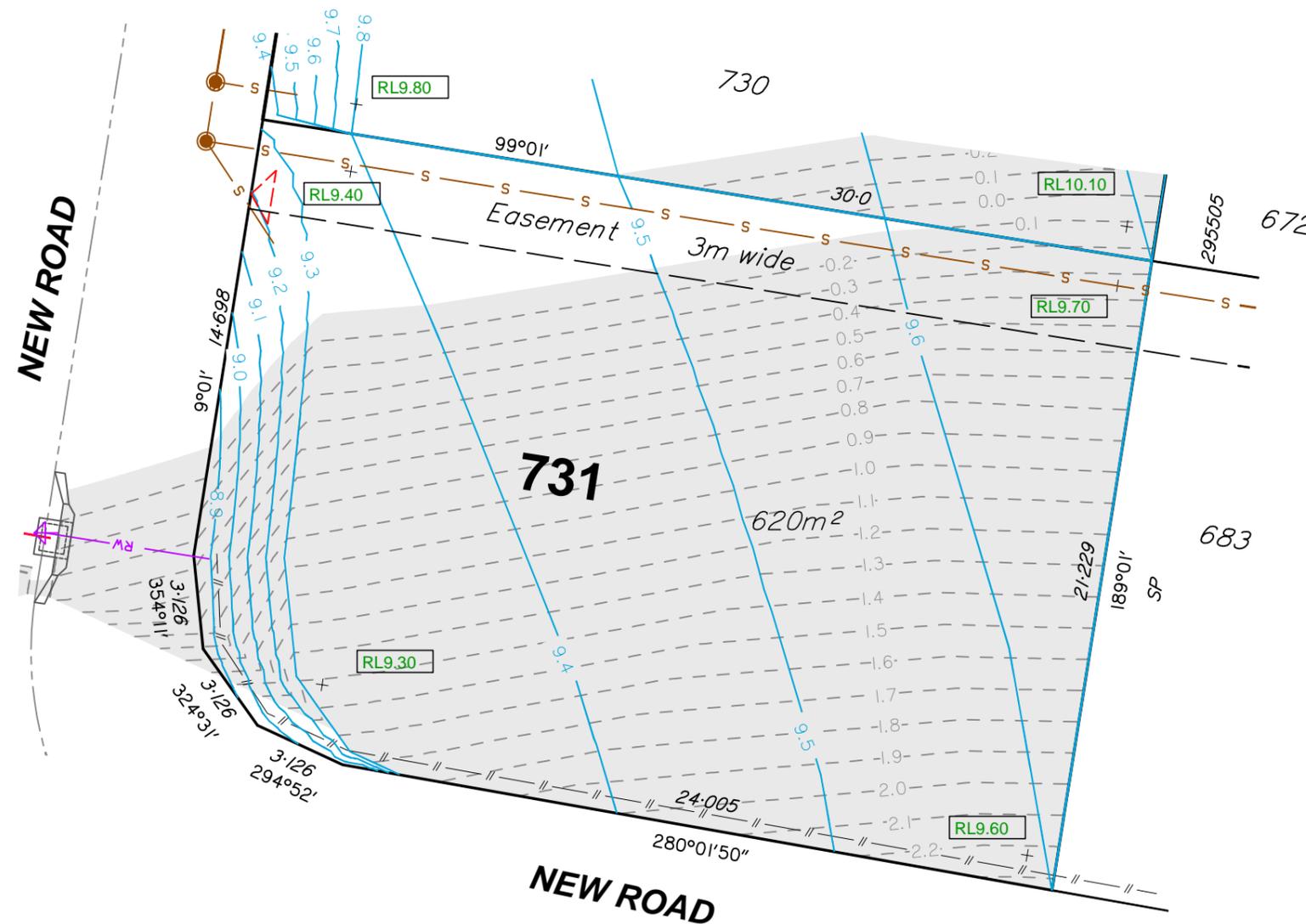
DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-730 VERSION B

DISCLOSURE PLAN

For Proposed Lot 731
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - AS Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - // // Developer installed timber acoustic fence
 - - - - - Proposed Driveway
 - ← Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

WOLTER
consulting group

Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.

Scale 1:200 @A3

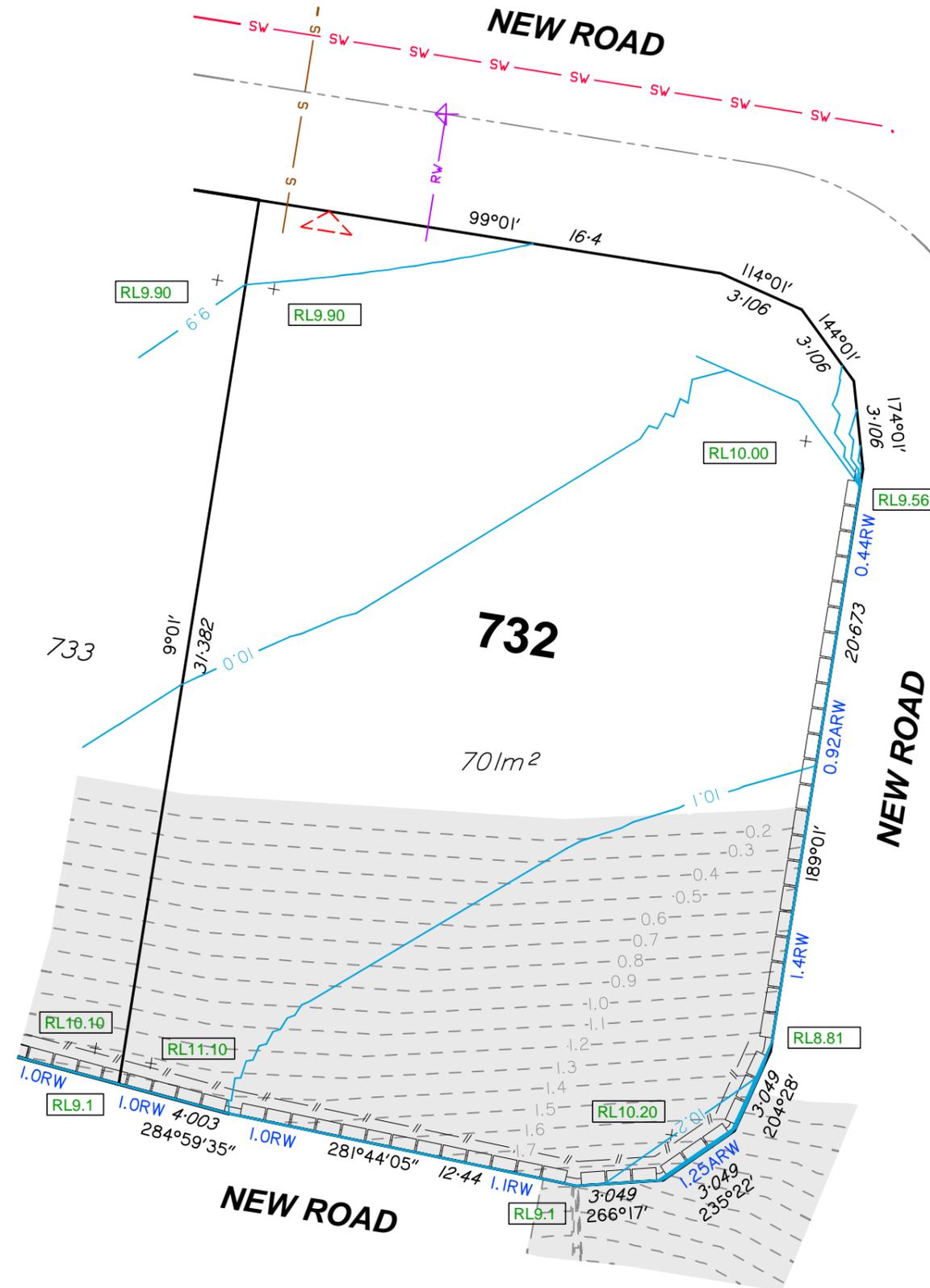
DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-731 VERSION B

DISCLOSURE PLAN

For Proposed Lot 732
Riverbank - Stage 14A

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - RW — Roofwater/Roofwater Pit
 - ◀ Kerb Adapter
 - Area to be Filled
 - + RL9.90 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - ◀ Proposed Driveway
 - ◀ Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

WOLTER
consulting group

■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017
DRAWING NO. SB3594-09-732
VERSION B

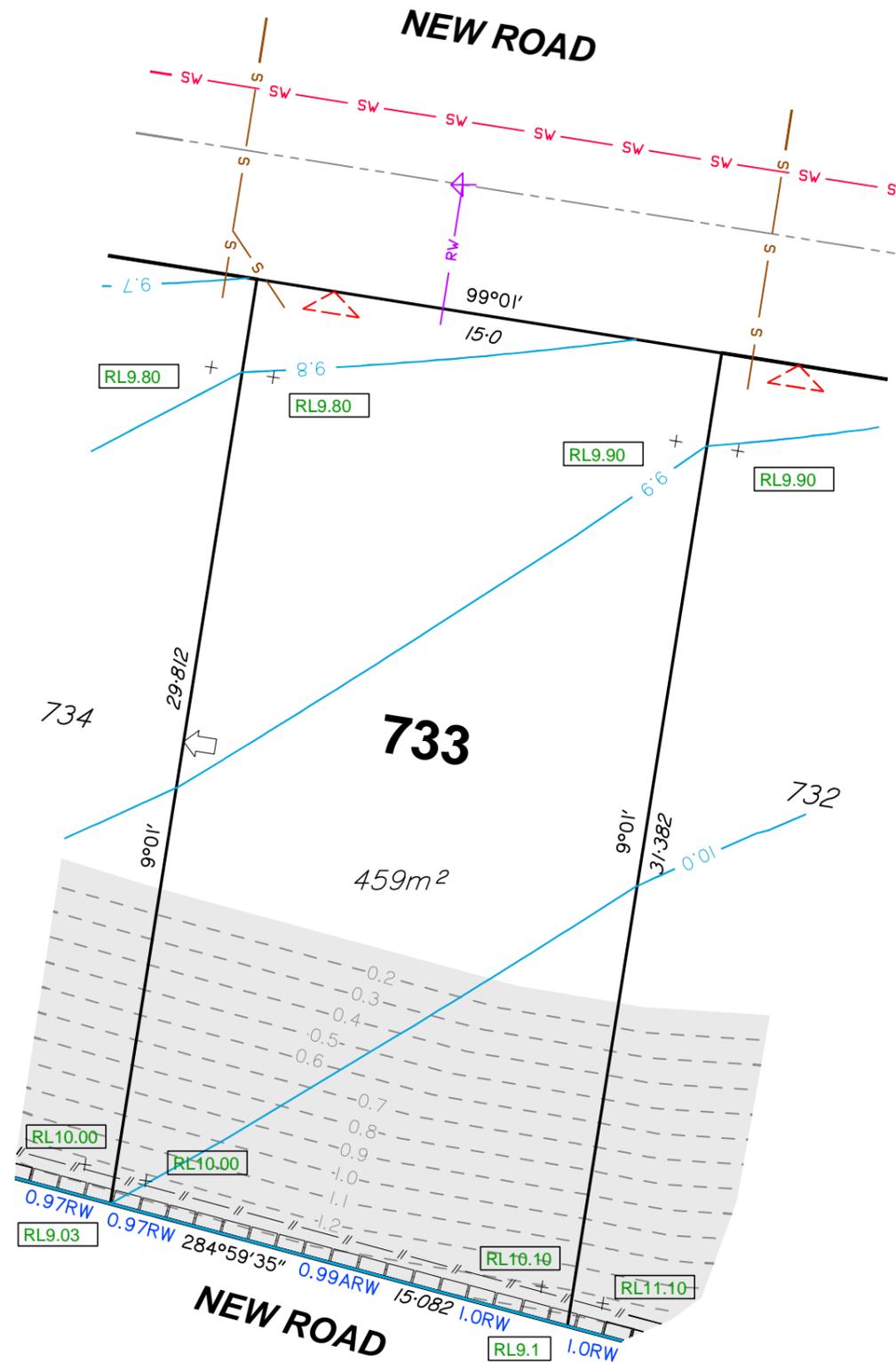
DISCLOSURE PLAN

For Proposed Lot 733
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

| | |
|--|--|
| | 46.0 Finished Surface Contours (0.1m Interval) |
| | 1.0 Depth of Fill Contours (0.1m Interval) |
| | Easement Boundary |
| | Kerb Line |
| | Edge of Pad |
| | S Sewer/Sewer Manhole |
| | SW Stormwater/Stormwater Manhole |
| | Stormwater Gully Trap |
| | RW Roofwater/Roofwater Pit |
| | Kerb Adapter |
| | Area to be Filled |
| | Design Pad Level |
| | Retaining Wall |
| | Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) |
| | Developer installed timber acoustic fence |
| | Proposed Driveway |
| | Zero Lot Line Boundary |



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

WOLTER
consulting group

Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

| | | |
|--------------------------|------------------------------|--------------|
| DATE DRAWN 05-09-2017 | DRAWING NO. SB3594-09-733 | VERSION B |
|--------------------------|------------------------------|--------------|

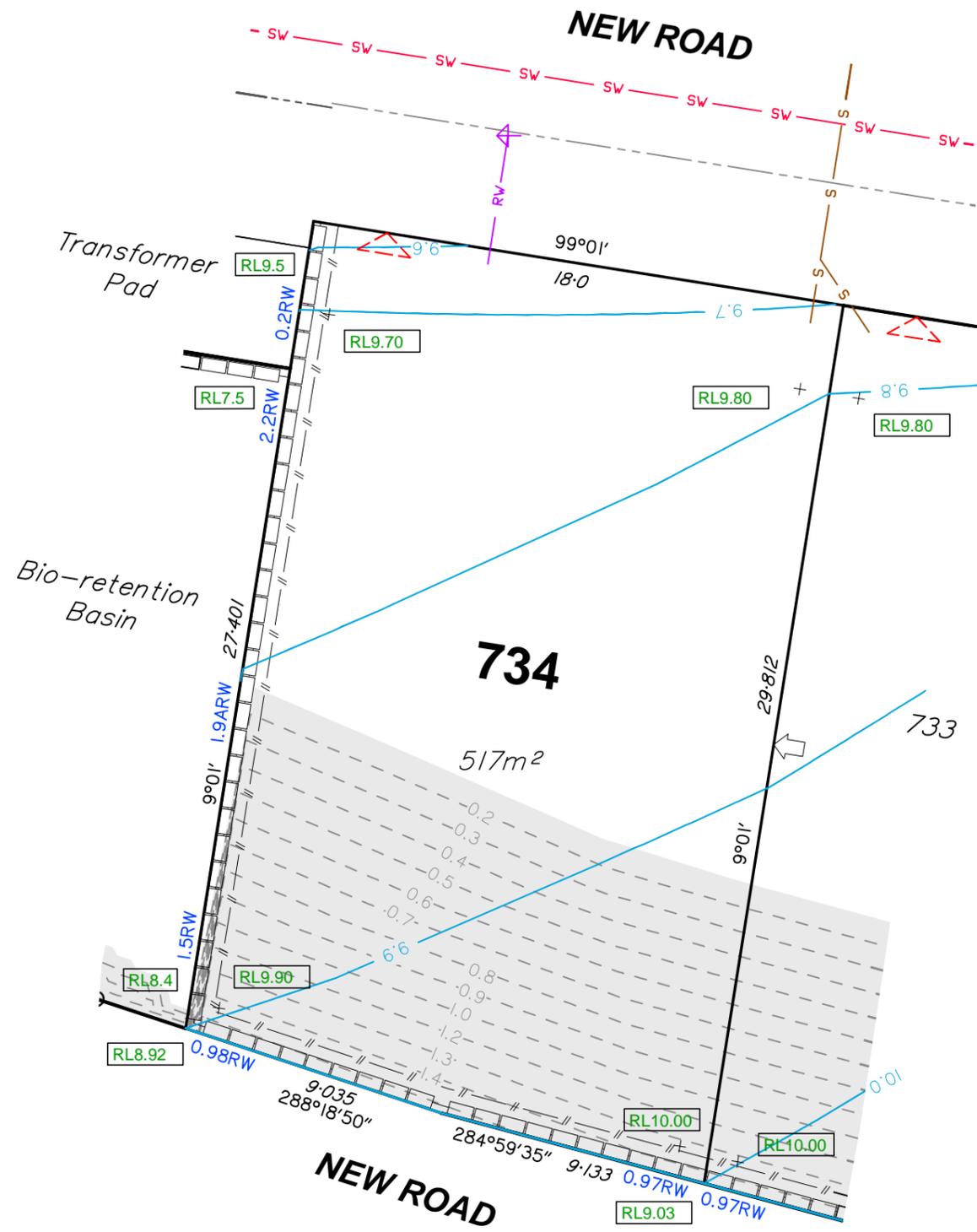
DISCLOSURE PLAN

For Proposed Lot 734
Riverbank - Stage 14A

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - S Sewer/Sewer Manhole
 - SW Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
 - Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - Builders shall not build off the design levels shown; a site survey is required.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK

WOLTER
consulting group

Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

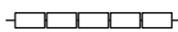
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-734 VERSION B

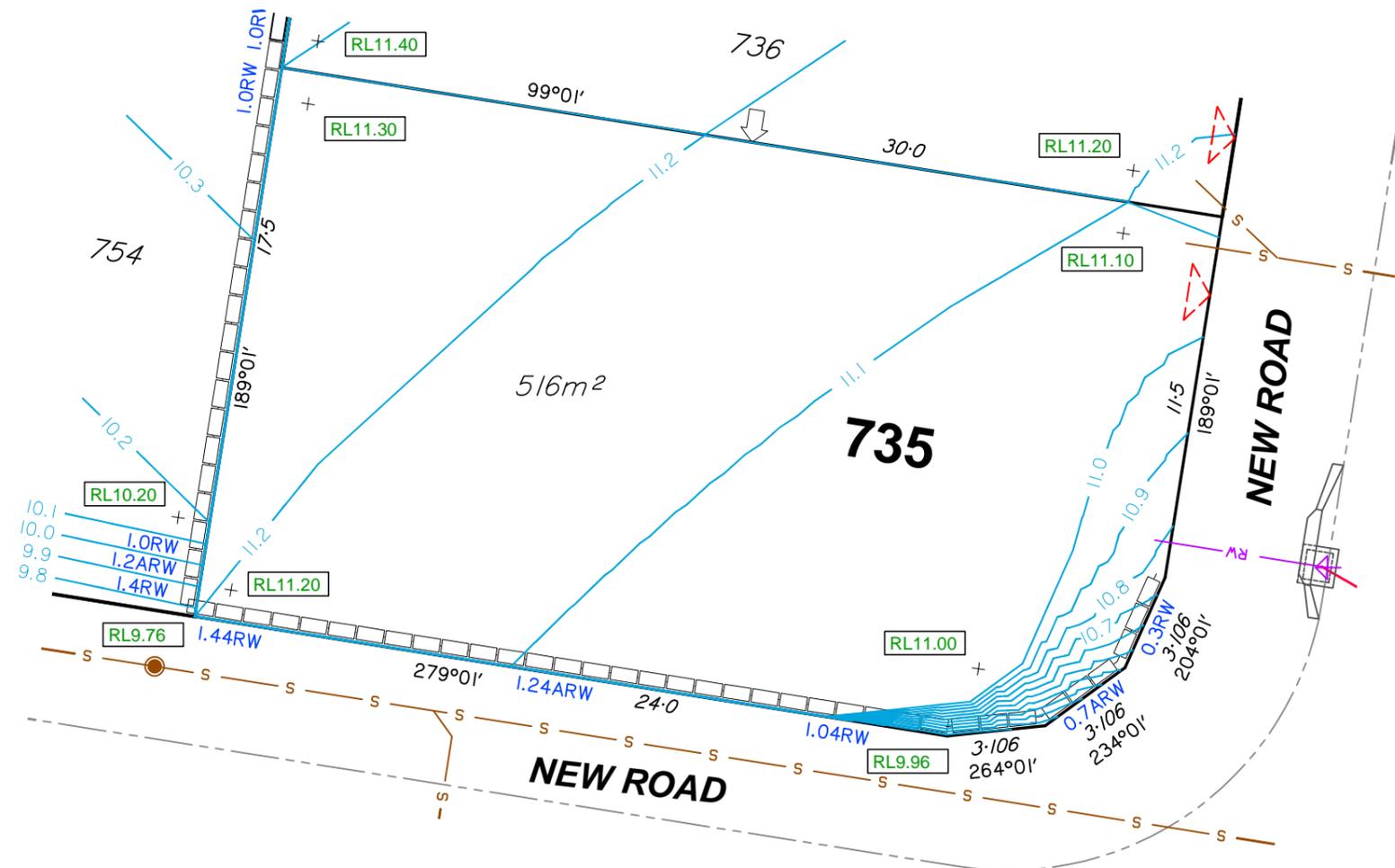
DISCLOSURE PLAN

For Proposed Lot 735
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - - - - - Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK

 **WOLTER**
consulting group

 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-735 VERSION B

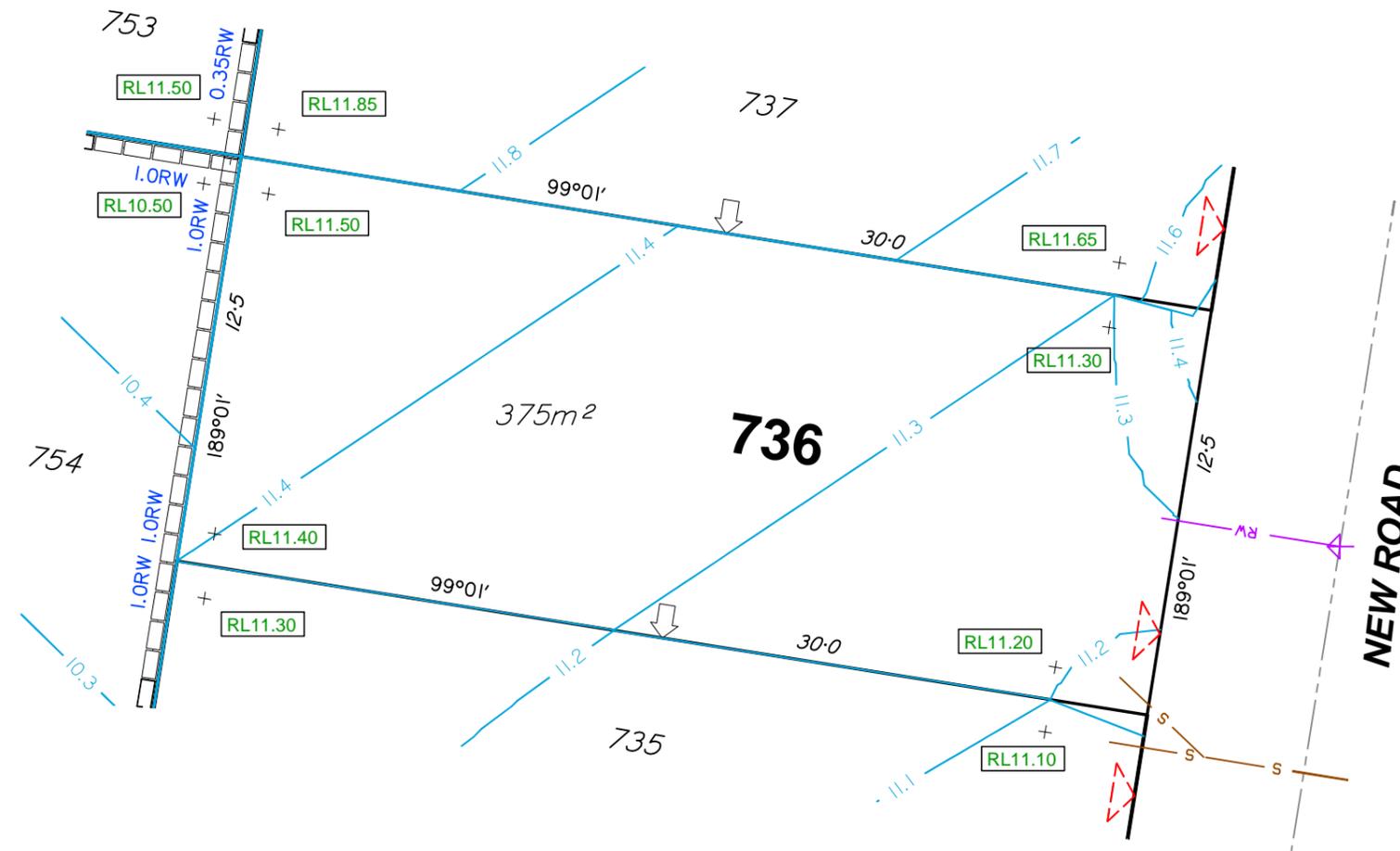
DISCLOSURE PLAN

For Proposed Lot 736
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - - - - - Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-736 VERSION B

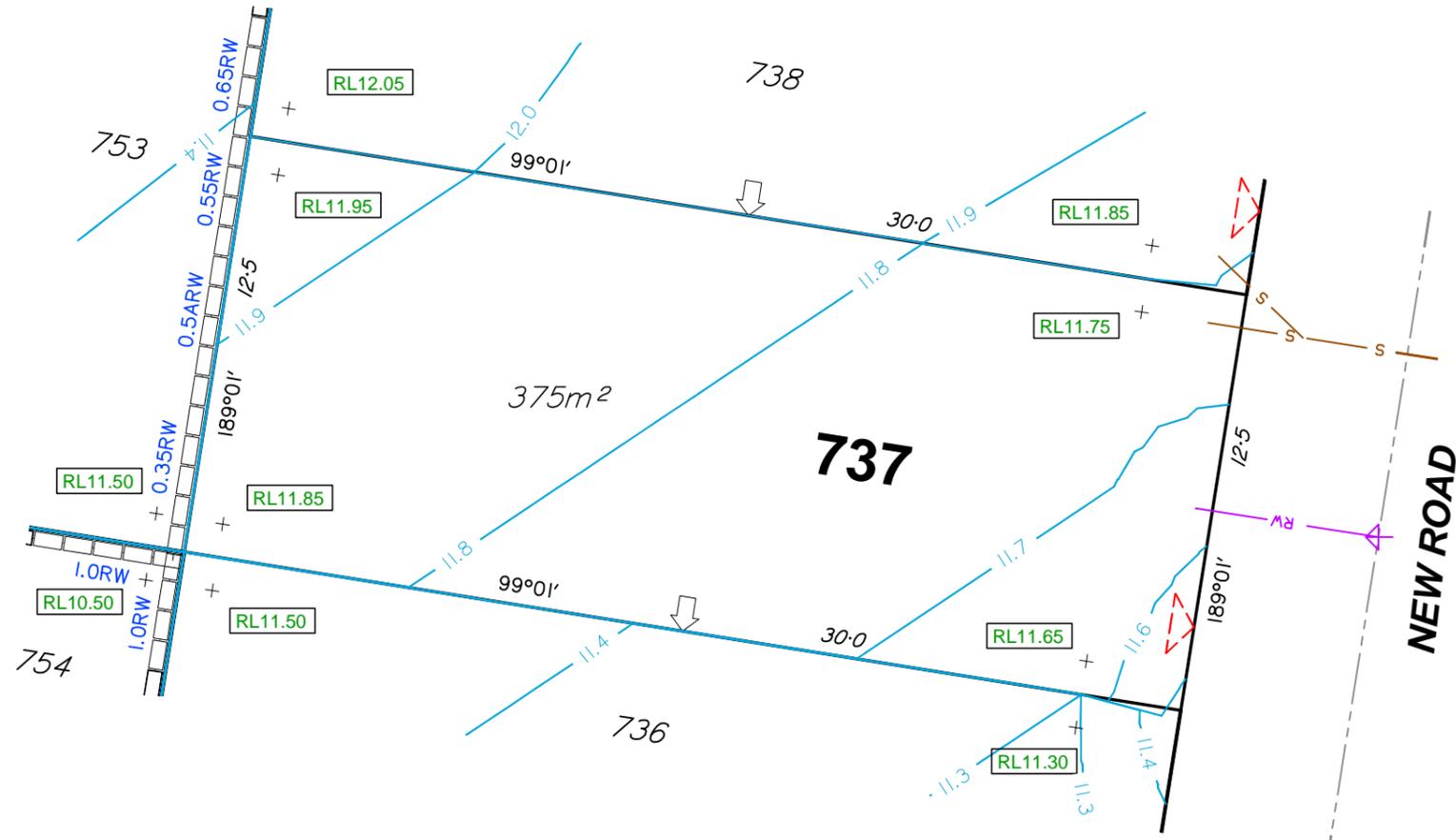
DISCLOSURE PLAN

For Proposed Lot 737
Riverbank - Stage 14A

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + RL57.32 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - // // Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

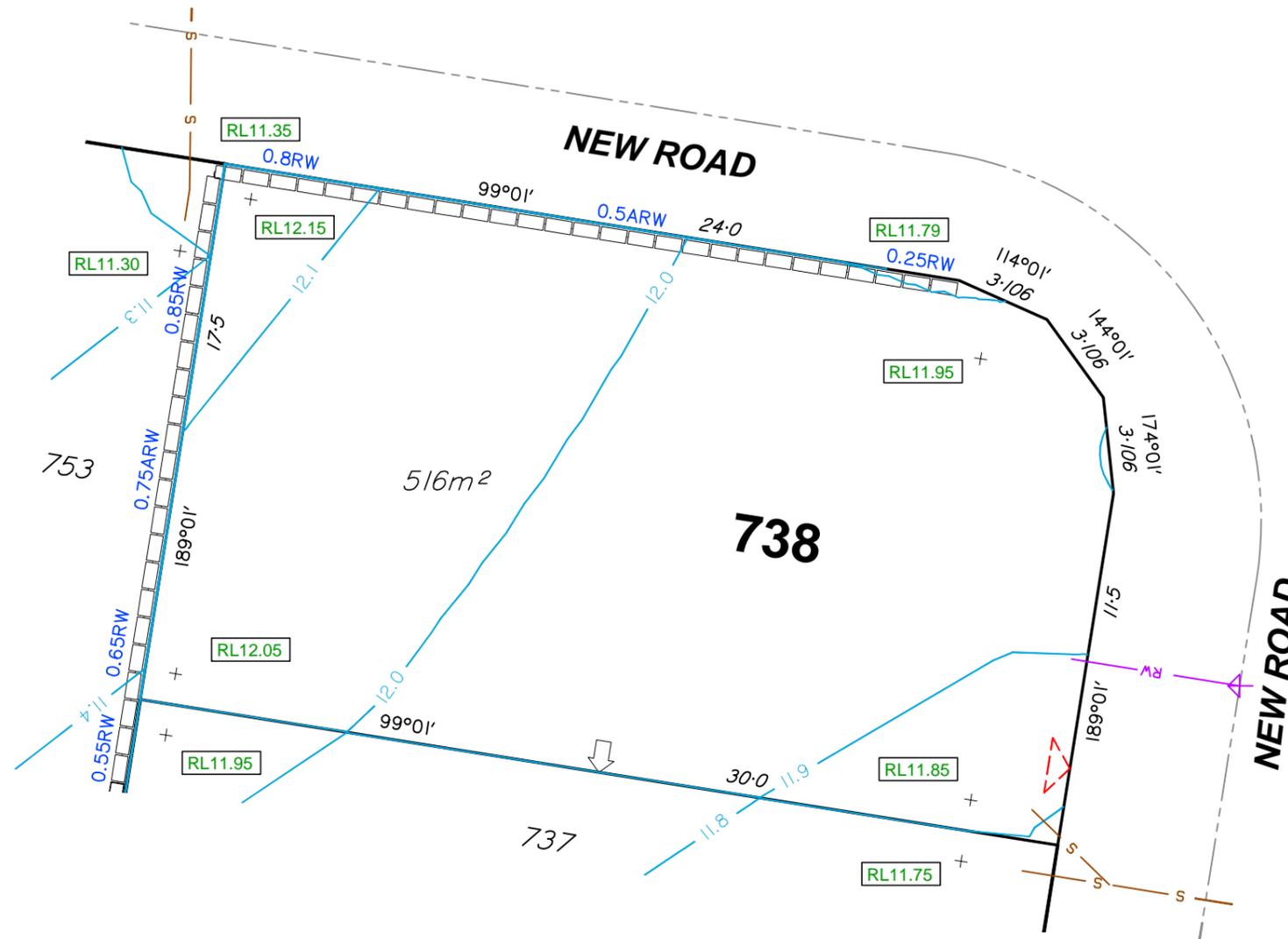
DATE DRAWN 05-09-2017
DRAWING NO. SB3594-09-737
VERSION B

DISCLOSURE PLAN

For Proposed Lot 738
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - AS Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - ◀ Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - // // Developer installed timber acoustic fence
 - ▾ Proposed Driveway
 - ↩ Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

WOLTER
consulting group

■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-738 VERSION B

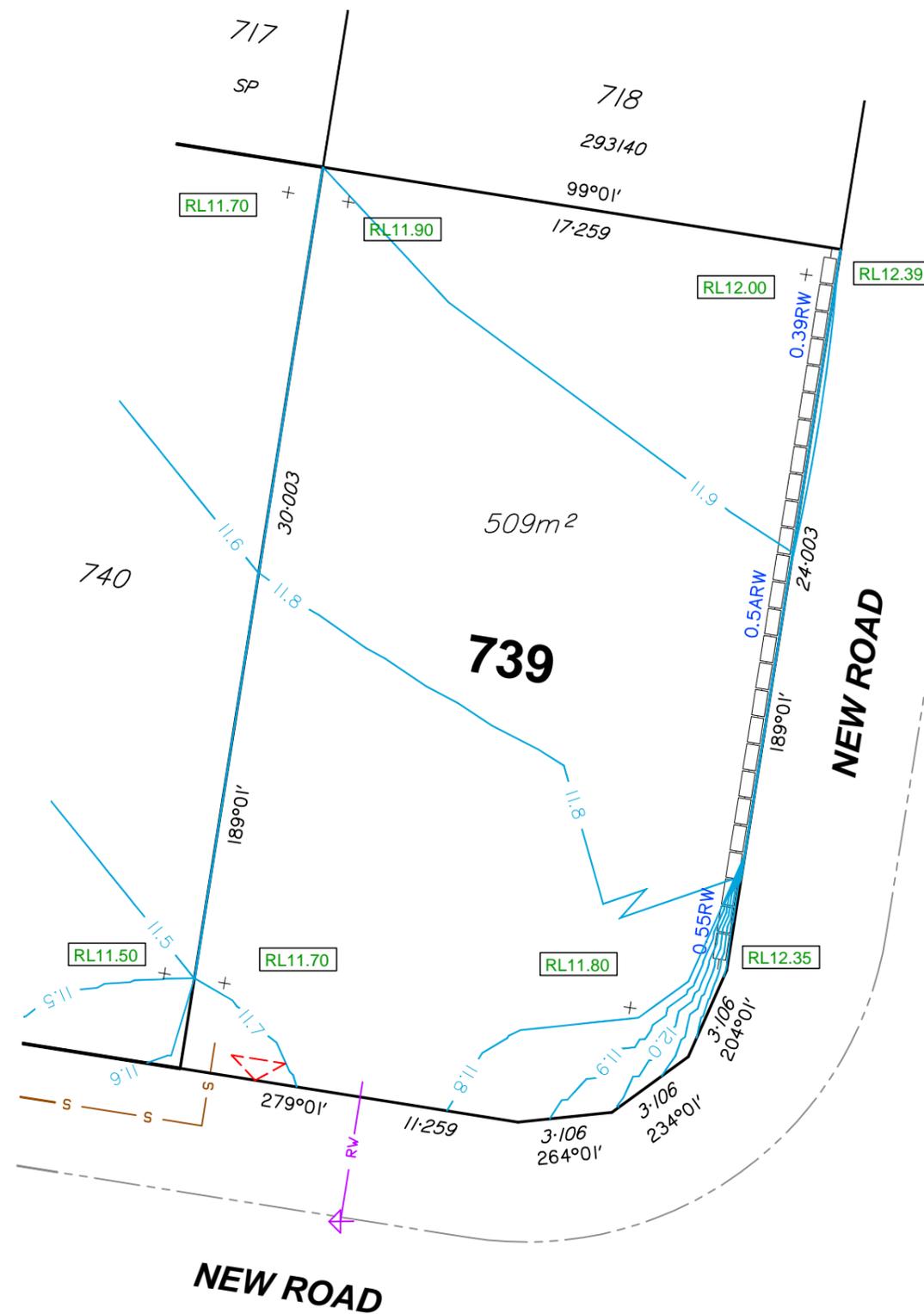
DISCLOSURE PLAN

For Proposed Lot 739
Riverbank - Stage 14A

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - + RL11.70 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

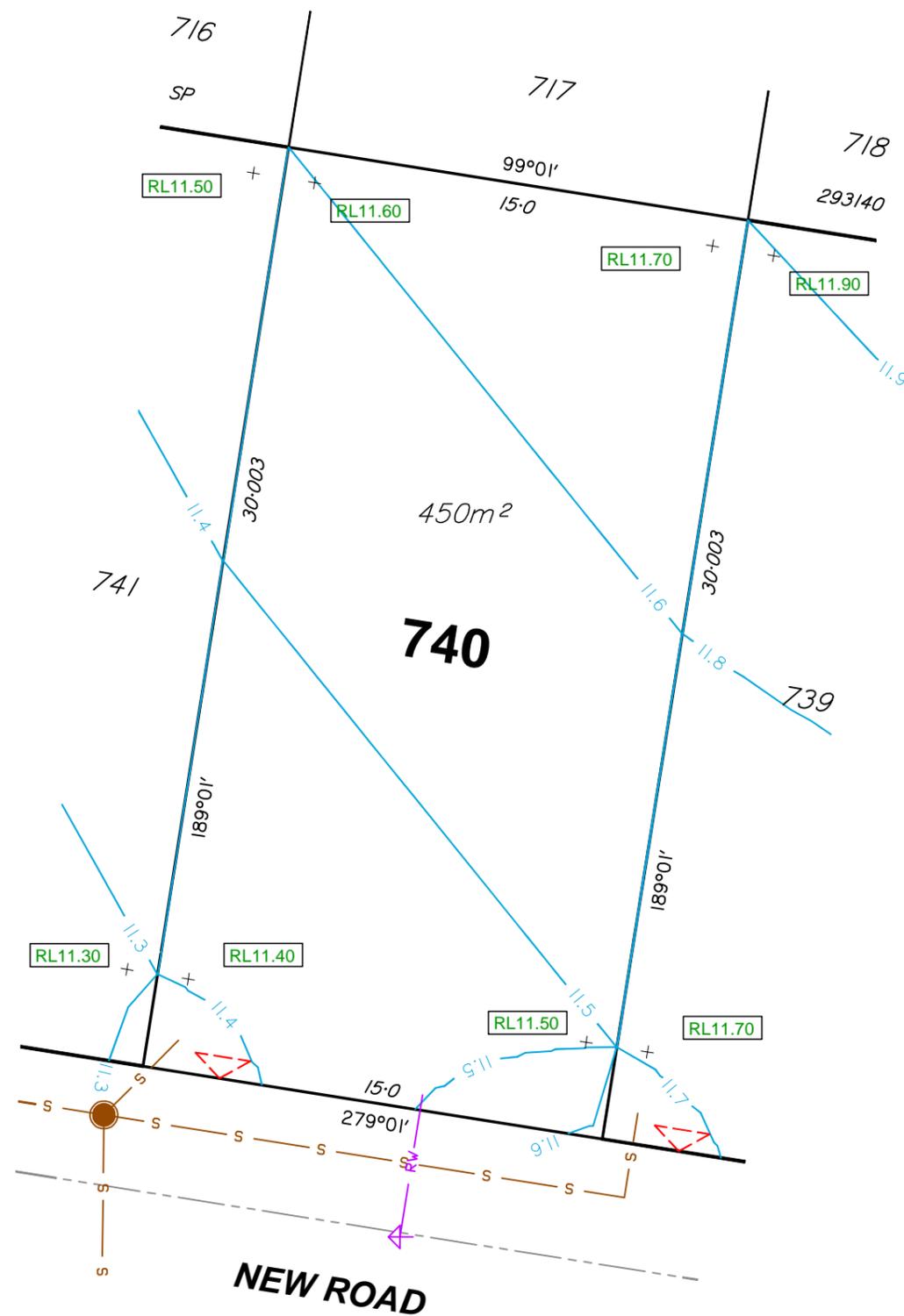
DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-739 VERSION B

DISCLOSURE PLAN

For Proposed Lot 740
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017
DRAWING NO. SB3594-09-740
VERSION B

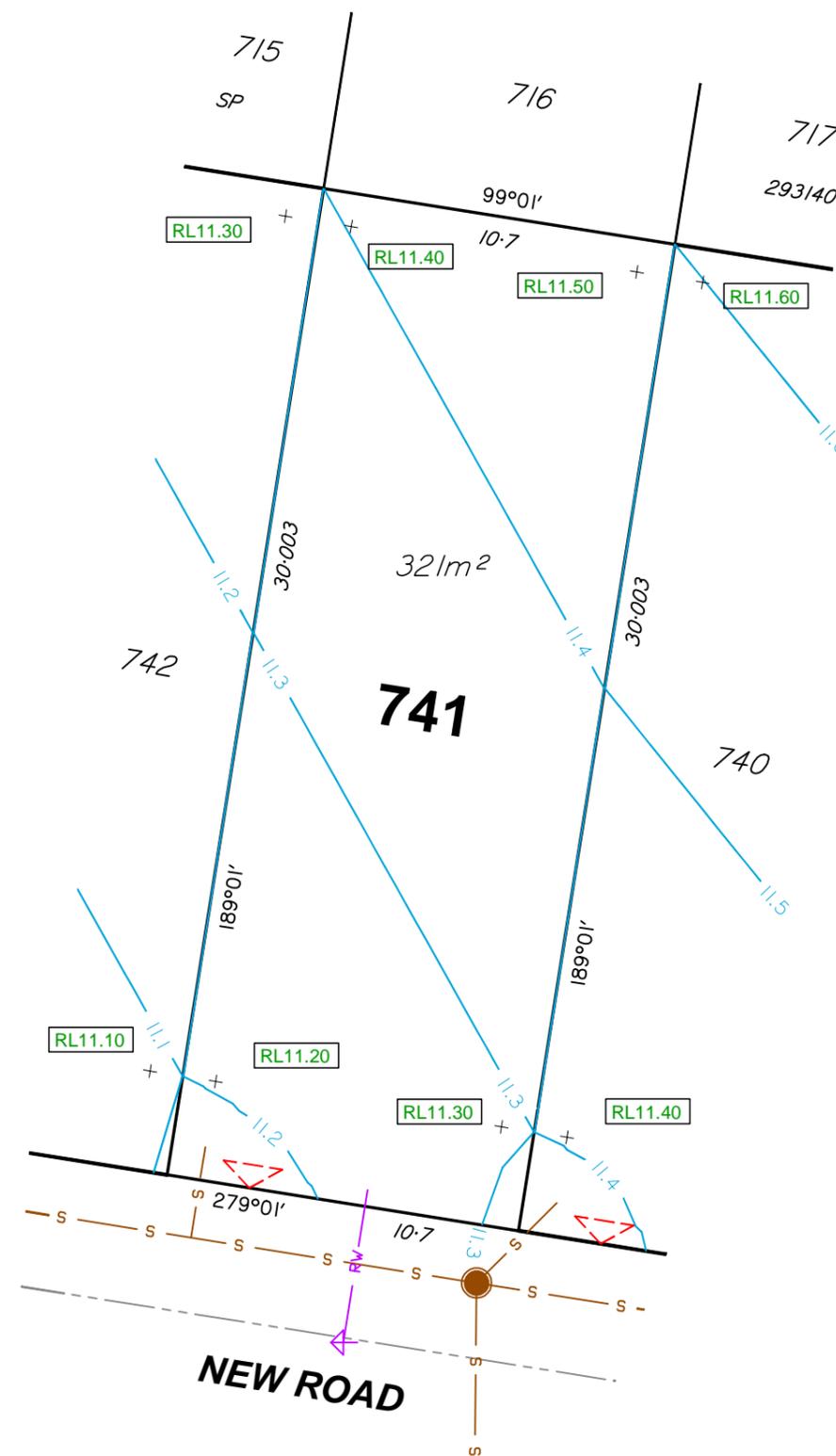
DISCLOSURE PLAN

For Proposed Lot 741
Riverbank - Stage 14A

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + [RL57.32] Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-741 VERSION B

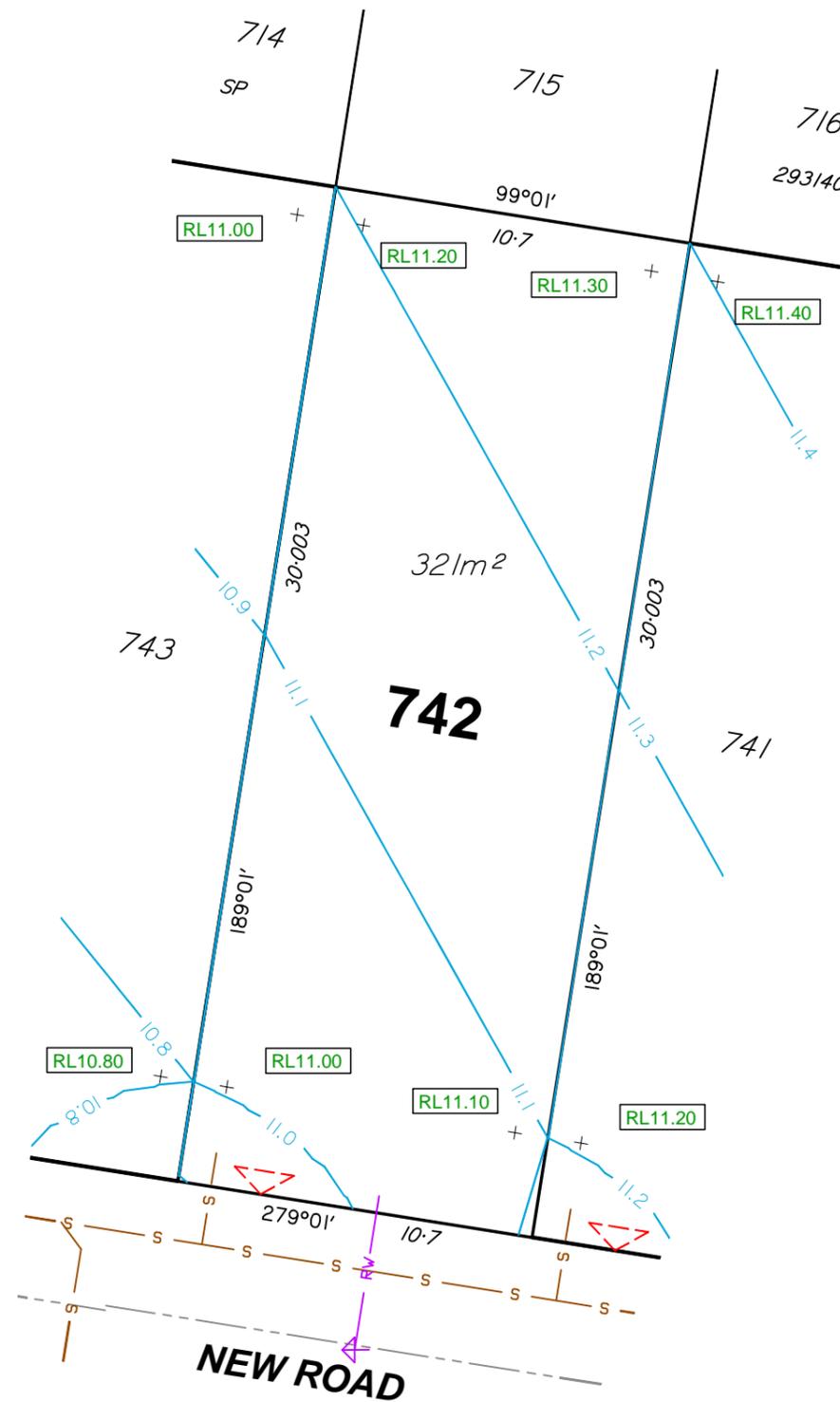
DISCLOSURE PLAN

For Proposed Lot 742
Riverbank - Stage 14A

Currently Described As
RPD: Part of Lot 1006 on SP293140
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 - AS Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 - ← Kerb Adapter
 - Area to be Filled
 - + RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-742 VERSION B

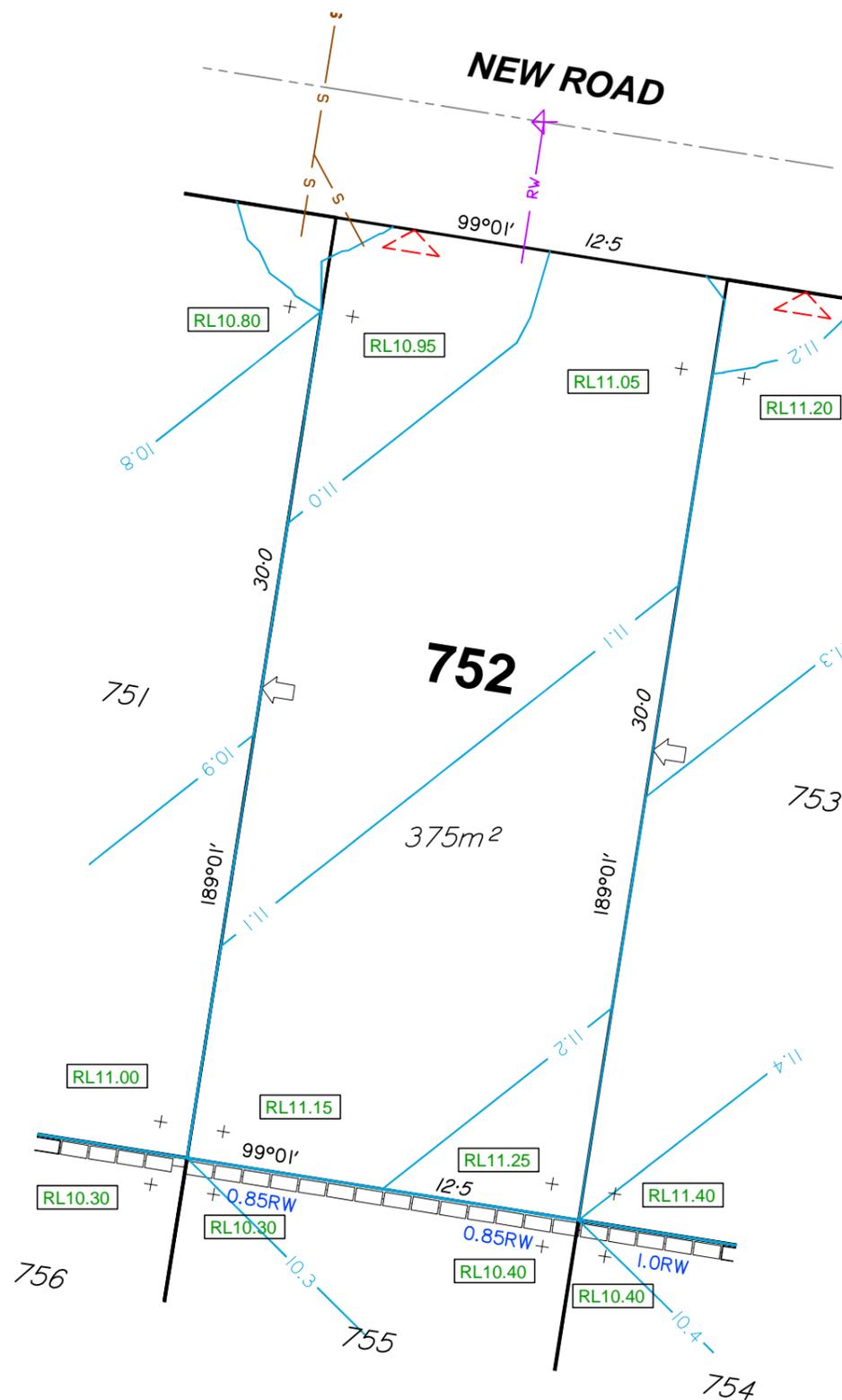
DISCLOSURE PLAN

For Proposed Lot 752
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

| | | |
|--|-----------|--|
| | 46.0 | Finished Surface Contours (0.1m Interval) |
| | 1.0 | Depth of Fill Contours (0.1m Interval) |
| | | Easement Boundary |
| | | Kerb Line |
| | | Edge of Pad |
| | S | Sewer/Sewer Manhole |
| | SW | Stormwater/Stormwater Manhole |
| | AS | Stormwater Gully Trap |
| | RW | Roofwater/Roofwater Pit |
| | | Kerb Adapter |
| | | Area to be Filled |
| | + RL57.32 | Design Pad Level |
| | | Retaining Wall |
| | RW ARW | Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) |
| | | Developer installed timber acoustic fence |
| | | Proposed Driveway |
| | | Zero Lot Line Boundary |



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

WOLTER
consulting group

Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

| | | |
|--------------------------|------------------------------|--------------|
| DATE DRAWN 05-09-2017 | DRAWING NO. SB3594-09-752 | VERSION B |
|--------------------------|------------------------------|--------------|

DISCLOSURE PLAN

For Proposed Lot 754
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Kerb Adapter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Developer installed timber acoustic fence
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

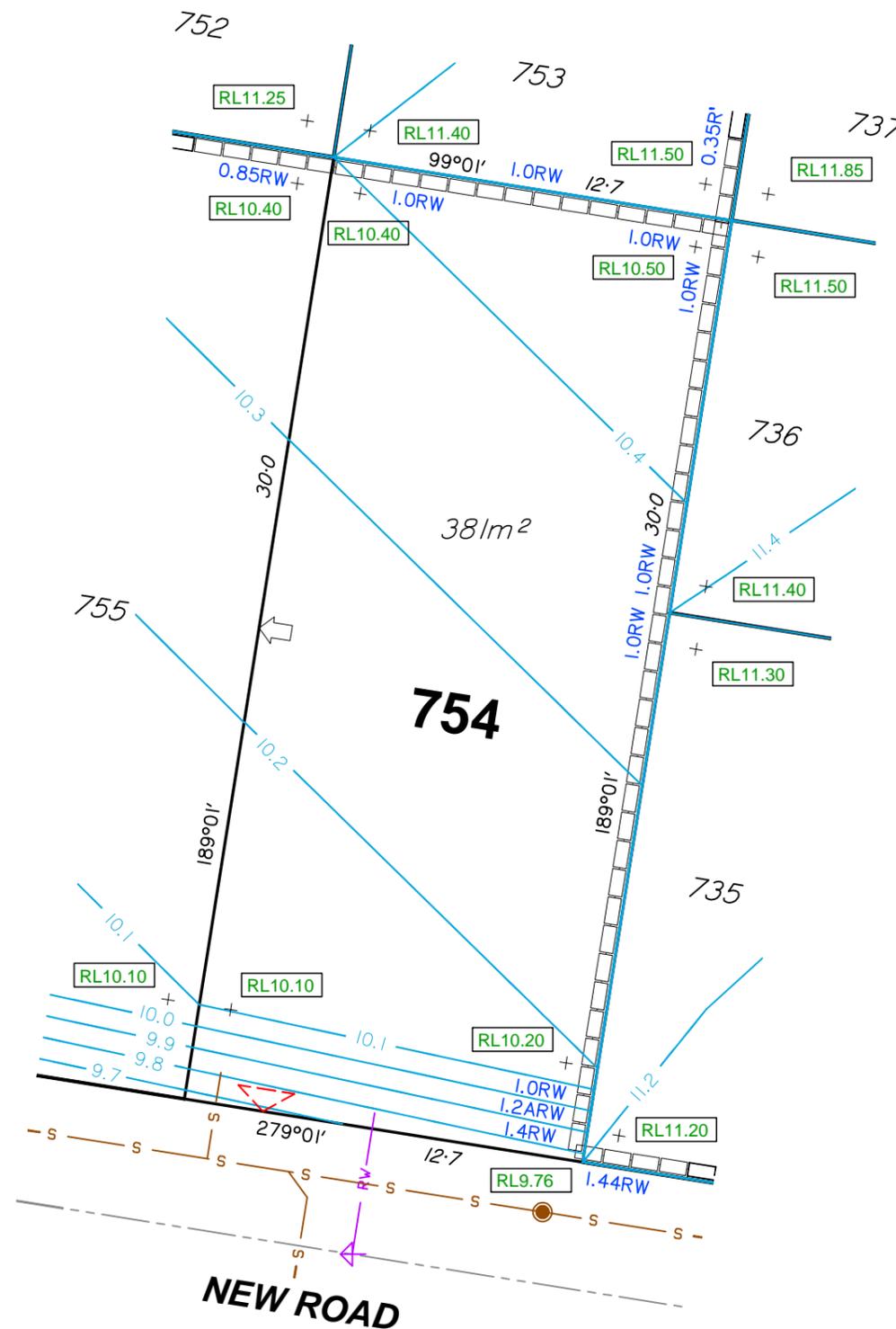


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-754 VERSION B



DISCLOSURE PLAN

For Proposed Lot 755
Riverbank - Stage 14A

Currently Described As Part of Lot 1006 on SP293140
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - S — Sewer/Sewer Manhole
 - SW — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RW — Roofwater/Roofwater Pit
 -  Kerb Adapter
 -  Area to be Filled
 - + [RL57.32] Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - // // Developer installed timber acoustic fence
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 18-08-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



WOLTER
consulting group

 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 05-09-2017 DRAWING NO. SB3594-09-755 VERSION B

