

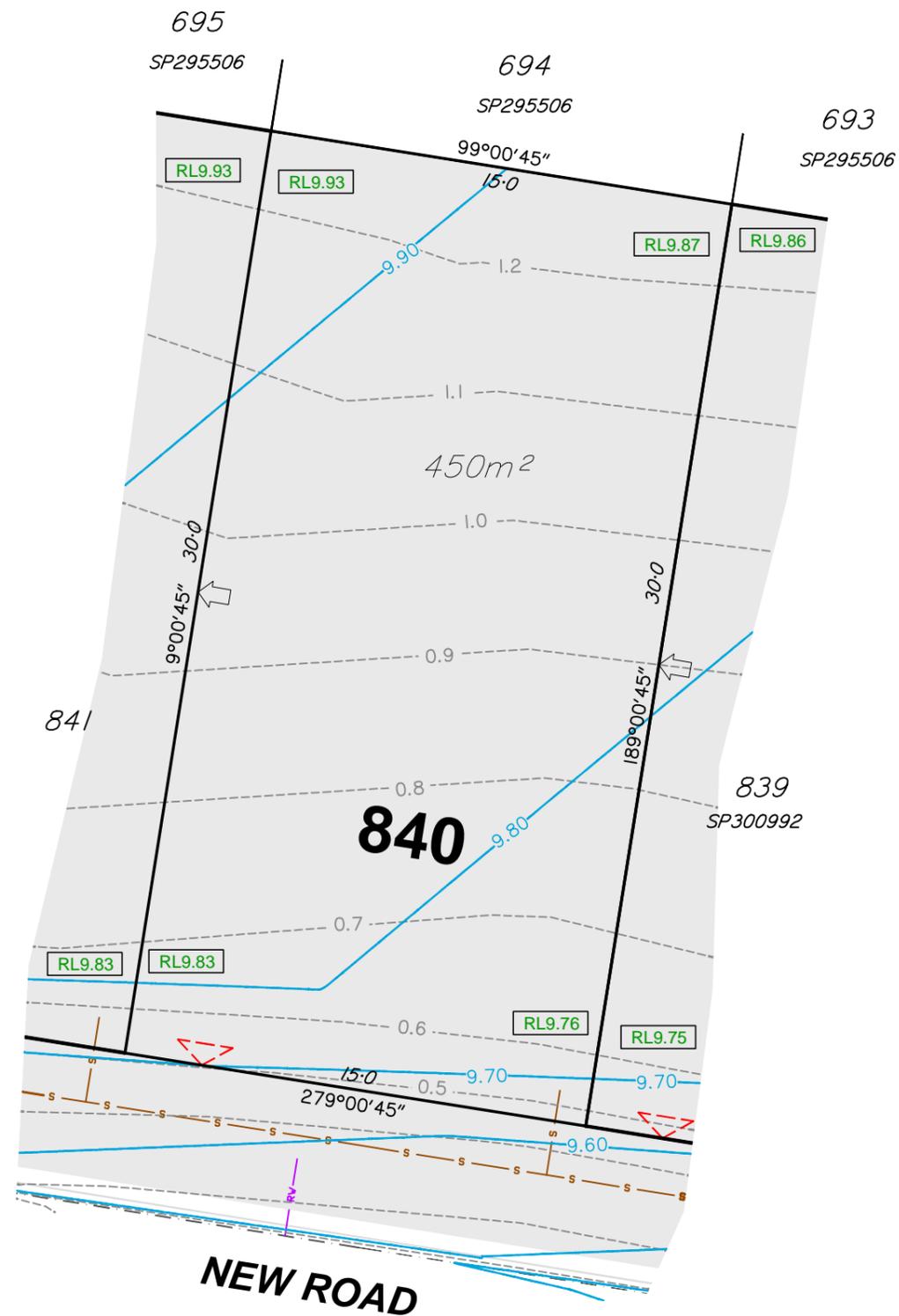
# DISCLOSURE PLAN

For Proposed Lot 840  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - RL9.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-840 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 841  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 430 815 445"/> Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

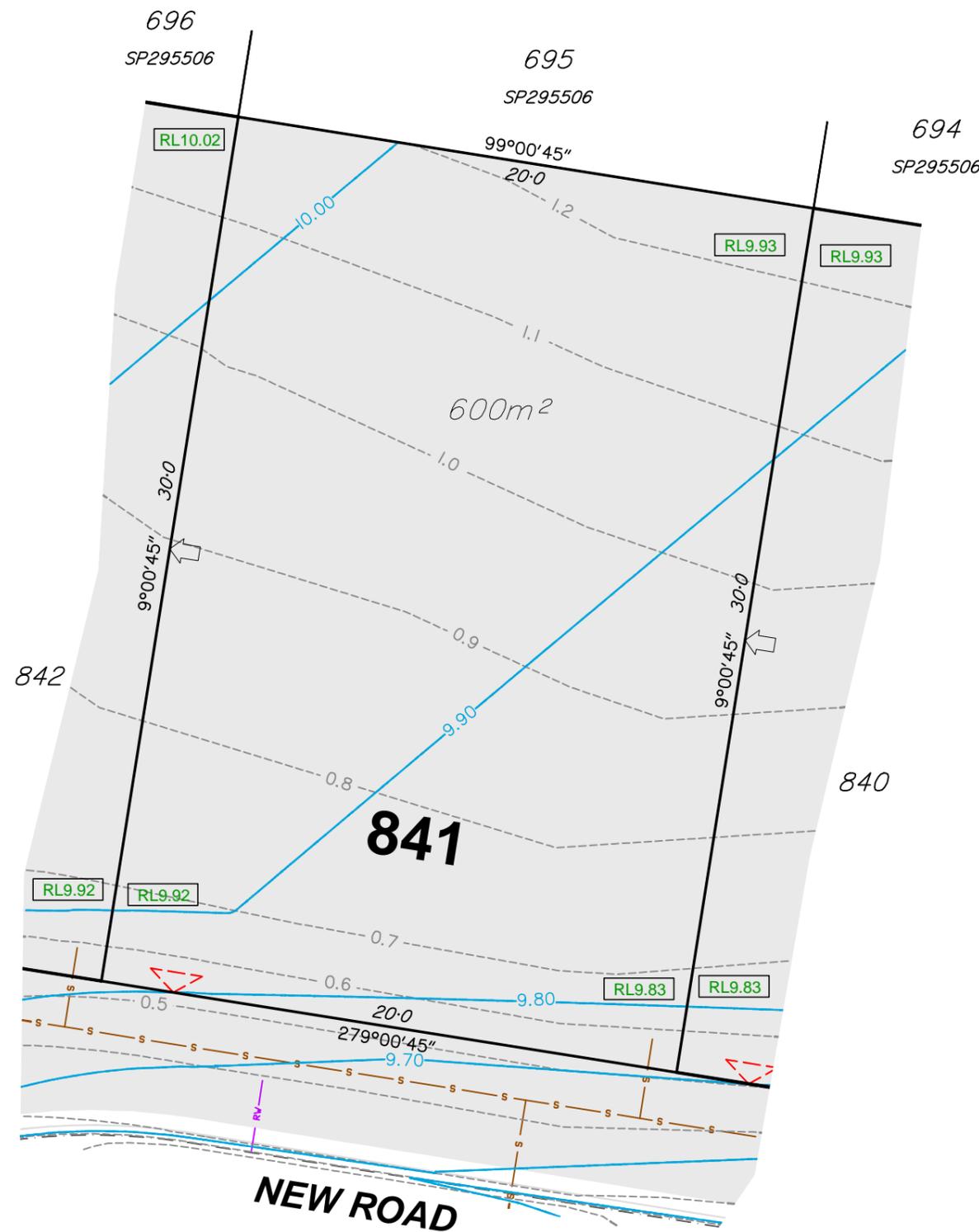


HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-841 VERSION A



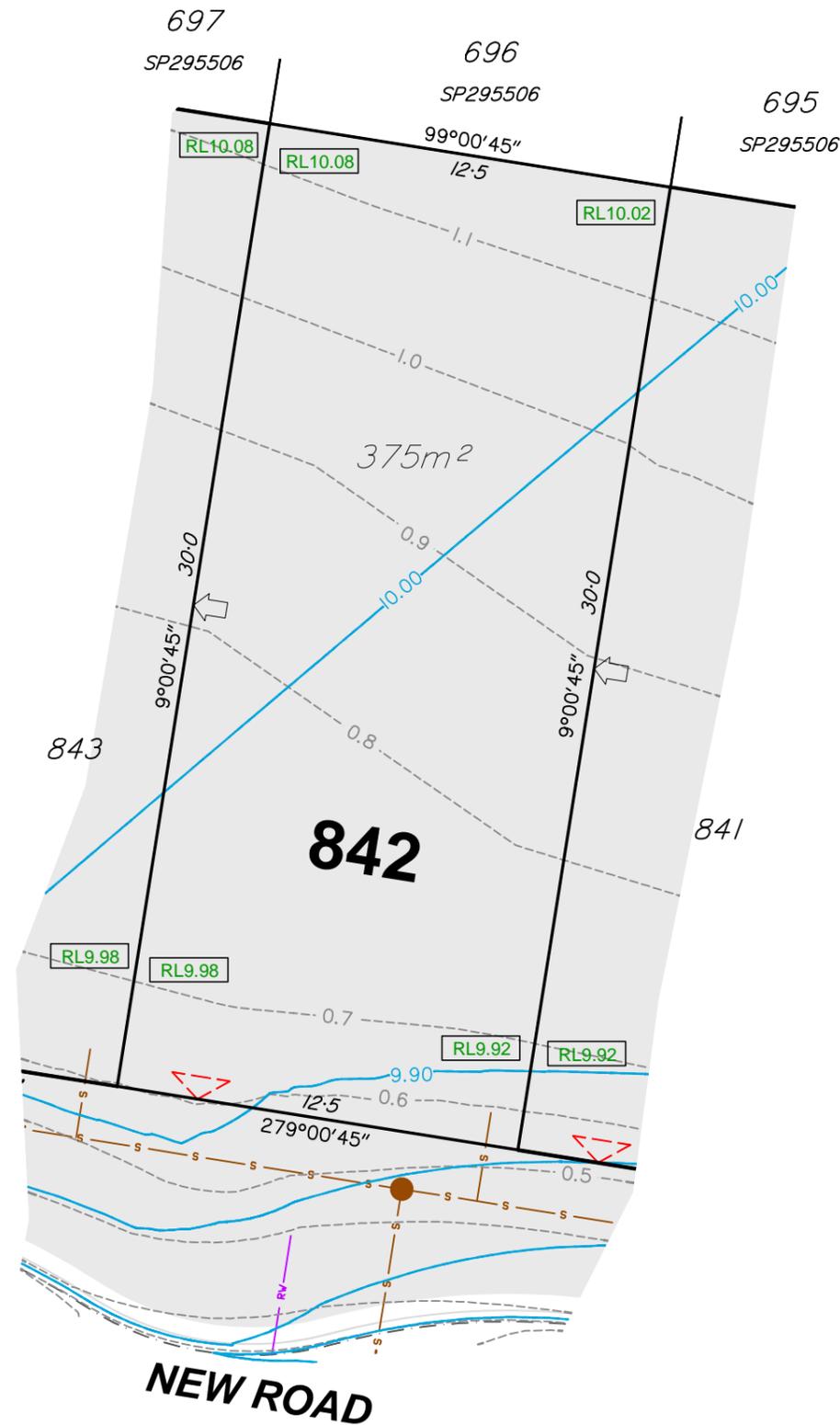
# DISCLOSURE PLAN

For Proposed Lot 842  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK

**WOLTER**  
consulting group

■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-842 VERSION A

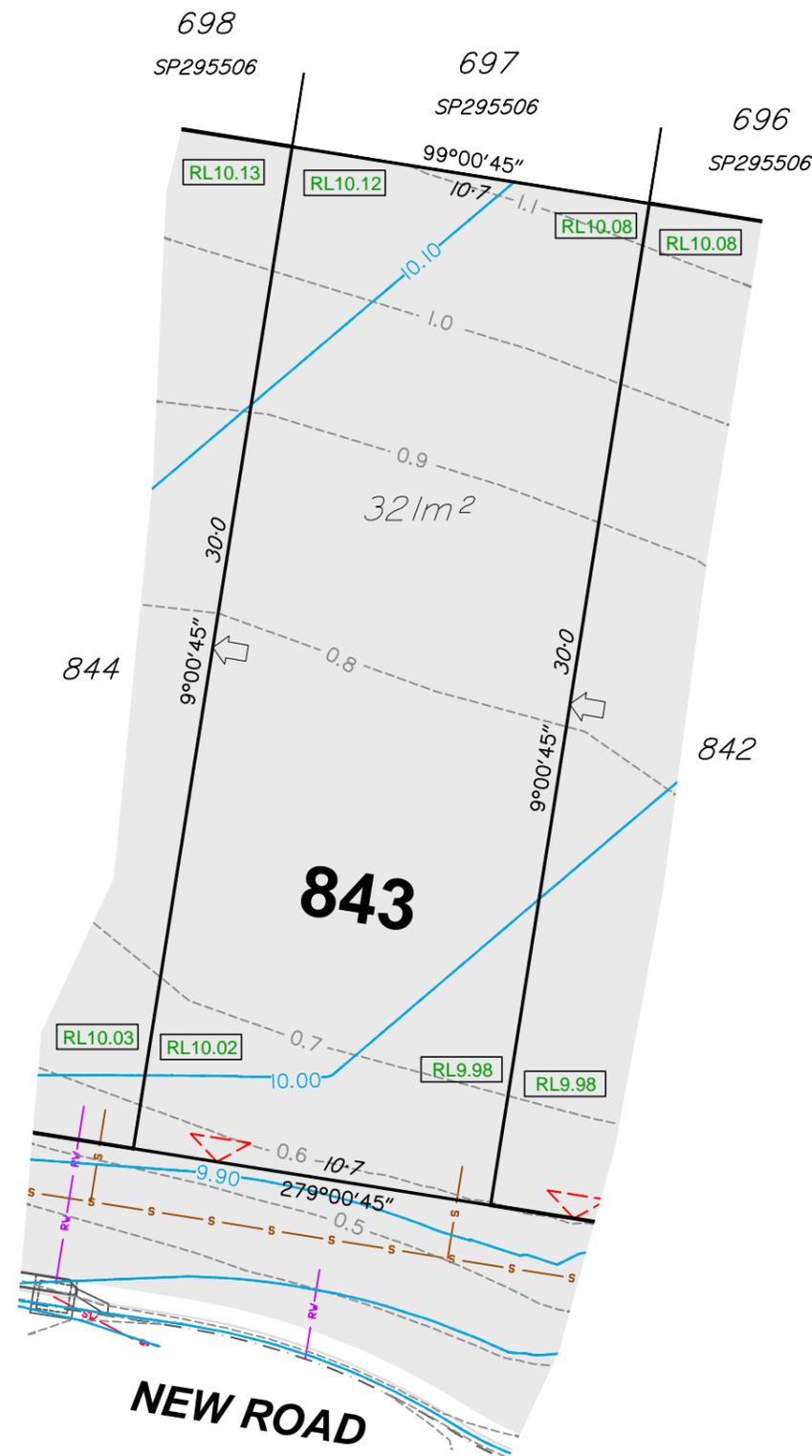
# DISCLOSURE PLAN

For Proposed Lot 843  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-843 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 844  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

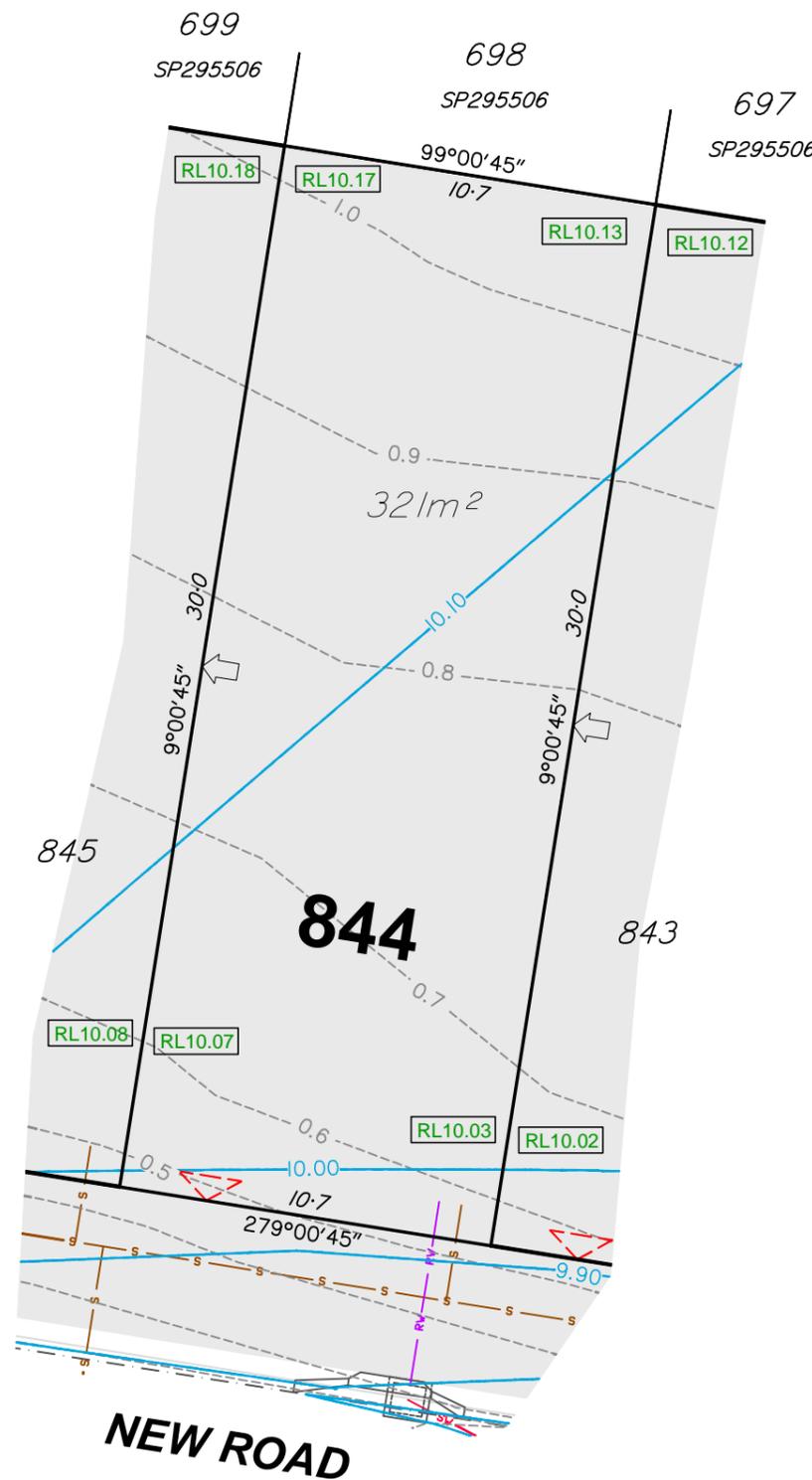


HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-844 VERSION A



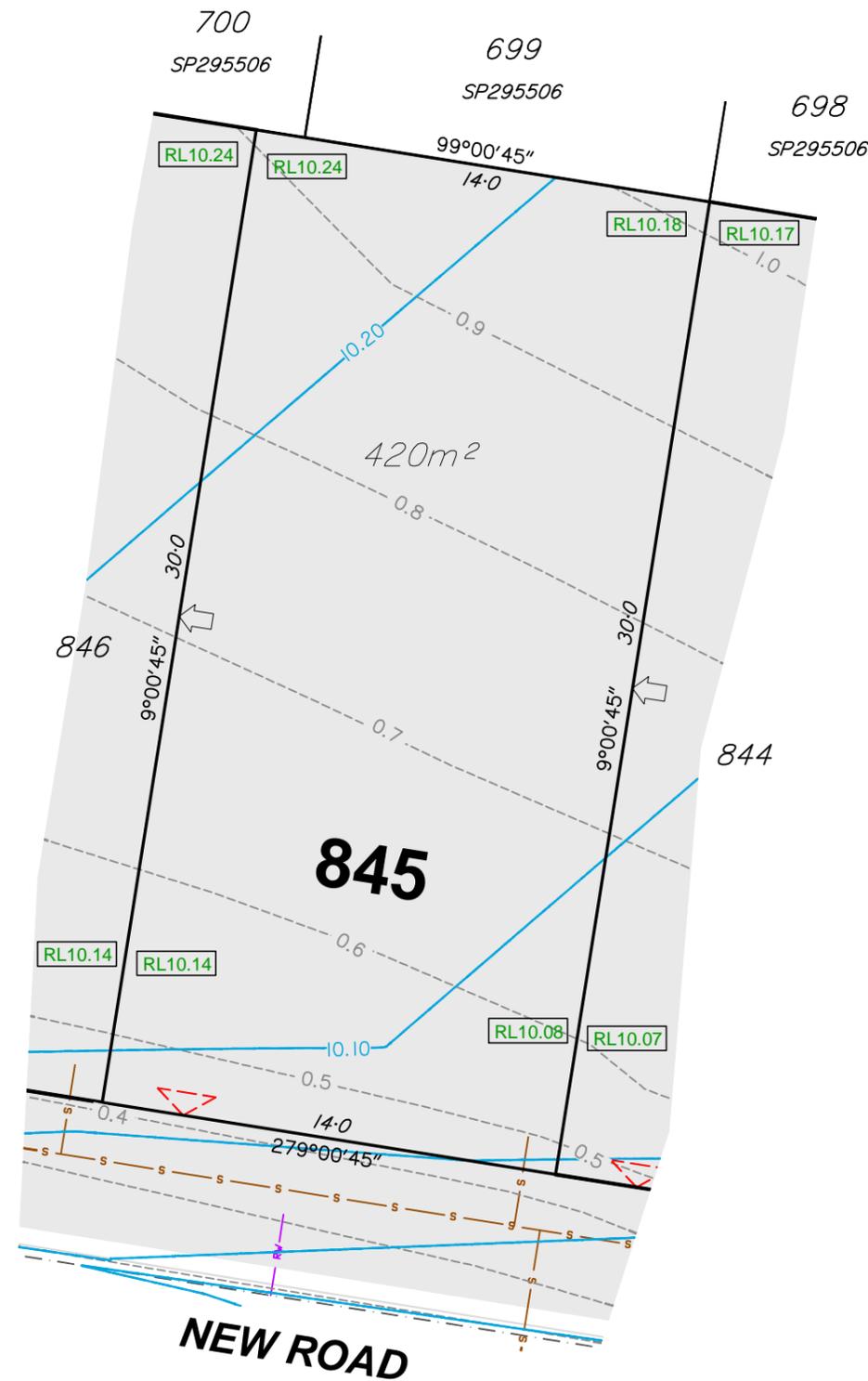
# DISCLOSURE PLAN

For Proposed Lot 845  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 430 815 445"/> Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-845	VERSION A
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# DISCLOSURE PLAN

For Proposed Lot 846  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



**WOLTER**  
consulting group

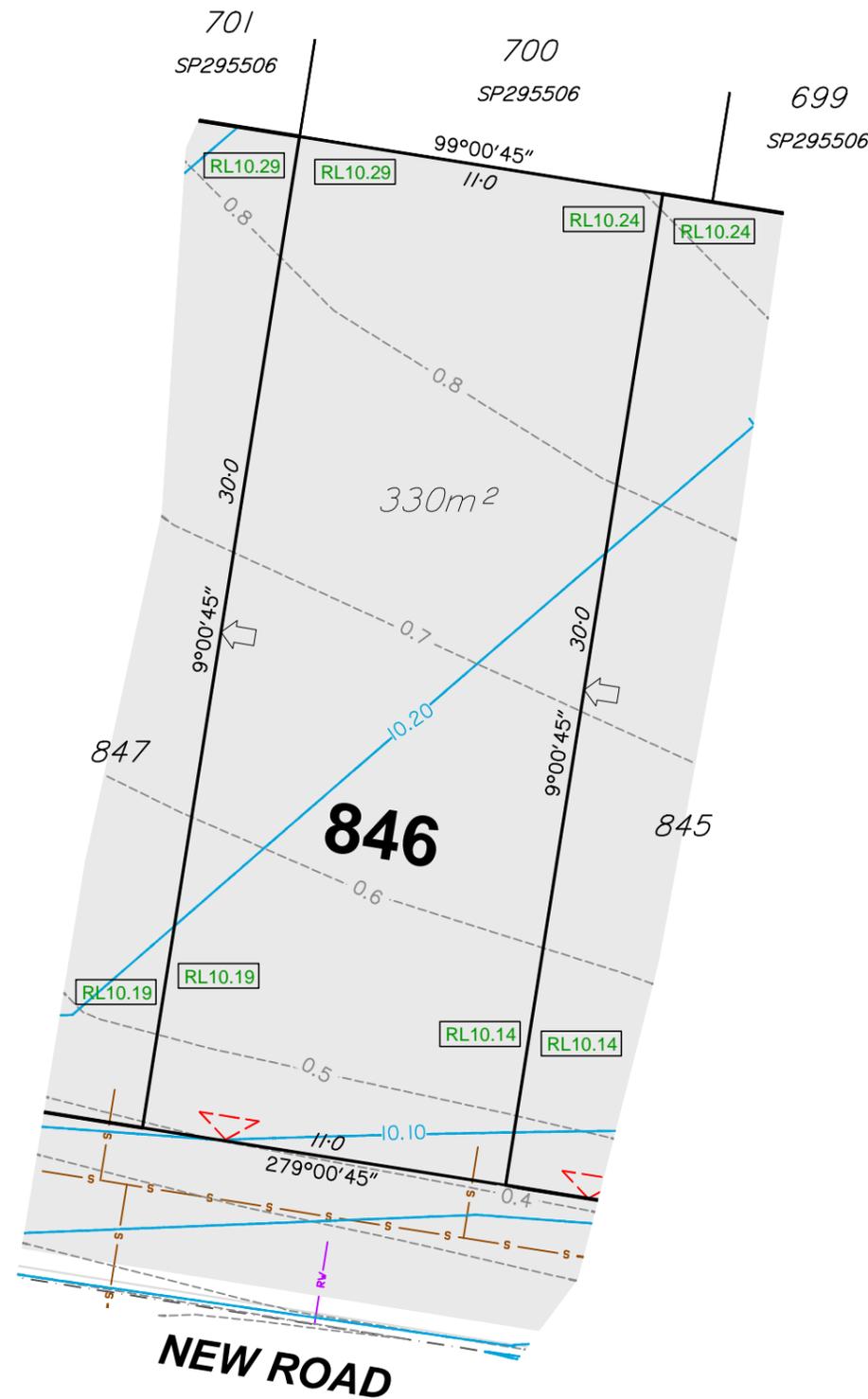
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-846 VERSION A



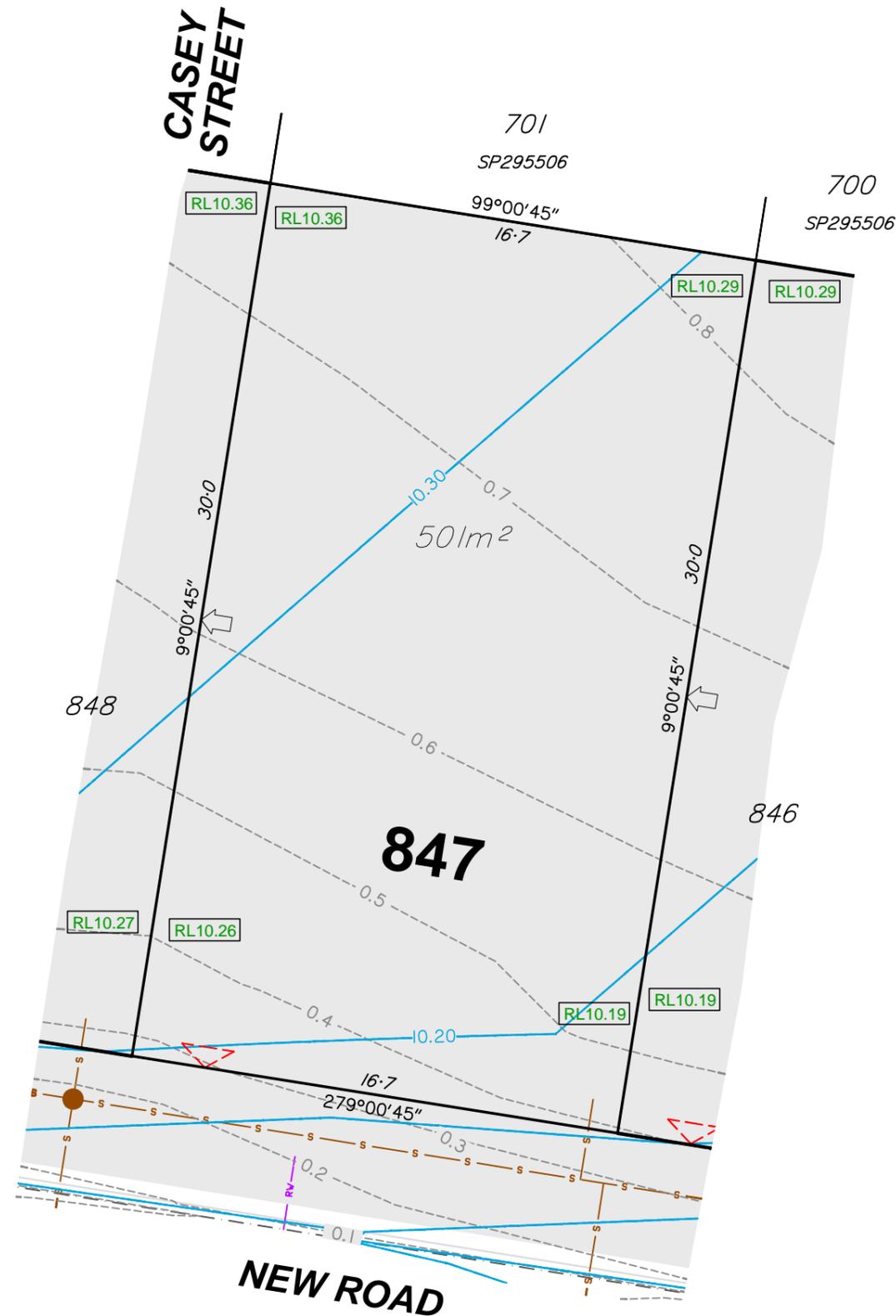
# DISCLOSURE PLAN

For Proposed Lot 847  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018  
DRAWING NO. SB3594-09-847  
VERSION A

# DISCLOSURE PLAN

For Proposed Lot 848  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



**WOLTER**  
consulting group

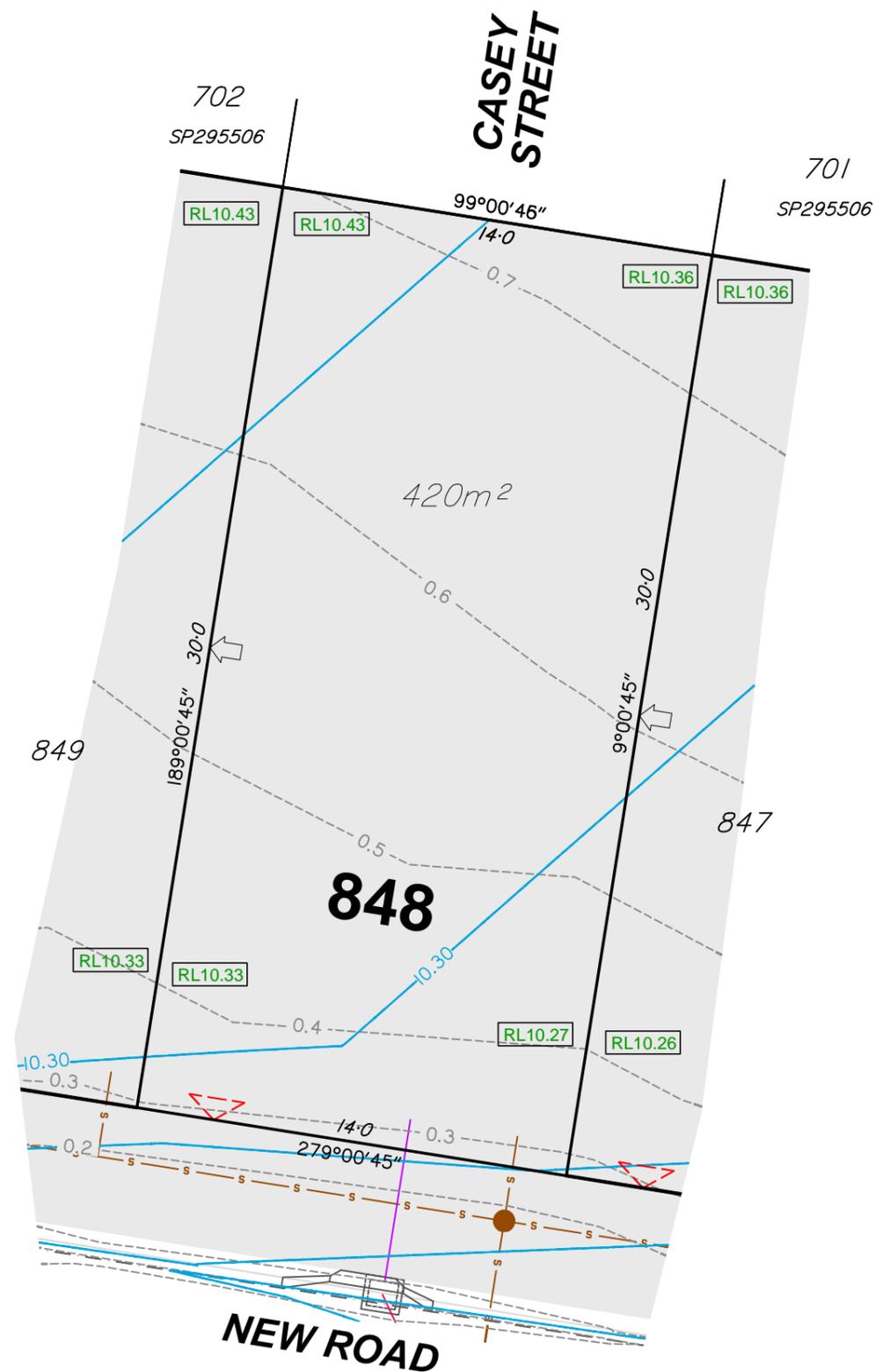
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-848 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 849  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - = 1.8m High Timber Acoustic Fence  
(Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
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6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



**WOLTER**  
consulting group

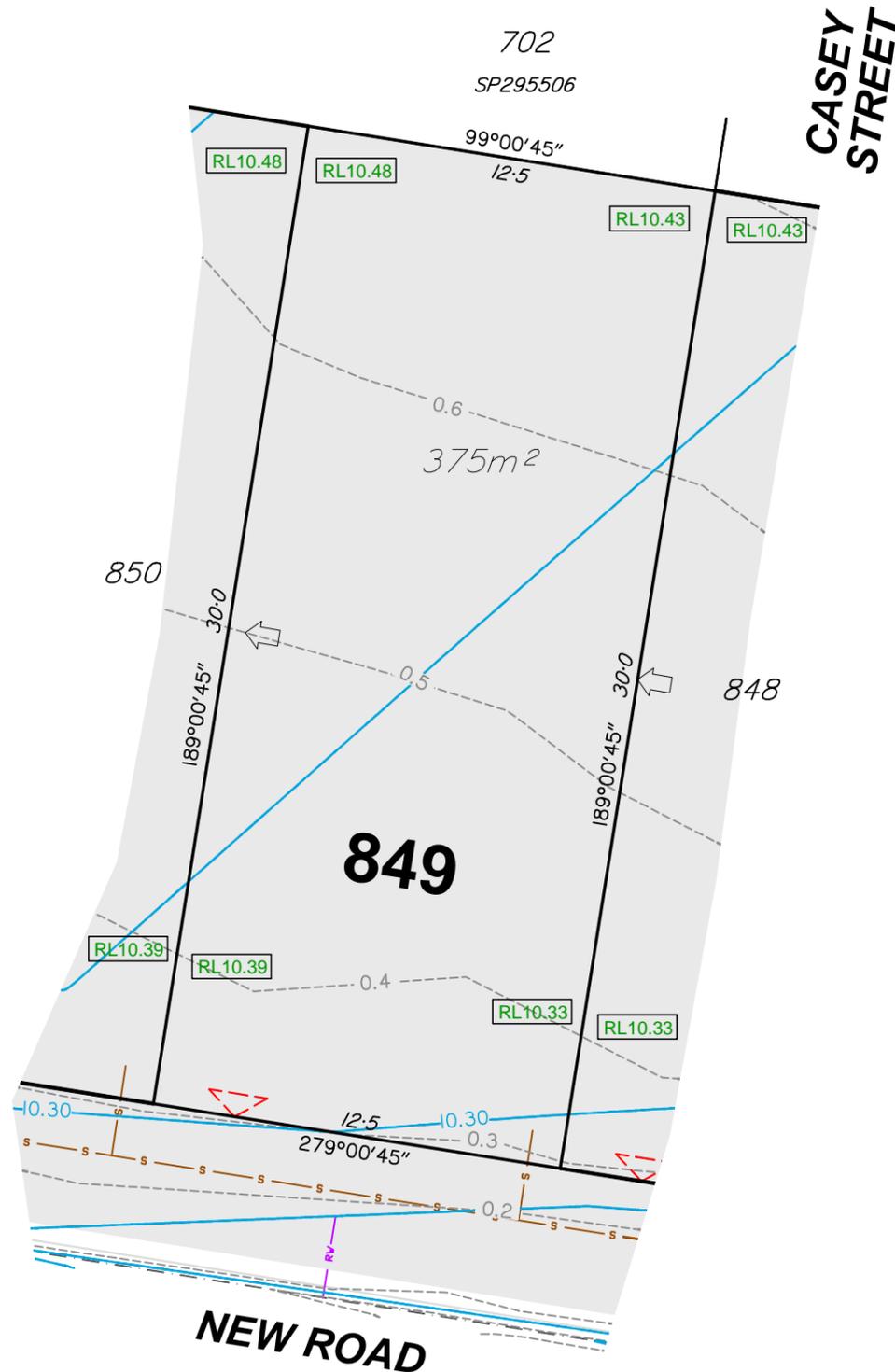
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-849 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 850  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
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# RIVERBANK

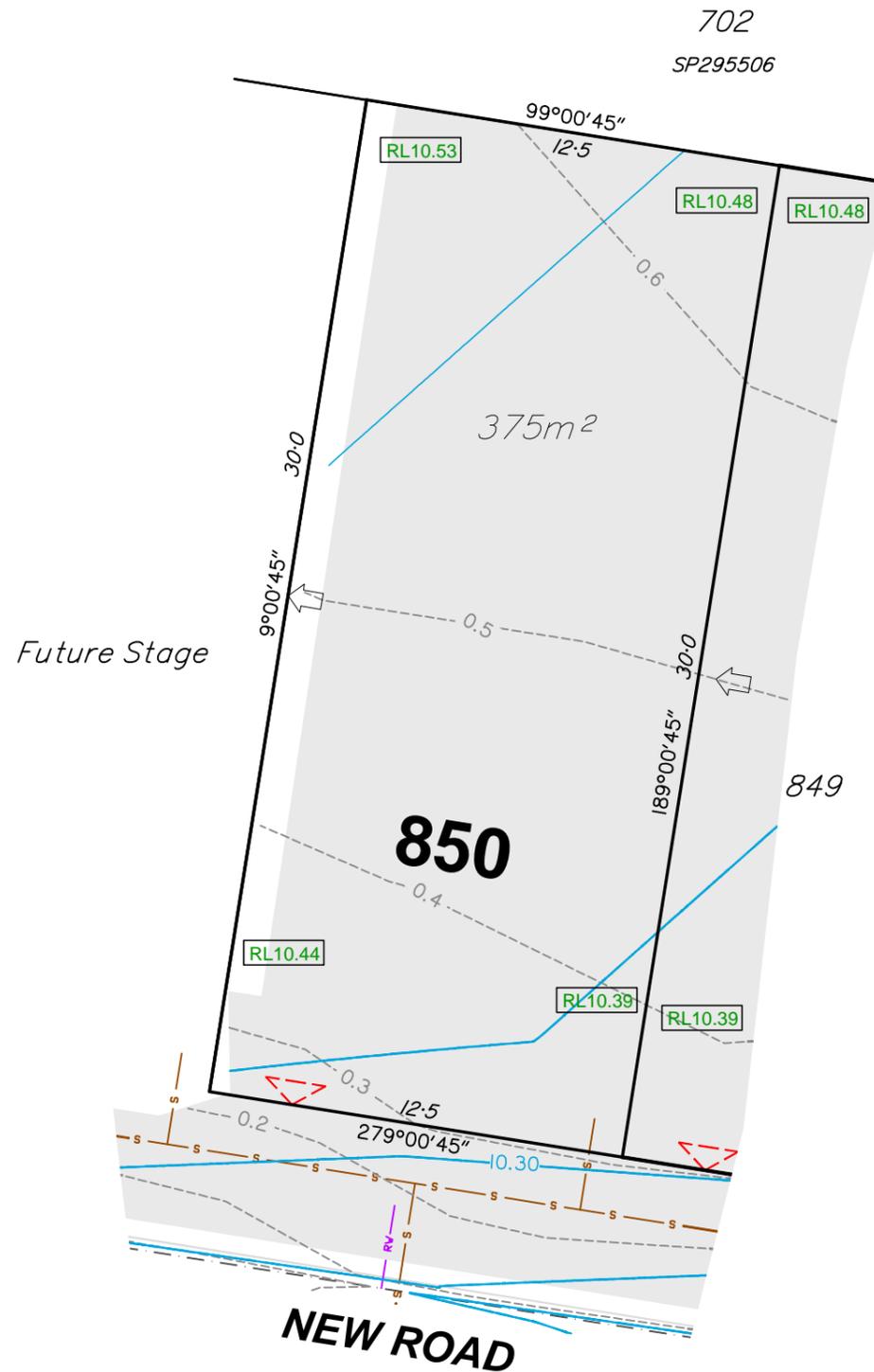


HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-850 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 860  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- Finished Surface Contours (0.1m Interval)
  - Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

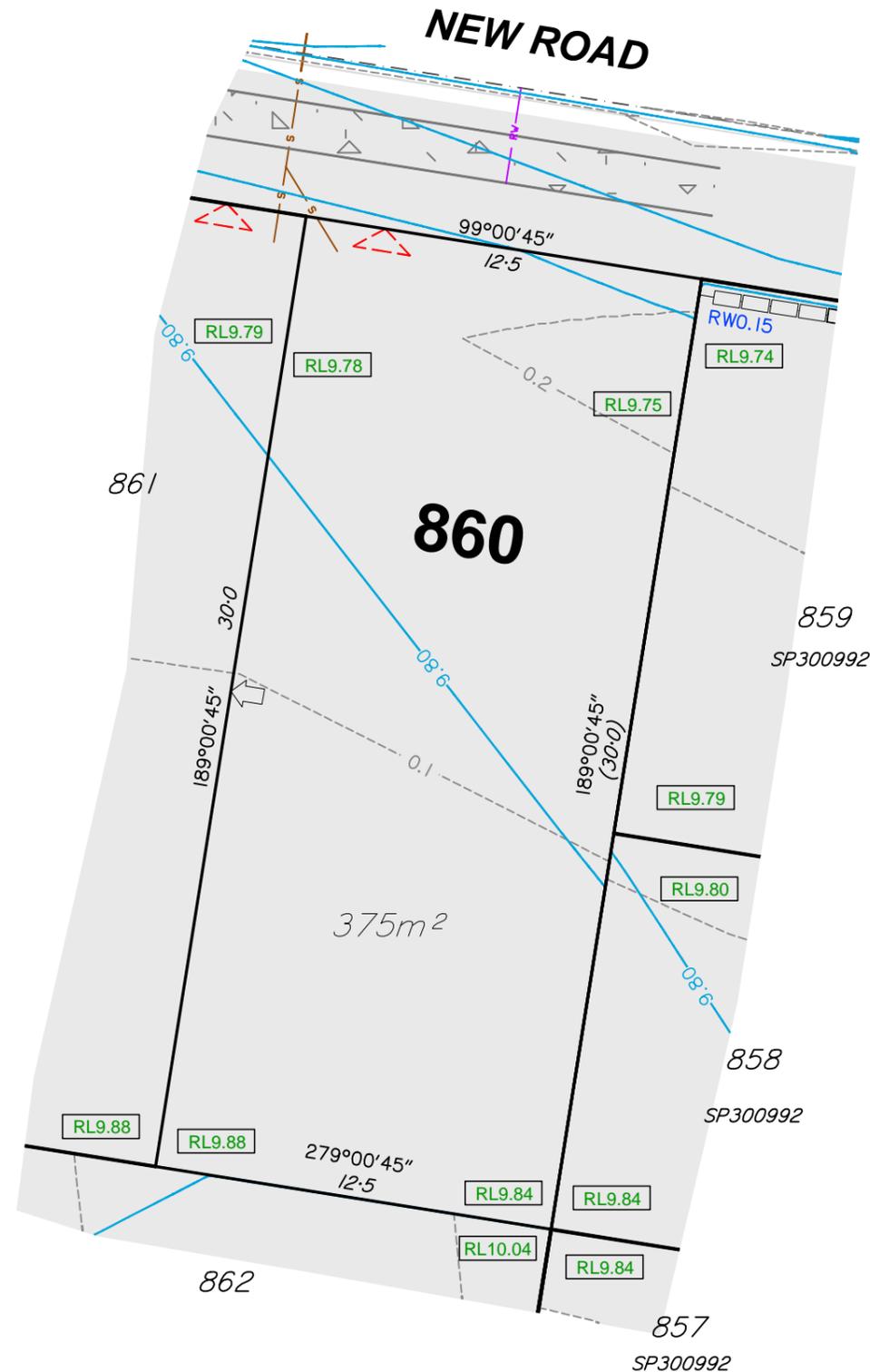


HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-860 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 861  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

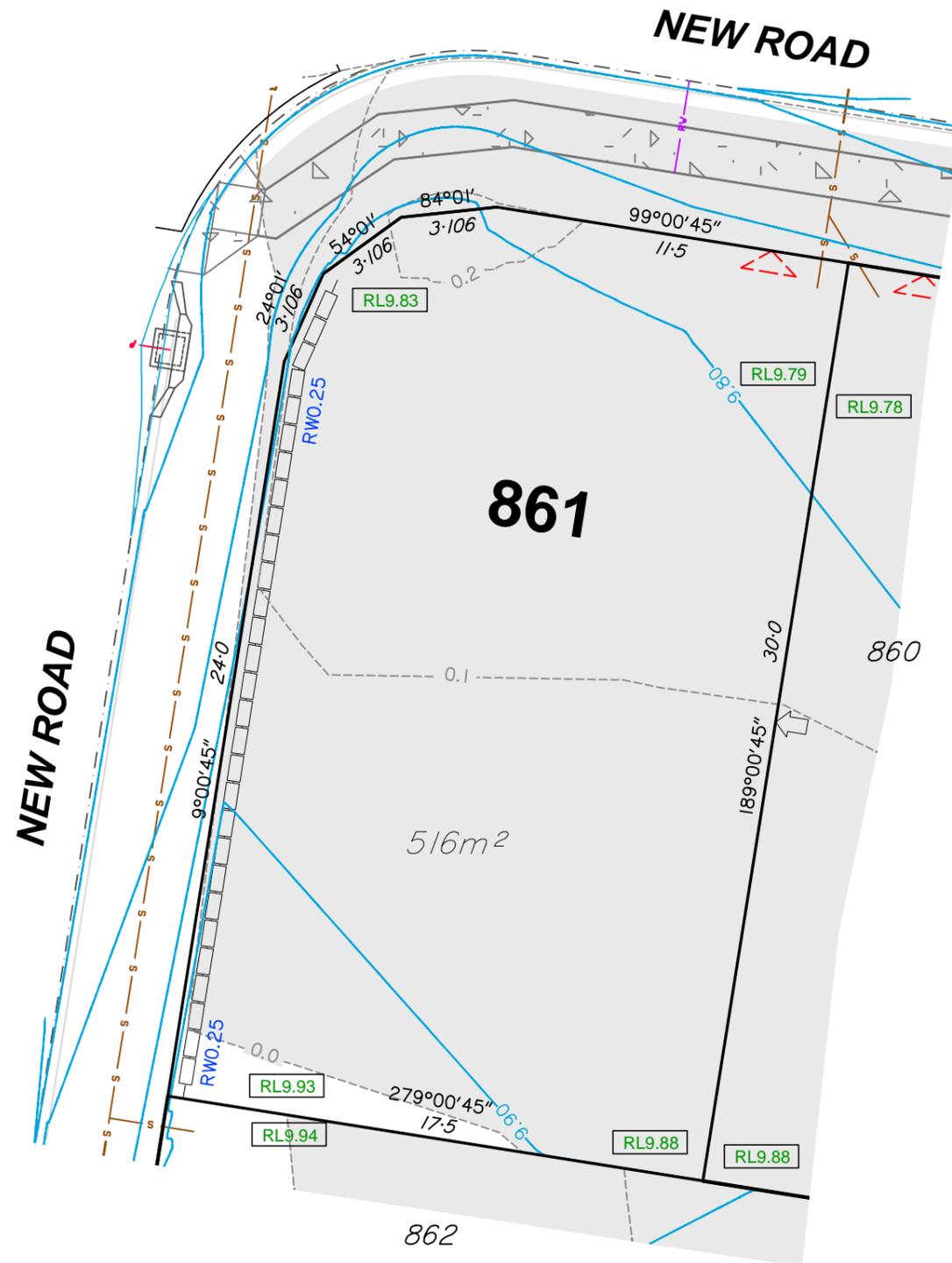


HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-861 VERSION A



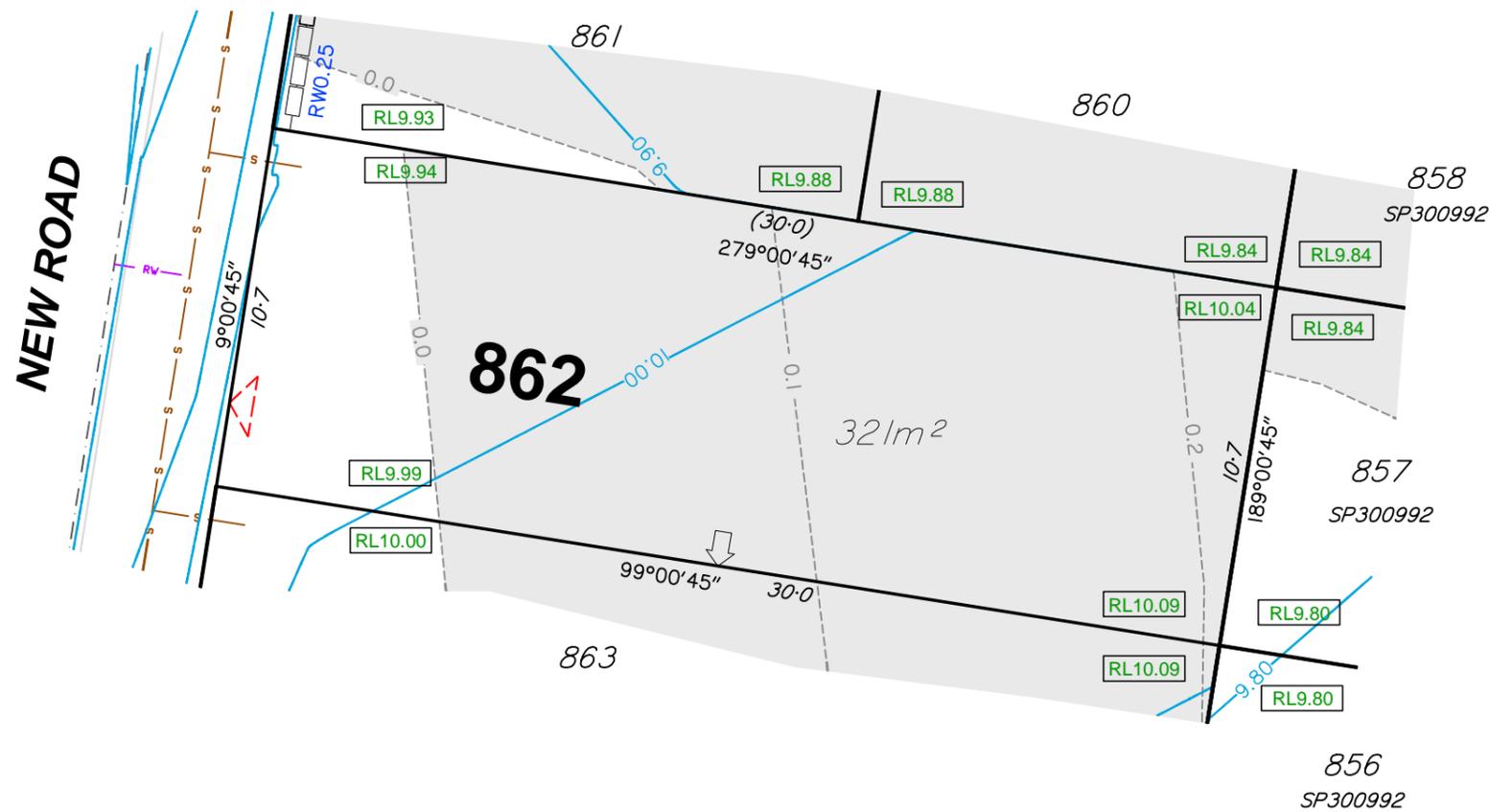
# DISCLOSURE PLAN

For Proposed Lot 862  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-862 VERSION A

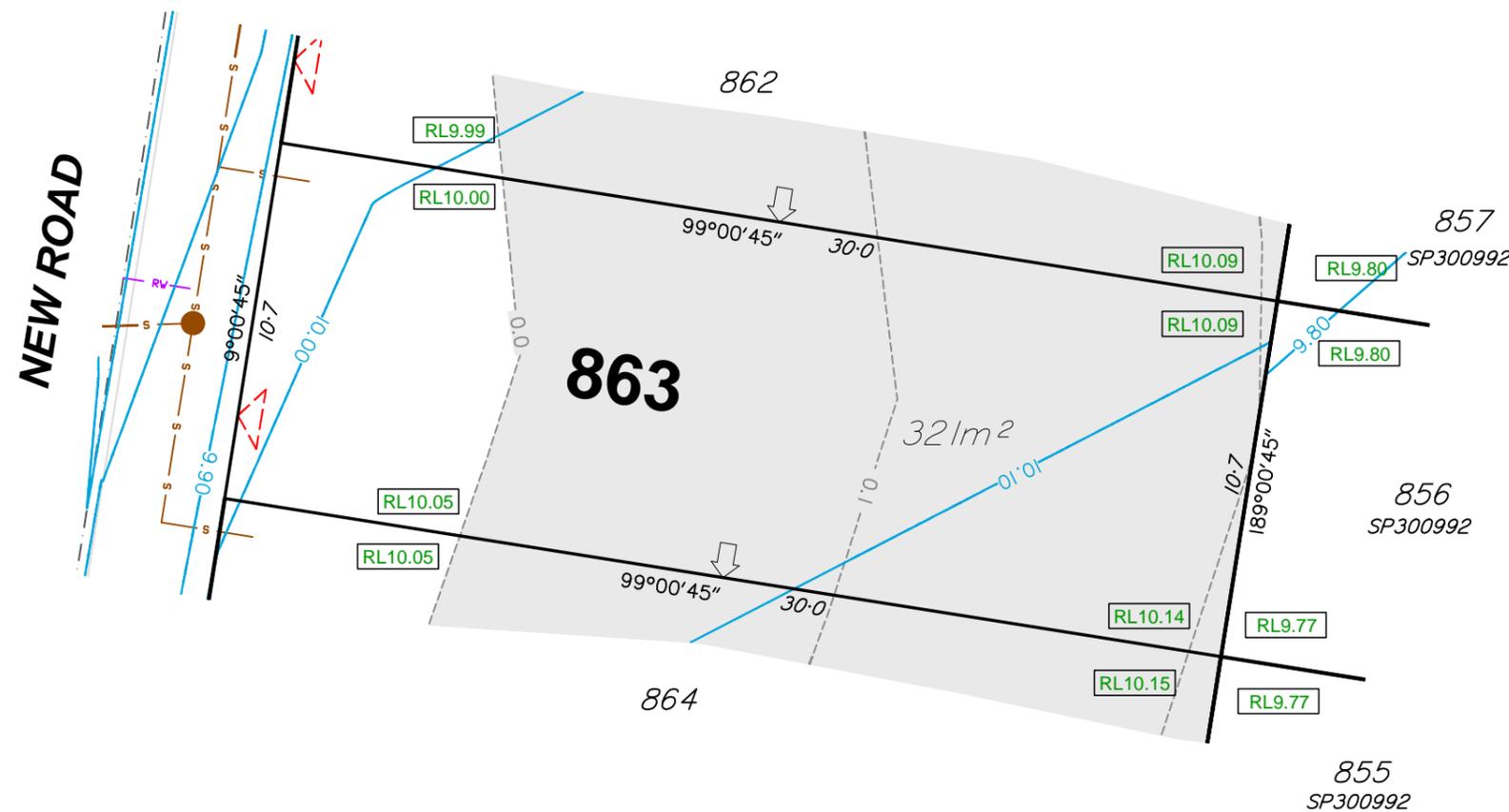
# DISCLOSURE PLAN

For Proposed Lot 863  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - AS Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
underside of the wall)
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-863 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 864  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.1m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

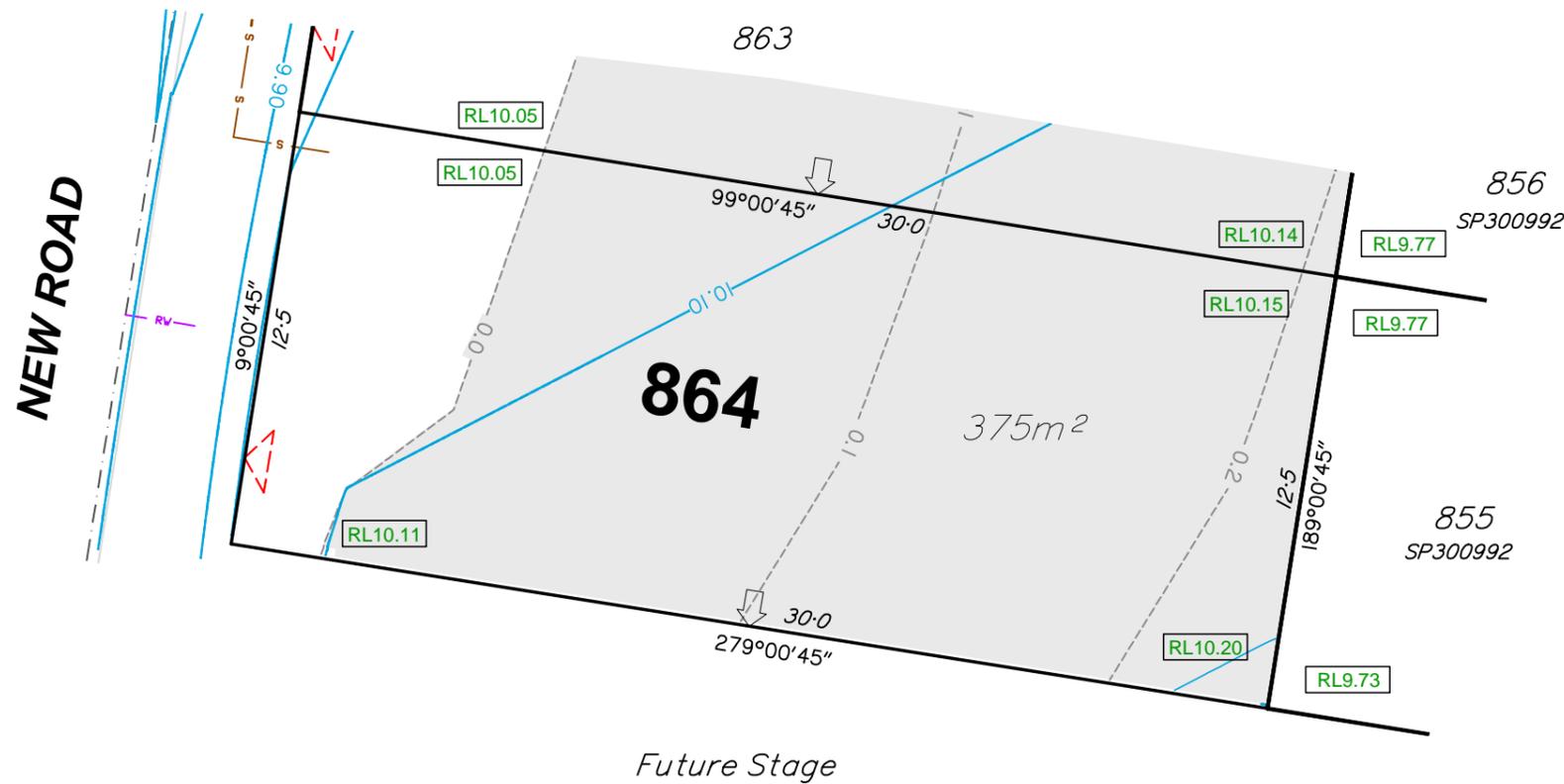


HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-864 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 865  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  -  Area to be Filled
  - RL57.32 Design Pad Level
  -  Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary
  -  1.8m High Timber Acoustic Fence  
(Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
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5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



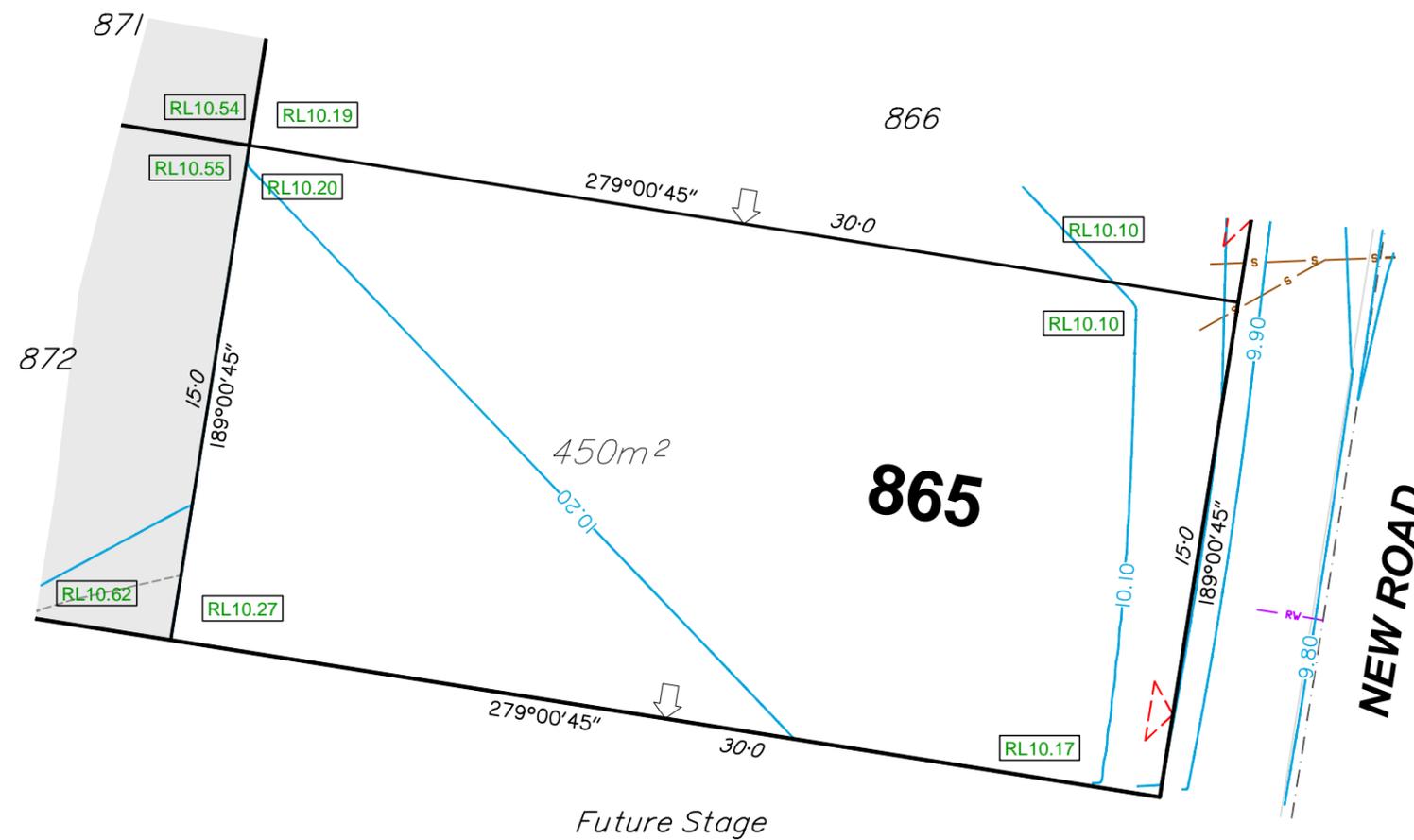
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-865	VERSION A
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# DISCLOSURE PLAN

For Proposed Lot 866  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

 **WOLTER**  
consulting group

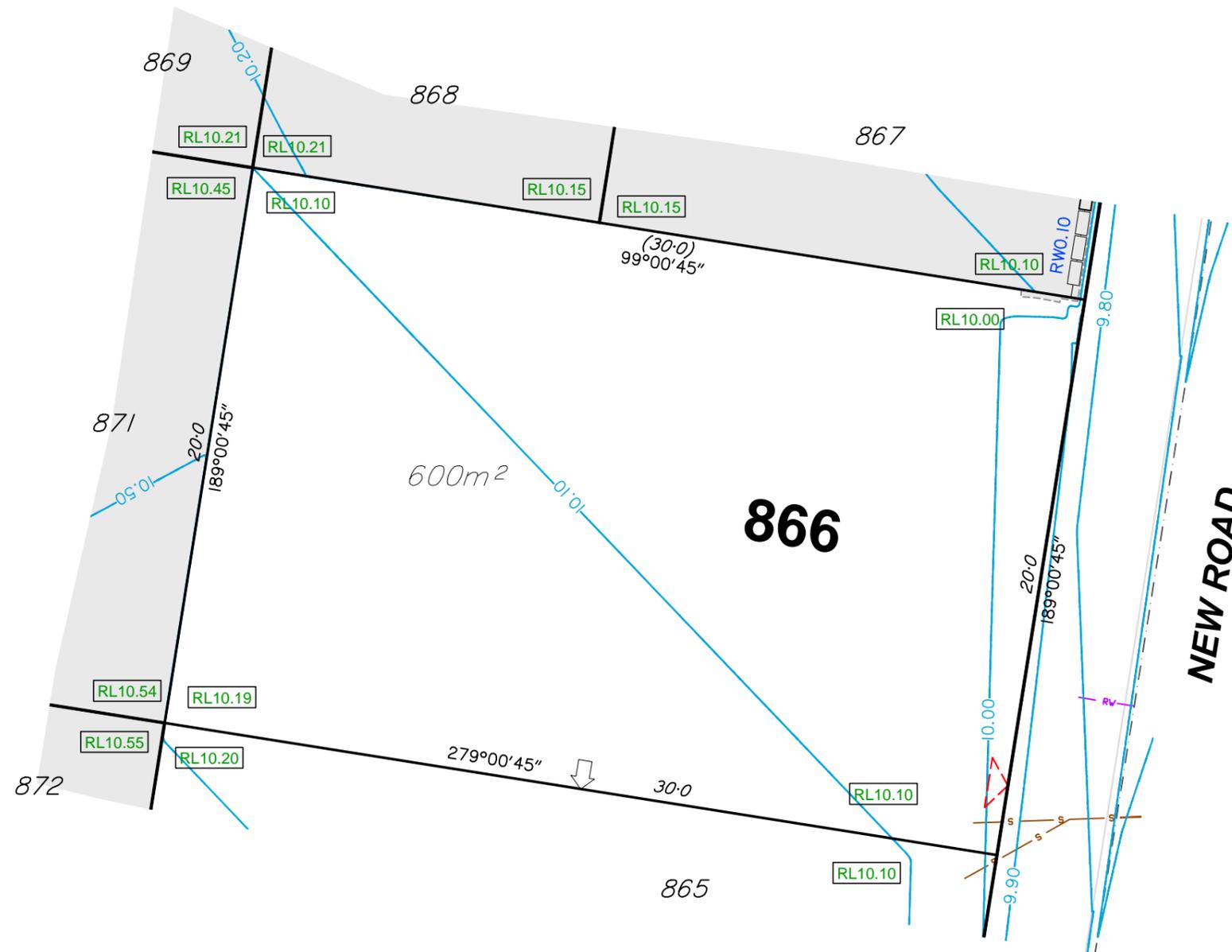
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-866 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 867  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 430 815 445"/> Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

**Notes:**

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# RIVERBANK

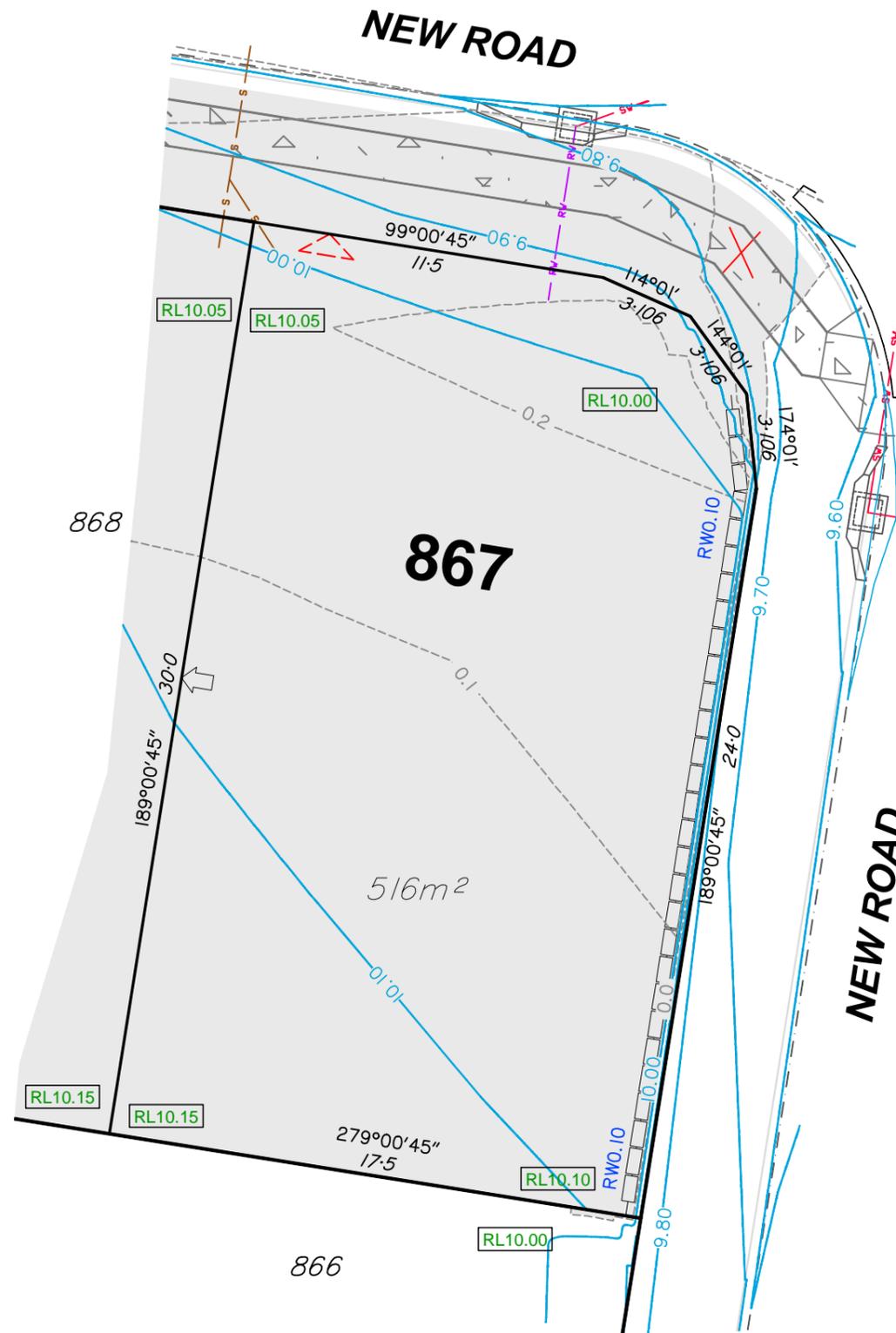


HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-867 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 868  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
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# RIVERBANK



**WOLTER**  
consulting group

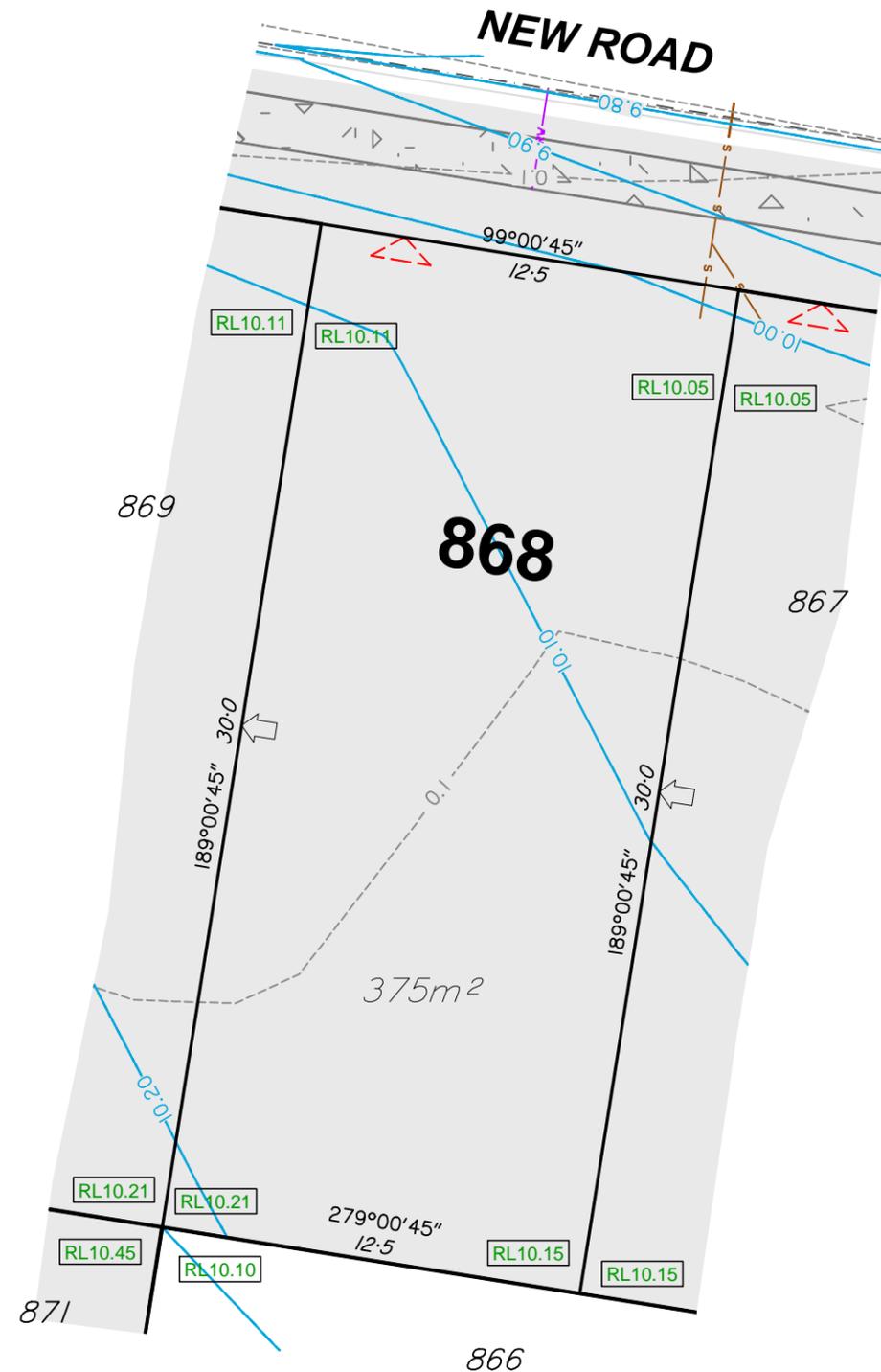
📐 Planning
🏡 Urban Design
🌿 Landscape
🌍 Environment
📏 Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-868 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 869  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
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# RIVERBANK

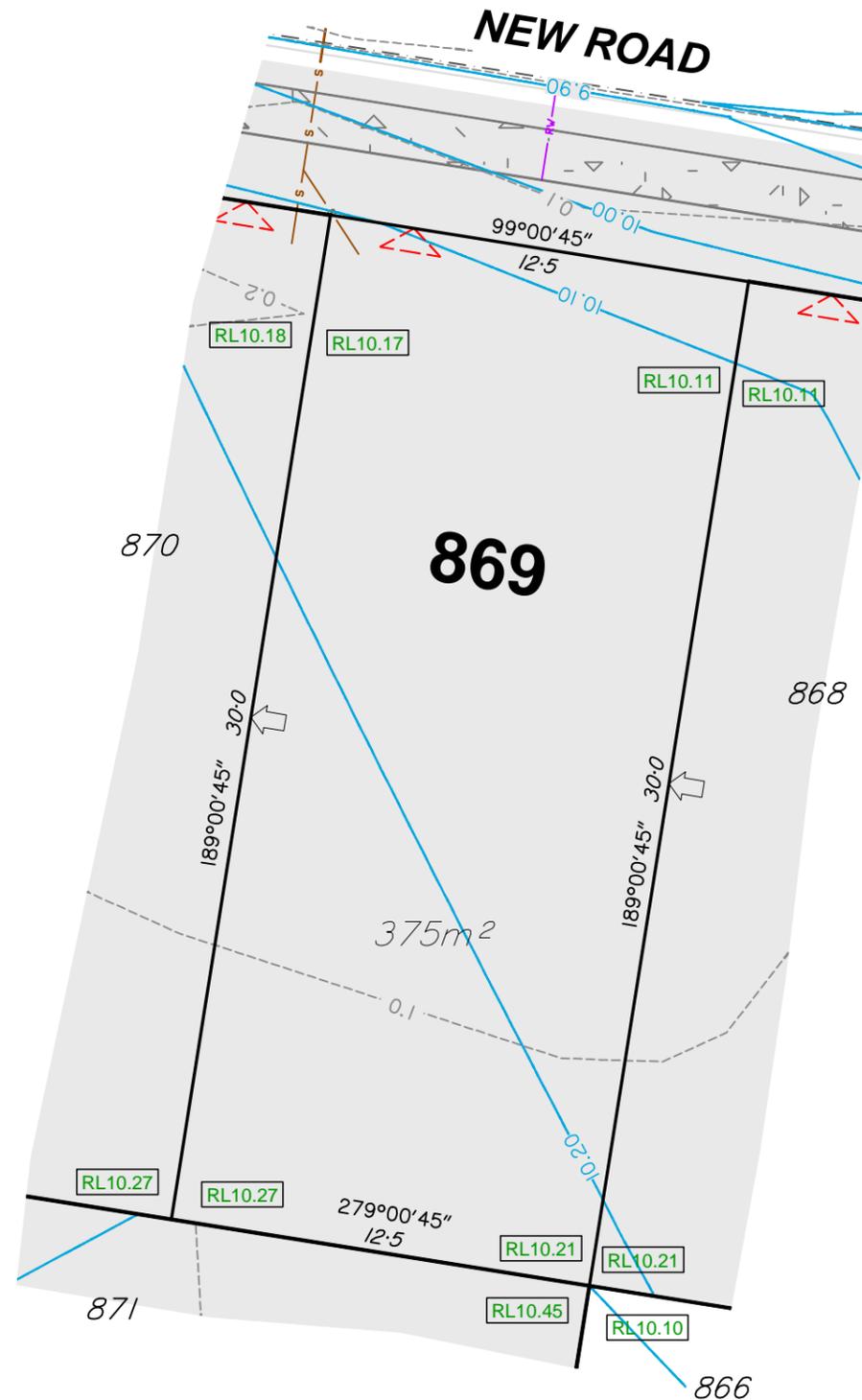


HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-869 VERSION A





# DISCLOSURE PLAN

For Proposed Lot 871  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - RL57.32 Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



**WOLTER**  
consulting group

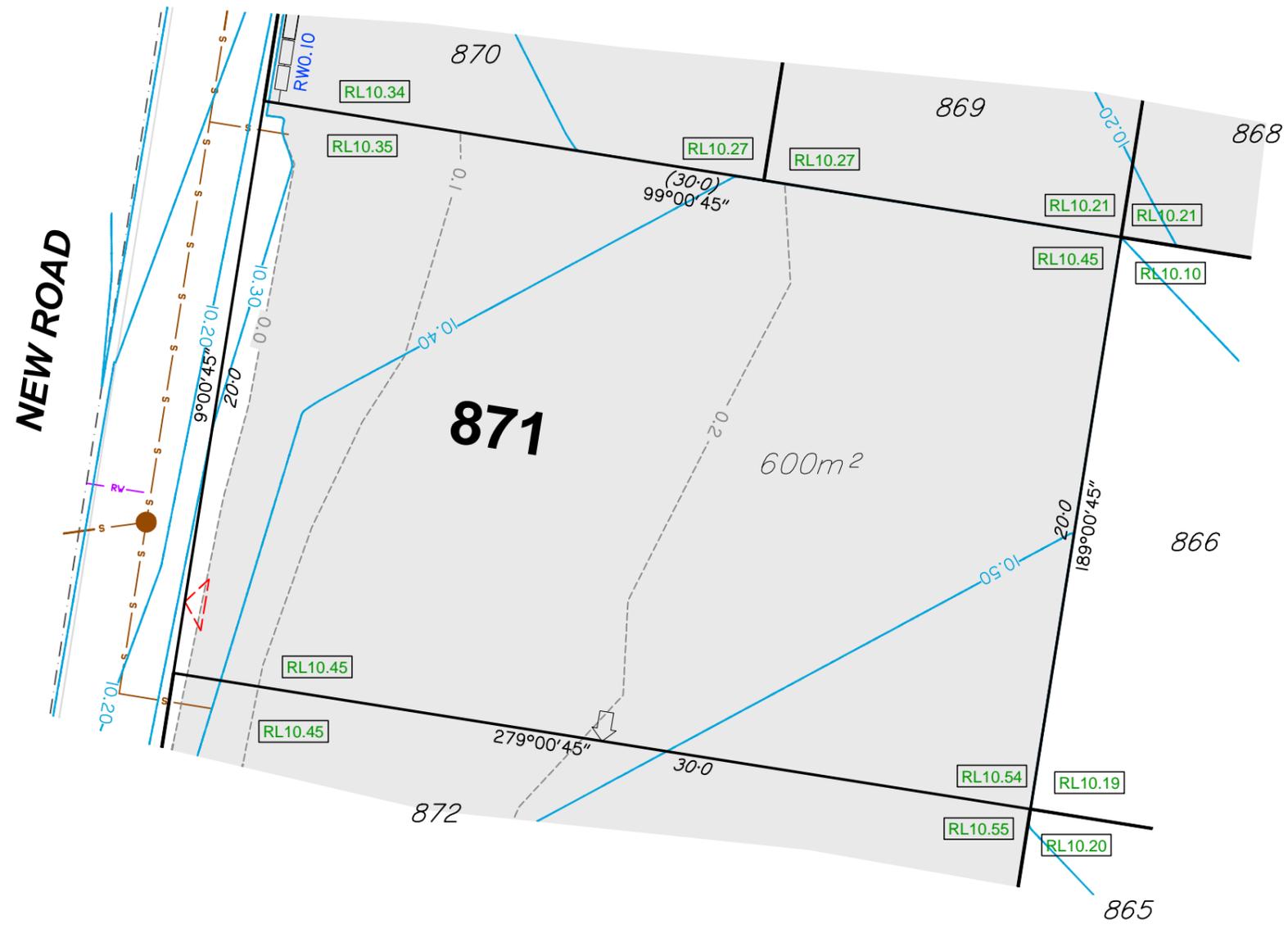
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-871 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 872  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - <img alt="Proposed Driveway symbol" data-bbox="790 430 815 445"/> Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



**WOLTER**  
consulting group

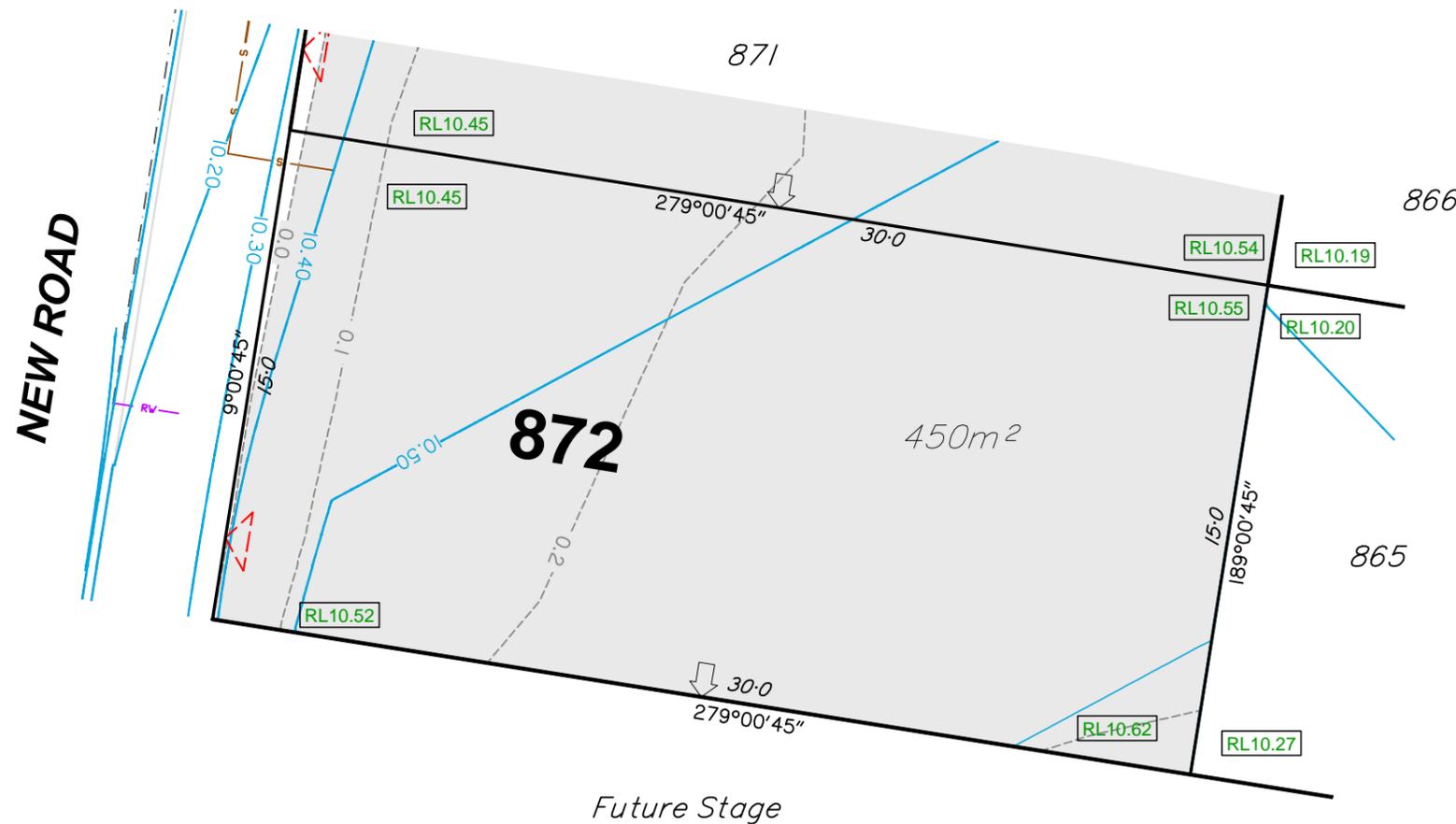
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 17-01-2018      DRAWING NO. SB3594-09-872      VERSION A



# DISCLOSURE PLAN

For Proposed Lot 873  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SV	Stormwater/Stormwater Manhole
	AS	Stormwater Gully Trap
	RV	Roofwater/Roofwater Pit
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

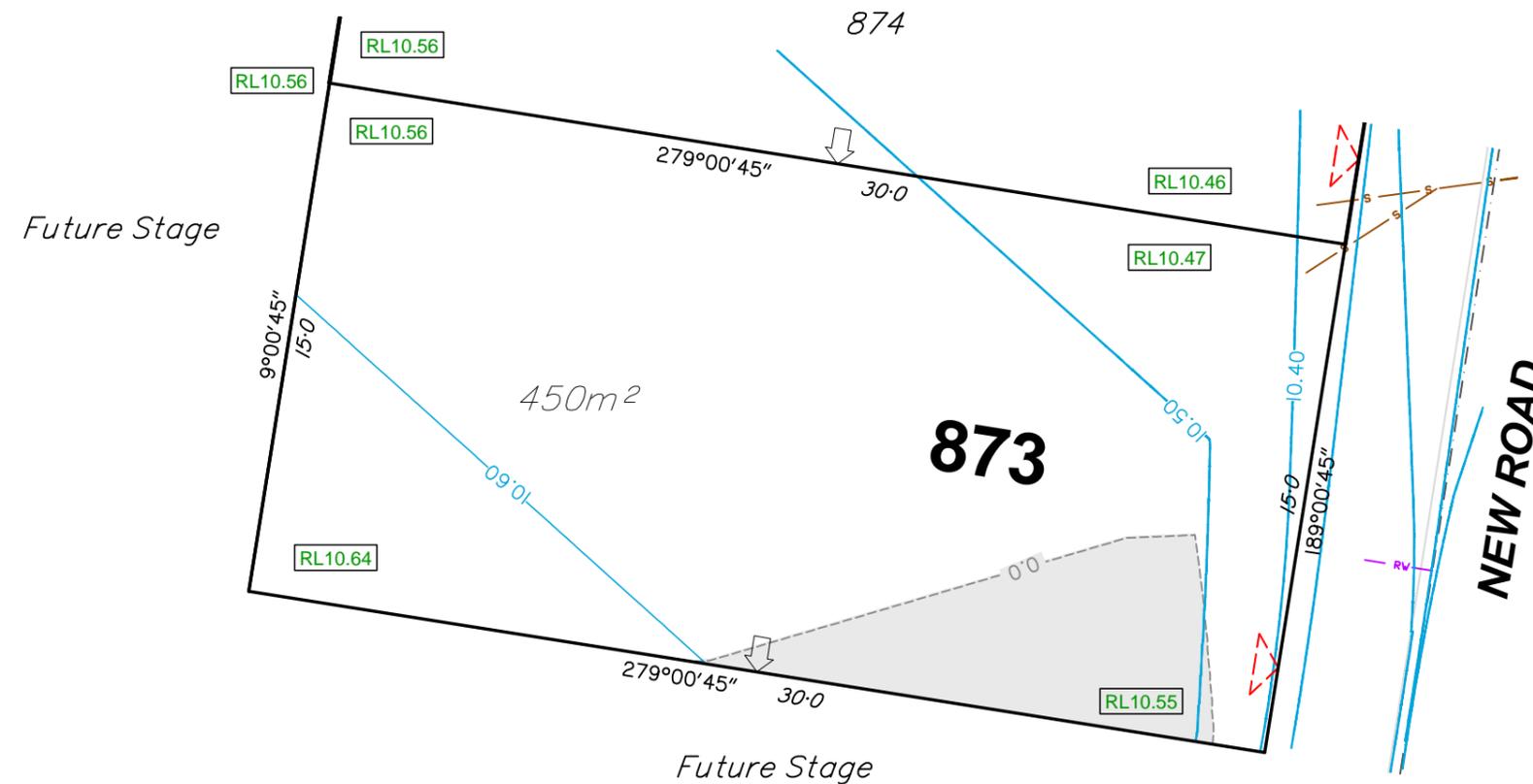
# RIVERBANK



HORIZONTAL MERIDIAN  
MGA  
LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-873 VERSION A



# DISCLOSURE PLAN

For Proposed Lot 874  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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# RIVERBANK



**WOLTER**  
consulting group

■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

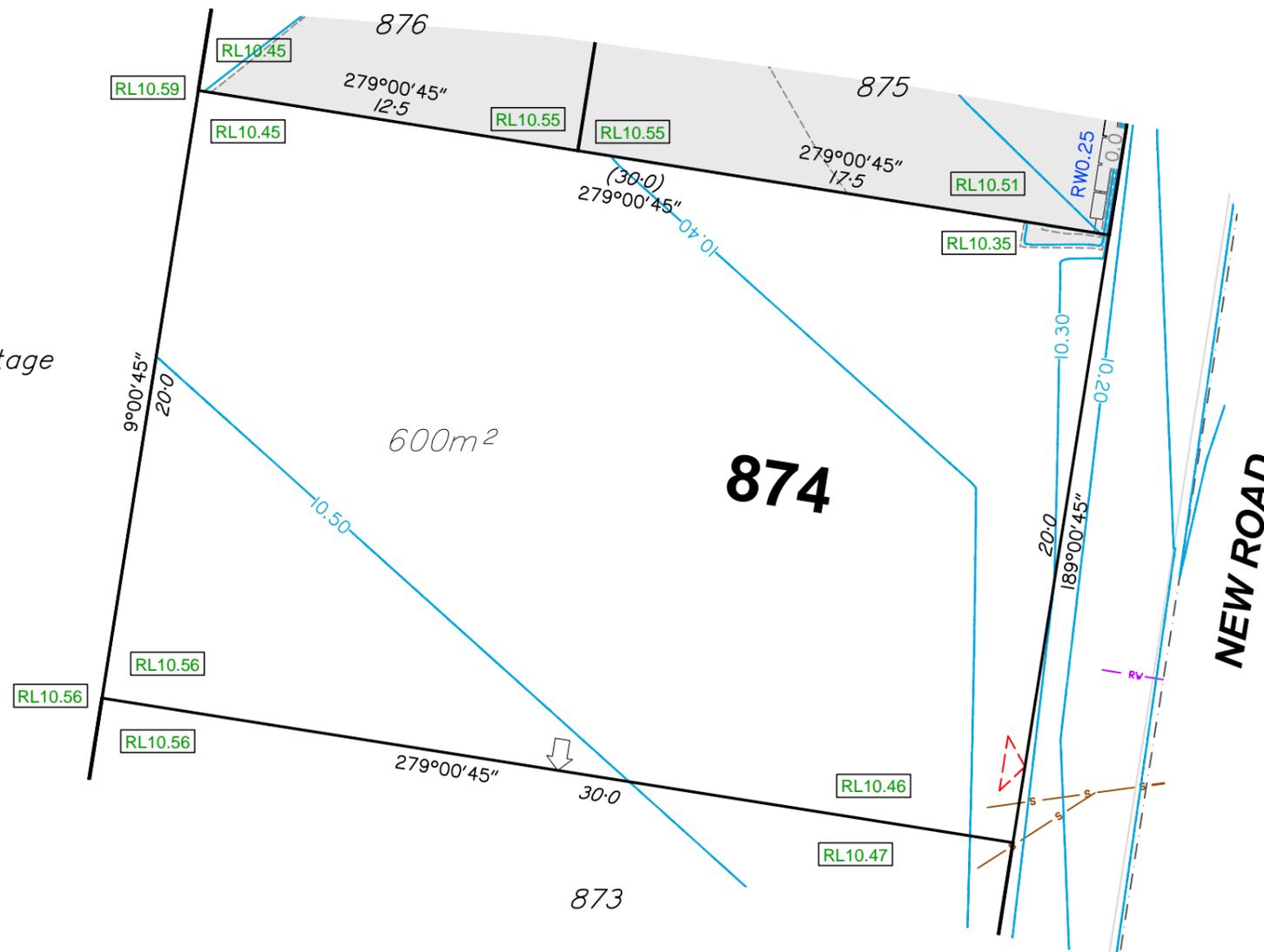
HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 17-01-2018      DRAWING NO. SB3594-09-874      VERSION A

Future Stage



# DISCLOSURE PLAN

For Proposed Lot 875  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - <img alt="Proposed Driveway symbol" style="vertical-align: middle;"/> Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

## RIVERBANK

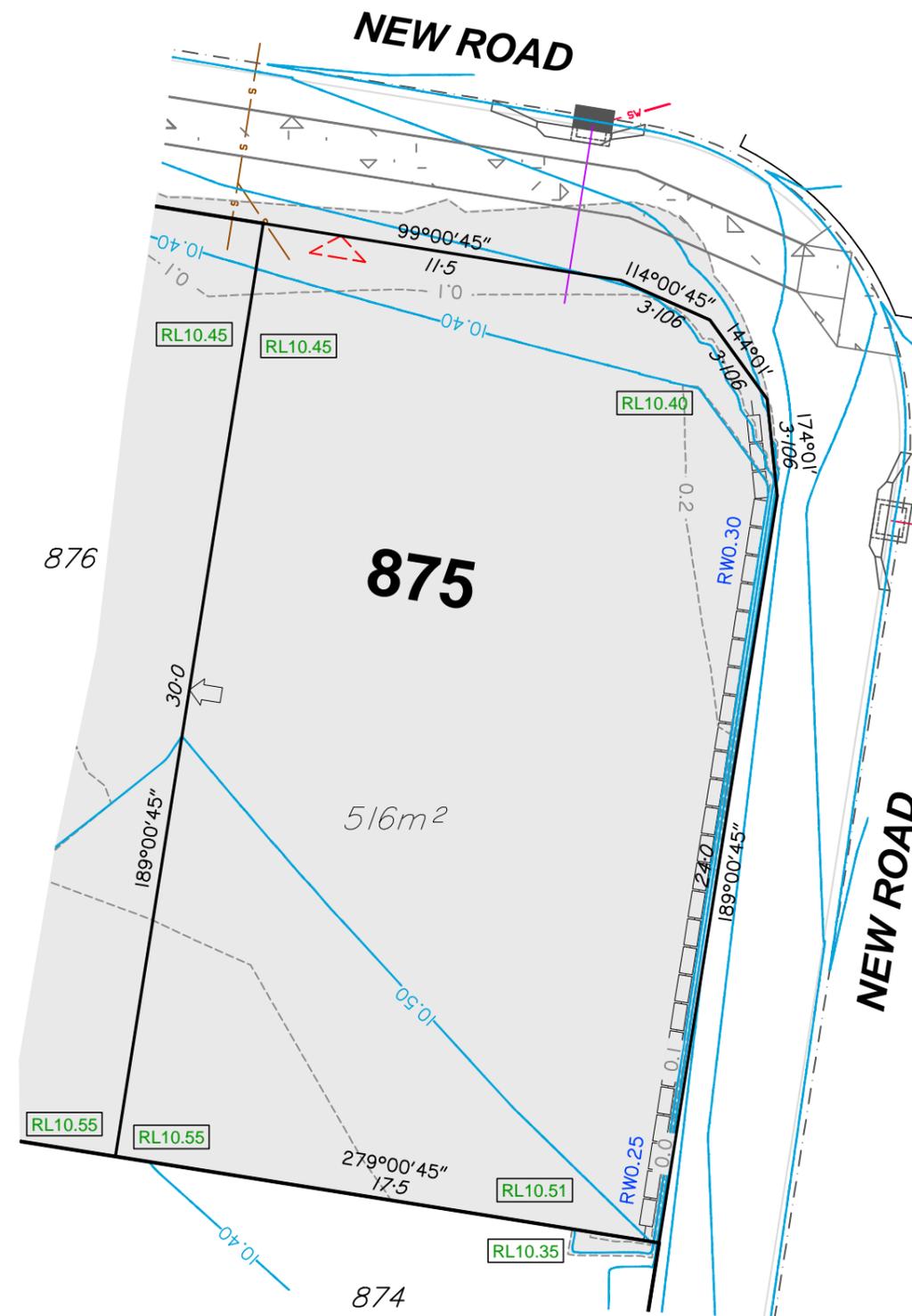


HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-875	VERSION A
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# DISCLOSURE PLAN

For Proposed Lot 876  
Riverbank - Stage 7B

Currently Described As  
RPD: Part of Lot 1008 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - △ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. Builders shall not build off the design levels shown; a site survey is required.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 17-01-2018  
DRAWING NO. SB3594-09-876  
VERSION A

