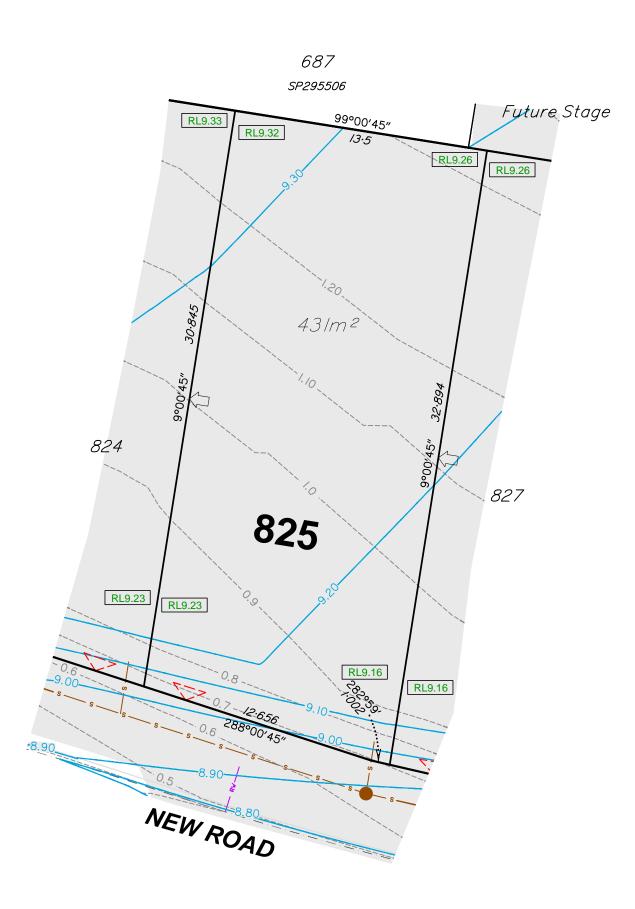


Currently Described As RPD: Part of Lot 1008 on SP295506 Caboolture South Local Authority: Moreton Bay Regional Council Legend: 46.0 Finished Surface Contours (0.1m Interval) Pethod Fill Contours (0.1m Interval) Finished Surface Contours Finished Surface Contours Finished Surface Contours Finished Surface Contours Retaining Wall RW Area to be Filled RL57.32 Design Pad Level Finished Surface Contours Proposed Driveway Zero Lot Line Boundary Semisting Wall Height	DISCLOSURE PLAN For Proposed Lot 824 Riverbank - Stage 7A				
46.0 Finished Surface Contours (0.1m Interval)	RPD: Locality:	Part of Lot 1008 on SP295506 Caboolture South			
 Easement Boundary Kerb Line Edge of Pad S S Sewer/Sewer Manhole S S Sewer/Stormwater Manhole Stormwater Gully Trap Rv Rv Rv Rv Roofwater/Roofwater Pit Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height Average Retaining Wall Height (Retaining Wall Height (Retaining Wall Height (Retaining Wall Height Wall Height Shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.		Finished Surface Contours (0.1m Interval)			
Kerb Line Edge of Pad S Sewer/Sewer Manhole SV Stormwater/Stormwater Manhole Stormwater Gully Trap Rv Roofwater/Roofwater Pit Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height Area ge Retaining Wall Height (Retaining Wall Height Shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.	——I.0 —— —	Depth of Fill Contours (0.1m Interval)			
Edge of Pad s Sewer/Sewer Manhole sv Stormwater/Stormwater Manhole sv Stormwater Gully Trap Rv Roofwater/Roofwater Pit Area to be Filled RL57.32 Design Pad Level RW Retaining Wall RW Area to be Filled Proposed Driveway Zero Lot Line Boundary L 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1.8m High Timber Acoustic Fence (Installed by Developer) L Location of retaining walls are indicative only. Site conduitons will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.		Easement Boundary			
S Sewer/Sewer Manhole SV SV Stormwater/Stormwater Manhole Stormwater Gully Trap RV RV RV Roofwater/Roofwater Pit Area to be Filled RES7.32 Design Pad Level Retaining Wall Height Average Retaining Wall Height (Retaining Wall Height Average Retaining Wall Height (Retaining Wall Height Average Retaining Wall Height (Retaining Wall Height Stormwater Gully Trap Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.		Kerb Line			
Sv Stormwater/Stormwater Manhole Stormwater Gully Trap Rv Rv Rv Roofwater/Roofwater Pit Area to be Filled RL57.32 Design Pad Level Retaining Wall RW ARW Average Retaining Wall Height Average Retaining Wall Height (Retaining Wall Height Shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.		Edge of Pad			
Stormwater Gully Trap RV Rv RV Roofwater/Roofwater Pit Area to be Filled RL57.32 Design Pad Level RW Retaining Wall RW Retaining Wall Height Area verage Retaining Wall Height (Retaining Wall Height ARW Average Retaining Wall Height (Retaining Wall Height Verage Retaining Wall Height (Installed by Developer) Notes: 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1.5m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre </td <td> s s</td> <td>Sewer/Sewer Manhole</td>	s s	Sewer/Sewer Manhole			
RV Rv Roofwater/Roofwater Pit Rtaining Area to be Filled Rtaining Design Pad Level Retaining Wall Retaining Wall RW Average Retaining Wall Height (Retaining Wall Height Average Retaining Wall Height (Retaining Wall Height Shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.	sw	Stormwater/Stormwater Manhole			
Area to be Filled RL57.32 Design Pad Level Retaining Wall RW ARW ARW Retaining Wall Height (Retaining Wall Height (Ret	AS	Stormwater Gully Trap			
RL57.32 Design Pad Level Retaining Wall Retaining Wall RW Arevage Retaining Wall Height (Retaining Wall Height shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.	RV	Roofwater/Roofwater Pit			
Retaining Wall RW Retaining Wall Height ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1.2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.		Area to be Filled			
Rw ARW Retaining Wall Height Average Retaining Wall Height (Retaining Wall Height shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.	RL57.32	Design Pad Level			
ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required.		Retaining Wall			
Zero Lot Line Boundary Image: Series Construction Image: Series Construction <		Average Retaining Wall Height (Retaining Wall Heights shown on the			
 1.8m High Timber Acoustic Fence (Installed by Developer) Notes: This note is an integral part of this plan. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. Builders shall not build off the design levels shown; a site survey is required. 	~~~~	Proposed Driveway			
 (Installed by Developer) <u>Notes:</u> 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required. 	$\langle \square$	Zero Lot Line Boundary			
 This note is an integral part of this plan. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. Builders shall not build off the design levels shown; a site survey is required. 					
 Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 					

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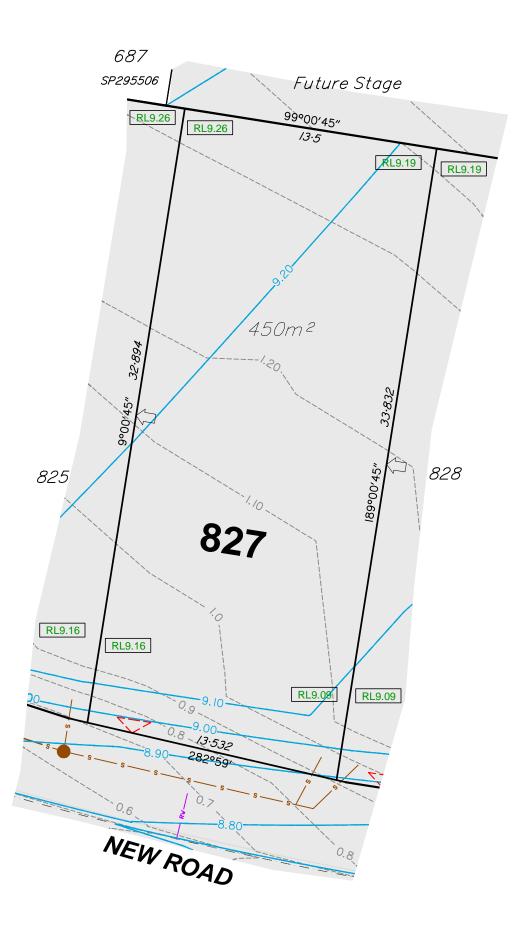
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DISCLOSURE PLAN For Proposed Lot 825 Riverbank - Stage 7A				
Currently Described A RPD: Locality: Local Authority:				
Legend:				
	Finished Surface Contours (0.1m Interval)			
	Depth of Fill Contours (0.1m Interval)			
	Easement Boundary Kerb Line			
	Edge of Pad			
s s	Sewer/Sewer Manhole			
	Stormwater/Stormwater Manhole			
	Stormwater Gully Trap			
	Roofwater/Roofwater Pit			
	Area to be Filled			
RL57.32	Design Pad Level			
	Retaining Wall			
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)			
~~~~	Proposed Driveway			
$\langle \neg$	Zero Lot Line Boundary			
<u> </u>	1.8m High Timber Acoustic Fence (Installed by Developer)			
<ol> <li>Notes:         <ol> <li>This note is an integral part of this plan.</li> <li>Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>Builders shall not build off the design levels shown; a site survey is required.</li> <li>Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ol> </li> </ol>				
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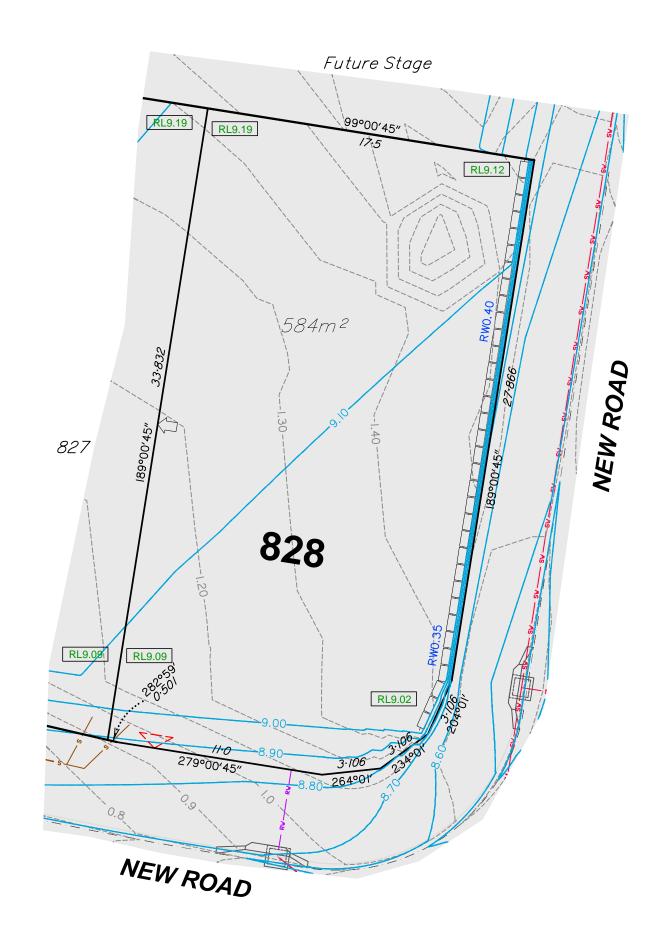
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DISCLOSURE PLAN				
For Proposed Lot 827				
Currently Described A RPD: Locality: Local Authority:	rbank - Stage 7A As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council			
Legend: 46.0	Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)			
	Easement Boundary Kerb Line Edge of Pad			
AS	Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Roofwater Pit			
RL57.32	Area to be Filled Design Pad Level			
-Lillill- RW ARW	Retaining Wall Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)			
	Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer)			
<ol> <li>Notes:         <ol> <li>This note is an integral part of this plan.</li> <li>Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>Builders shall not build off the design levels shown; a site survey is required.</li> <li>Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ol> </li> </ol>				
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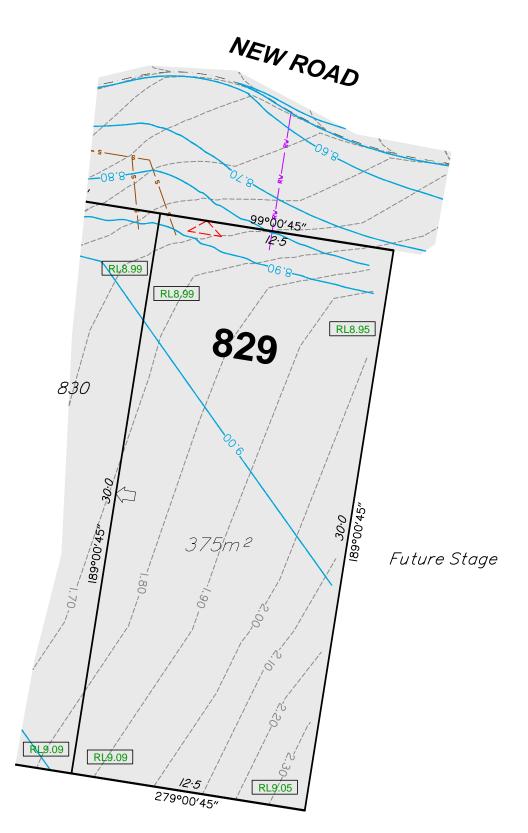


DISCLOSURE PLAN				
For Pr	oposed Lot 828			
Rive	rbank - Stage 7A			
Currently Described RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council			
Legend:				
<u> </u>	Finished Surface Contours (0.1m Interval)			
——I.0 <b>——</b> —	Depth of Fill Contours (0.1m Interval)			
	Easement Boundary			
· · · ·	Kerb Line			
	Edge of Pad			
ss	Sewer/Sewer Manhole			
sw	Stormwater/Stormwater Manhole			
AS	Stormwater Gully Trap			
RV RV	Roofwater/Roofwater Pit			
	Area to be Filled			
RL57.32	Design Pad Level			
	Retaining Wall			
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)			
<b>N</b> _ <b>Z</b>	Proposed Driveway			
$\langle \neg$	Zero Lot Line Boundary			
	1.8m High Timber Acoustic Fence (Installed by Developer)			
Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).				
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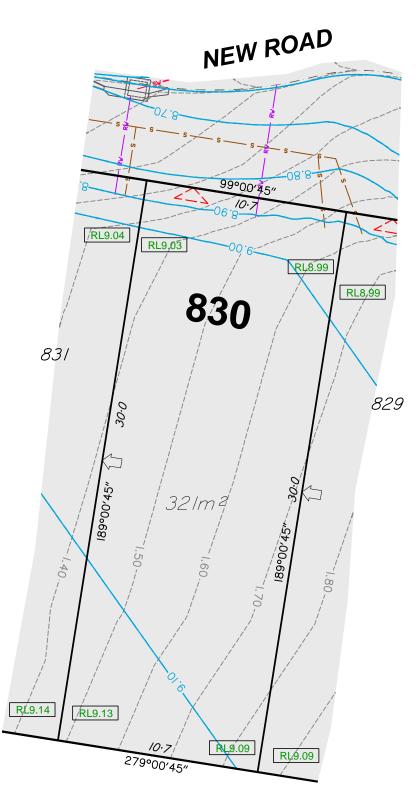


Future Stage

DISCLOSURE PLAN		
	oposed Lot 829	
Rive	rbank - Stage 7A	
Currently Described / RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council	
Legend:		
— 46.0 —	Finished Surface Contours (0.1m Interval)	
——I.0 —— —	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
· · · · ·	Kerb Line	
	Edge of Pad	
ss	Sewer/Sewer Manhole	
sv	Stormwater/Stormwater Manhole	
AS	Stormwater Gully Trap	
	Roofwater/Roofwater Pit	
	Area to be Filled	
RL57.32	Design Pad Level	
	Retaining Wall	
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)	
~~~~	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
<u> </u>	1.8m High Timber Acoustic Fence (Installed by Developer)	
<ul> <li>Notes:</li> <li>1. This note is an integral part of this plan.</li> <li>2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>4. Builders shall not build off the design levels shown; a site survey is required.</li> <li>5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ul>		
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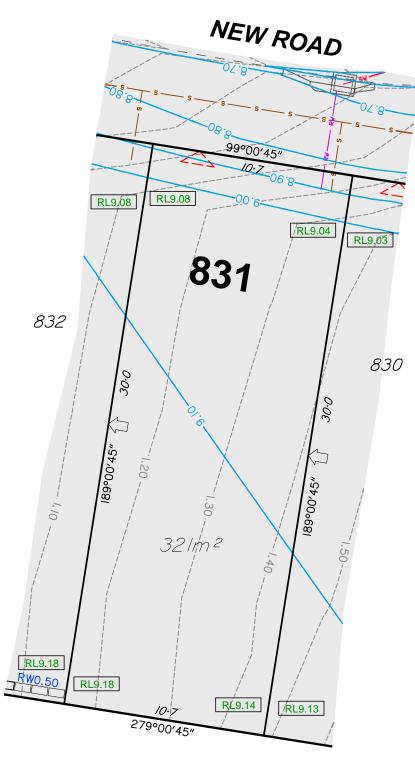


Future Stage

DISCLOSURE PLAN		
For Pr	oposed Lot 830	
Rive	rbank – Stage 7A	
Currently Described RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council	
Legend:		
— 46.0 ——	Finished Surface Contours (0.1m Interval)	
——I.0 <b>——</b> —	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
· · · ·	Kerb Line	
	Edge of Pad	
ss	Sewer/Sewer Manhole	
sv	Stormwater/Stormwater Manhole	
AS	Stormwater Gully Trap	
RV RV	Roofwater/Roofwater Pit	
	Area to be Filled	
RL57.32	Design Pad Level	
	Retaining Wall	
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)	
~	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
	1.8m High Timber Acoustic Fence (Installed by Developer)	
<ol> <li>Notes:         <ol> <li>This note is an integral part of this plan.</li> <li>Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>Builders shall not build off the design levels shown; a site survey is required.</li> <li>Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ol> </li> </ol>		
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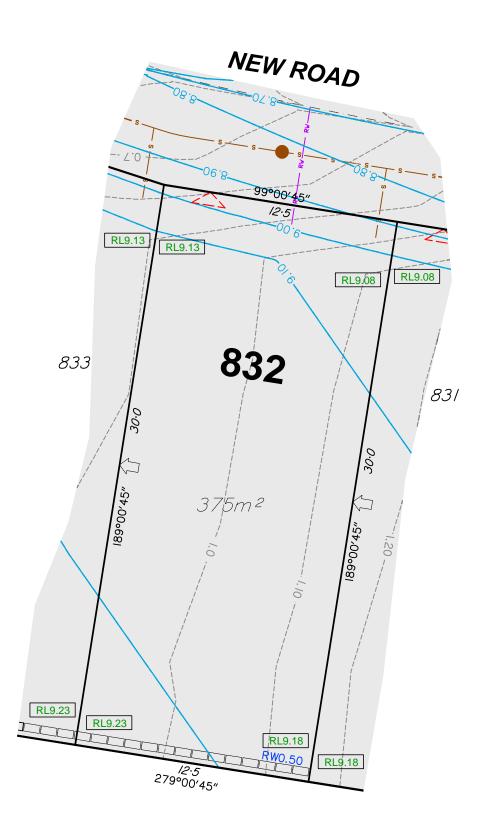


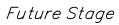
Future Stage

DISCLOSURE PLAN			
For Pr	oposed Lot 831		
Rive	rbank - Stage 7A		
Currently Described RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend:			
— 46.0 ——	Finished Surface Contours (0.1m Interval)		
——I.0 <b>——</b> —	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
··· ·	Kerb Line		
	Edge of Pad		
ss	Sewer/Sewer Manhole		
sw	Stormwater/Stormwater Manhole		
AS	Stormwater Gully Trap		
RV RV	Roofwater/Roofwater Pit		
	Area to be Filled		
RL57.32	Design Pad Level		
	Retaining Wall		
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
<b>N</b> _ <b>Z</b>	Proposed Driveway		
$\langle \neg$	Zero Lot Line Boundary		
	1.8m High Timber Acoustic Fence (Installed by Developer)		
<ol> <li>Notes:         <ol> <li>This note is an integral part of this plan.</li> <li>Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>Builders shall not build off the design levels shown; a site survey is required.</li> <li>Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ol> </li> </ol>			
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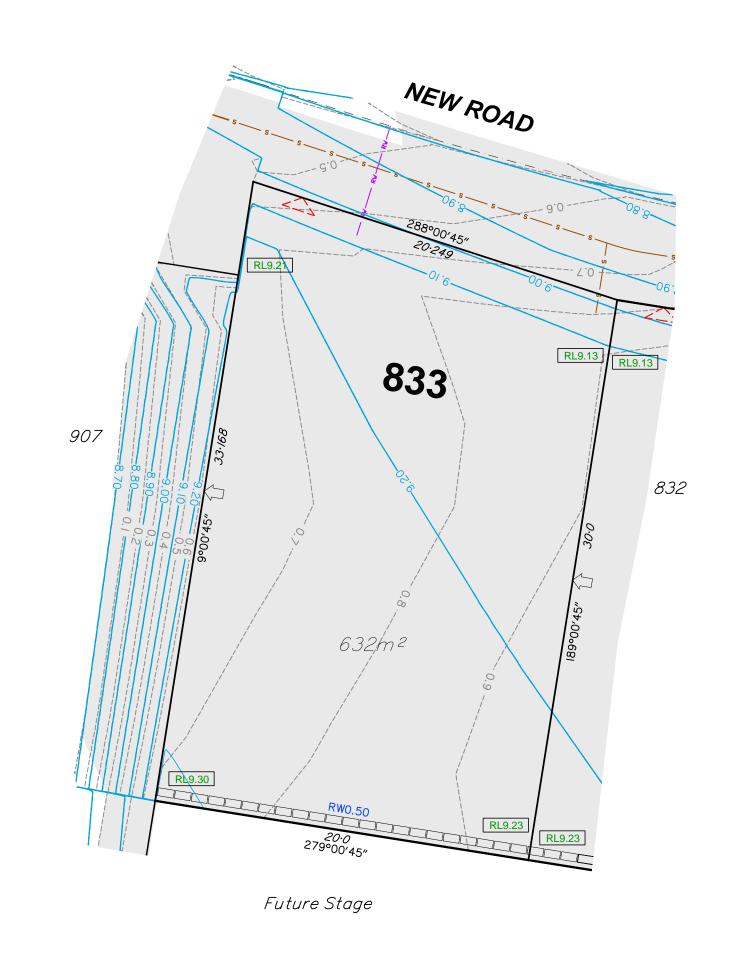




	OSURE PLAN	
For Proposed Lot 832		
Rive	rbank - Stage 7A	
Currently Described A RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council	
Legend:		
— 46.0 ——	Finished Surface Contours (0.1m Interval)	
——I.0 <b>——</b> —	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
	Edge of Pad	
ss	Sewer/Sewer Manhole	
sv svO	Stormwater/Stormwater Manhole	
AS	Stormwater Gully Trap	
RV RV	Roofwater/Roofwater Pit	
	Area to be Filled	
RL57.32	Design Pad Level	
	Retaining Wall	
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)	
<b>∼</b> ∼	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	1.8m High Timber Acoustic Fence (Installed by Developer)	
<ul> <li>Notes:</li> <li>1. This note is an integral part of this plan.</li> <li>2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>4. Builders shall not build off the design levels shown; a site survey is required.</li> <li>5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ul>		
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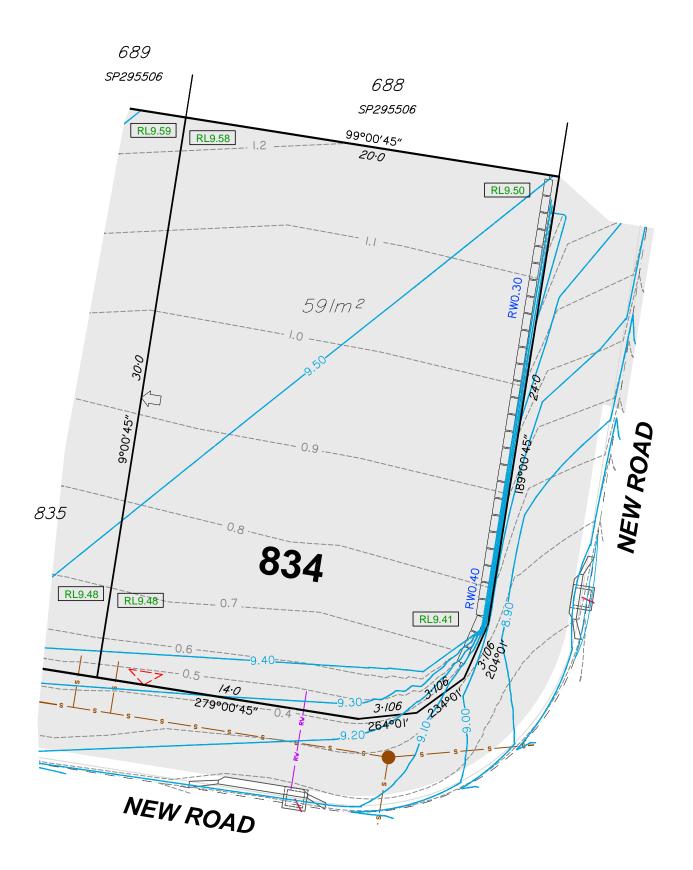
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DISCLOSURE PLAN			
For Pr	oposed Lot 833		
Rive	rbank - Stage 7A		
Currently Described RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend:			
<u> </u>	Finished Surface Contours (0.1m Interval)		
I.0 <b></b>	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · ·	Kerb Line		
	Edge of Pad		
ss	Sewer/Sewer Manhole		
sw	Stormwater/Stormwater Manhole		
AS	Stormwater Gully Trap		
RV RV	Roofwater/Roofwater Pit		
	Area to be Filled		
RL57.32	Design Pad Level		
	Retaining Wall		
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
<b>N</b> _ <b>Z</b>	Proposed Driveway		
$\langle \neg$	Zero Lot Line Boundary		
	1.8m High Timber Acoustic Fence (Installed by Developer)		
<ol> <li>Notes:         <ol> <li>This note is an integral part of this plan.</li> <li>Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>Builders shall not build off the design levels shown; a site survey is required.</li> <li>Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ol> </li> </ol>			
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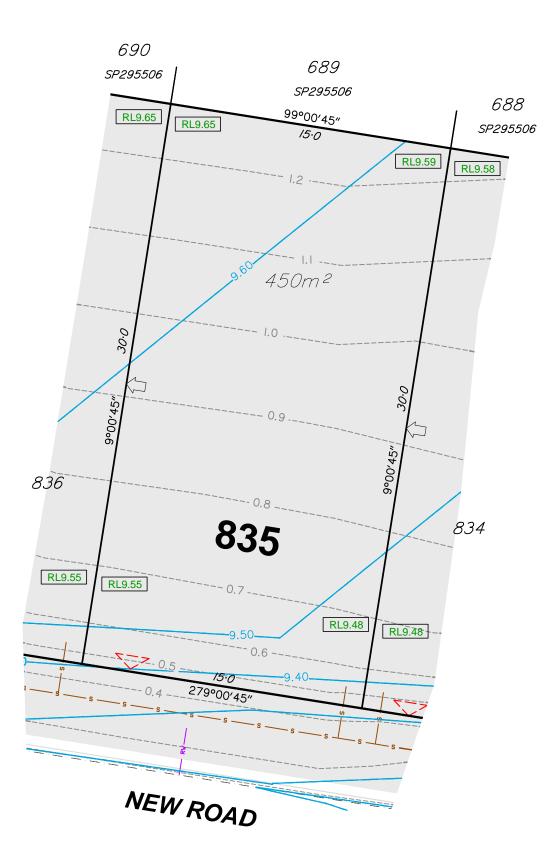
DATE DRAWN	DRAWING NO.	VERSION
17-01-2018	SB3594-09-833	А



<u>DISCLOSURE PLAN</u>			
For Proposed Lot 834			
Rive	rbank - Stage 7A		
Currently Described / RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend:			
— 46.0 ——	Finished Surface Contours (0.1m Interval)		
——I.0 <b>———</b>	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
	Kerb Line		
	Edge of Pad		
ss	Sewer/Sewer Manhole		
sv svO	Stormwater/Stormwater Manhole		
AS	Stormwater Gully Trap		
RV RV	Roofwater/Roofwater Pit		
	Area to be Filled		
RL57.32	Design Pad Level		
	Retaining Wall		
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
~~~~	Proposed Driveway		
$\langle \Box$	Zero Lot Line Boundary		
	1.8m High Timber Acoustic Fence (Installed by Developer)		
 Notes: This note is an integral part of this plan. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. Builders shall not build off the design levels shown; a site survey is required. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 			
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	HORIZONTAL MERIDIAN MGA
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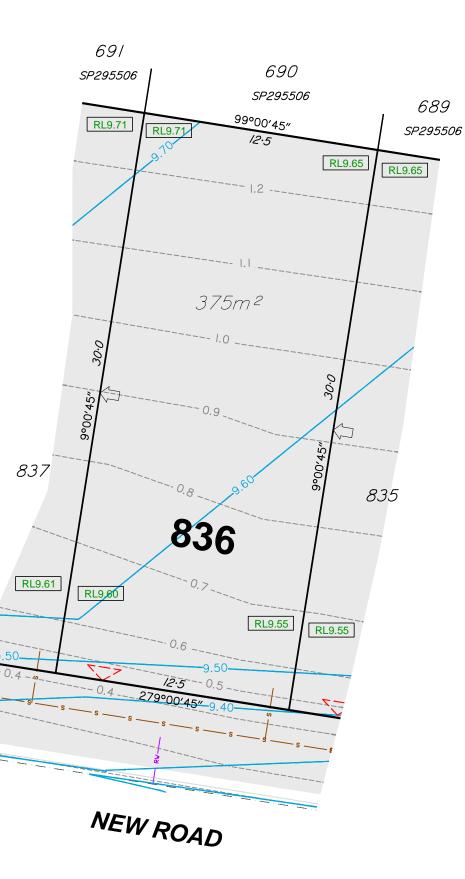
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DATE DRAWN	DRAWING NO.	VERSION
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DISCI	OSURE PLAN		
For Proposed Lot 835 Riverbank - Stage 7A			
Currently Described / RPD: Locality: Local Authority:			
Legend: 46.0	Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary		
ss	Kerb Line Edge of Pad Sewer/Sewer Manhole		
AS	Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Roofwater Pit		
RL57.32	Area to be Filled Design Pad Level Retaining Wall		
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
<u>`</u>	Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer)		
 Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 			
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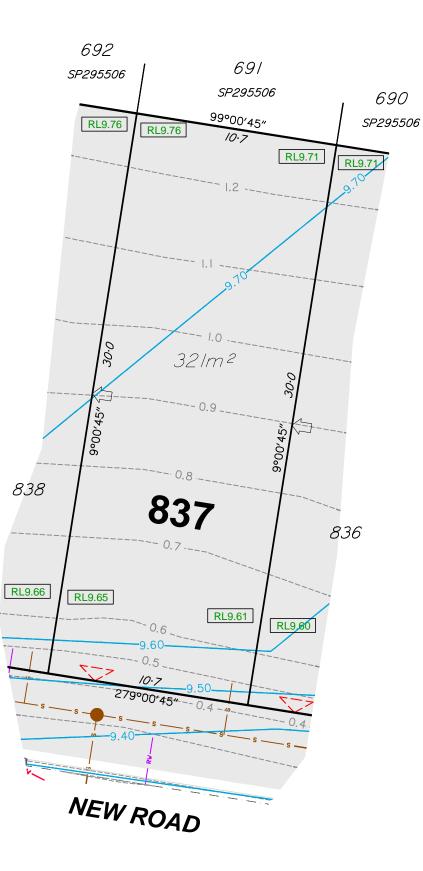
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DATE DRAWN	DRAWING NO.	VERSION	
17-01-2018	SB3594-09-835	A	



<u>DISCLOSURE PLAN</u>			
For Proposed Lot 836			
Rive	rbank - Stage 7A		
Currently Described / RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend:			
— 46.0 ——	Finished Surface Contours (0.1m Interval)		
——I.0 —— —	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · ·	Kerb Line		
	Edge of Pad		
ss	Sewer/Sewer Manhole		
sv sv	Stormwater/Stormwater Manhole		
AS	Stormwater Gully Trap		
RV RV	Roofwater/Roofwater Pit		
	Area to be Filled		
RL57.32	Design Pad Level		
	Retaining Wall		
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
∼ ~>	Proposed Driveway		
$\langle \neg$	Zero Lot Line Boundary		
<u> </u>	1.8m High Timber Acoustic Fence (Installed by Developer)		
 Notes: This note is an integral part of this plan. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. Builders shall not build off the design levels shown; a site survey is required. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 			
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DATE DRAWN 17-01-2018		VING NO. VERS 94-09-836 A	ION



DISCI	OSURE PLAN		
For Proposed Lot 837			
Currently Described / RPD: Locality: Local Authority:	rbank - Stage 7A As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend: 46.0	Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary		
ss	Kerb Line Edge of Pad Sewer/Sewer Manhole		
AS	Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Roofwater Pit		
RL57.32	Area to be Filled Design Pad Level Retaining Wall		
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
	Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer)		
 Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 			
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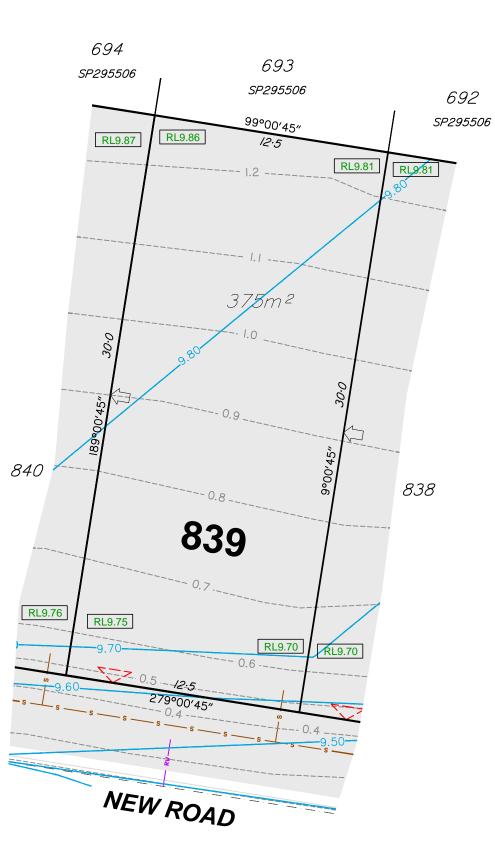


DISCLOSURE PLAN			
For Pr	oposed Lot 838		
Rive	rbank - Stage 7A		
Currently Described RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend:			
<u> </u>	Finished Surface Contours (0.1m Interval)		
I.0 	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · ·	Kerb Line		
	Edge of Pad		
ss	Sewer/Sewer Manhole		
sw	Stormwater/Stormwater Manhole		
AS	Stormwater Gully Trap		
RV RV	Roofwater/Roofwater Pit		
	Area to be Filled		
RL57.32	Design Pad Level		
	Retaining Wall		
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
N _ Z	Proposed Driveway		
$\langle \neg$	Zero Lot Line Boundary		
	1.8m High Timber Acoustic Fence (Installed by Developer)		
 Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 			
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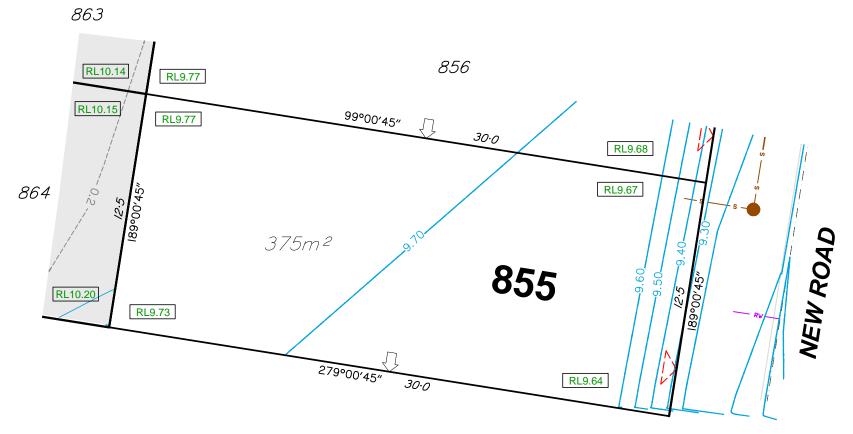


DISCLOSURE PLAN			
For Pr	oposed Lot 839		
Rive	rbank - Stage 7A		
Currently Described RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend:			
— 46.0 ——	Finished Surface Contours (0.1m Interval)		
——I.0 —— —	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
	Kerb Line		
	Edge of Pad		
ss	Sewer/Sewer Manhole		
sw	Stormwater/Stormwater Manhole		
AS	Stormwater Gully Trap		
RV RV	Roofwater/Roofwater Pit		
	Area to be Filled		
RL57.32	Design Pad Level		
	Retaining Wall		
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)		
N _ Z	Proposed Driveway		
$\langle \neg$	Zero Lot Line Boundary		
	1.8m High Timber Acoustic Fence (Installed by Developer)		
 Notes: This note is an integral part of this plan. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. Builders shall not build off the design levels shown; a site survey is required. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 			
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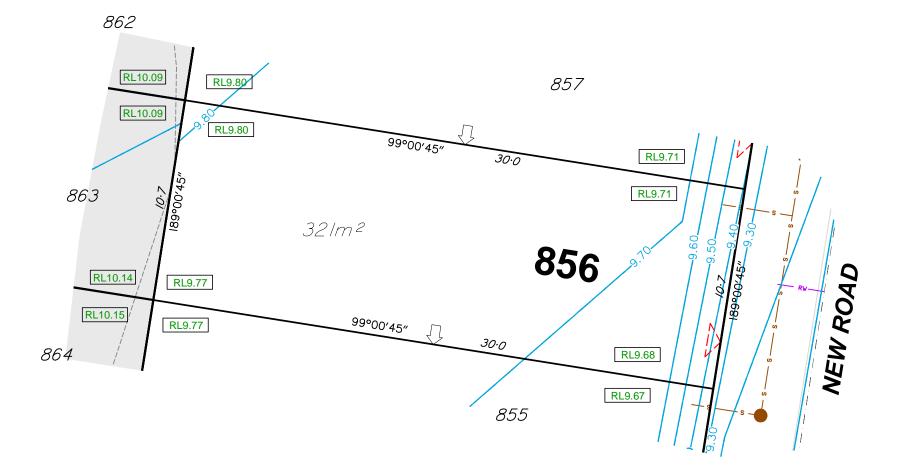
Future Stage

DISCLOSURE PLAN For Proposed Lot 855		
Currently Described A RPD: Locality: Local Authority:	rbank - Stage 7A As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council	
Legend: 46.0	Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)	
	Easement Boundary Kerb Line Edge of Pad	
ss	Sewer/Sewer Manhole	
	Stormwater Gully Trap Roofwater/Roofwater Pit Area to be Filled	
RL57.32	Design Pad Level Retaining Wall	
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)	
	Proposed Driveway Zero Lot Line Boundary	
	1.8m High Timber Acoustic Fence (Installed by Developer)	
 Notes: This note is an integral part of this plan. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. Builders shall not build off the design levels shown; a site survey is required. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 		
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17-01-2018	SB3594-09-855

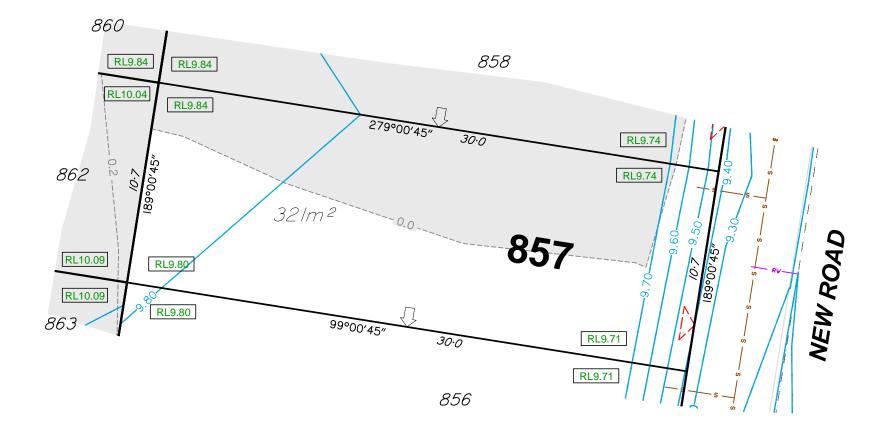
VERSION A



<u>DISCLOSURE PLAN</u>		
For Proposed Lot 856		
Rive	rbank - Stage 7A	
Currently Described / RPD: Locality: Local Authority:	As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council	
Legend:		
— 46.0 ——	Finished Surface Contours (0.1m Interval)	
——I.0 —— —	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
	Edge of Pad	
s s	Sewer/Sewer Manhole	
sv sv	Stormwater/Stormwater Manhole	
AS	Stormwater Gully Trap	
RV RV	Roofwater/Roofwater Pit	
	Area to be Filled	
RL57.32	Design Pad Level	
	Retaining Wall	
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)	
~~~~	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	1.8m High Timber Acoustic Fence (Installed by Developer)	
<ul> <li>Notes:</li> <li>1. This note is an integral part of this plan.</li> <li>2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.</li> <li>3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>4. Builders shall not build off the design levels shown; a site survey is required.</li> <li>5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ul>		
RIVERBANK		

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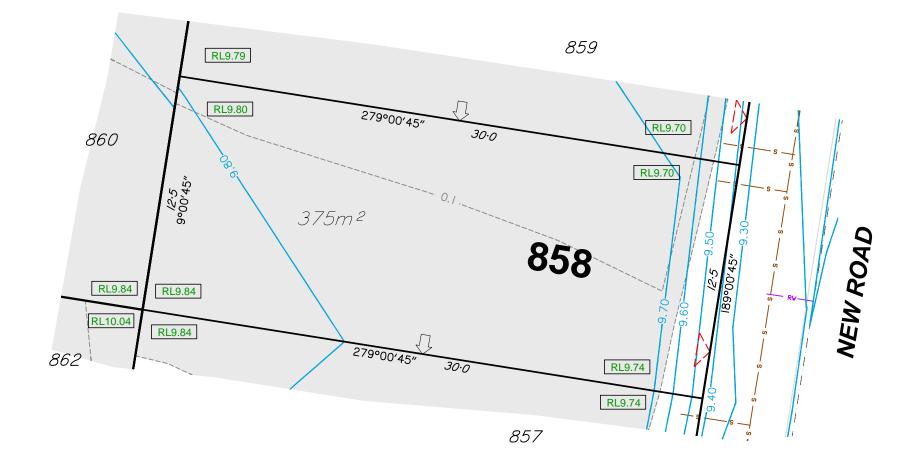
DATE DRAWN	DRAWING NO.	VERSION
17-01-2018	SB3594-09-856	А



DISCLOSURE PLAN For Proposed Lot 857 Riverbank - Stage 7A		
Currently Described / RPD: Locality: Local Authority:		
Legend:		
— 46.0 ——	Finished Surface Contours (0.1m Interval)	
— — I.0 <b>— — — —</b>	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
·	Kerb Line	
	Edge of Pad	
ss	Sewer/Sewer Manhole	
sv svO	Stormwater/Stormwater Manhole	
AS	Stormwater Gully Trap	
RV RV	Roofwater/Roofwater Pit	
	Area to be Filled	
RL57.32	Design Pad Level	
	Retaining Wall	
RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)	
~~~~	Proposed Driveway	
$\langle \square$	Zero Lot Line Boundary	
	1.8m High Timber Acoustic Fence (Installed by Developer)	
 Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended). 		

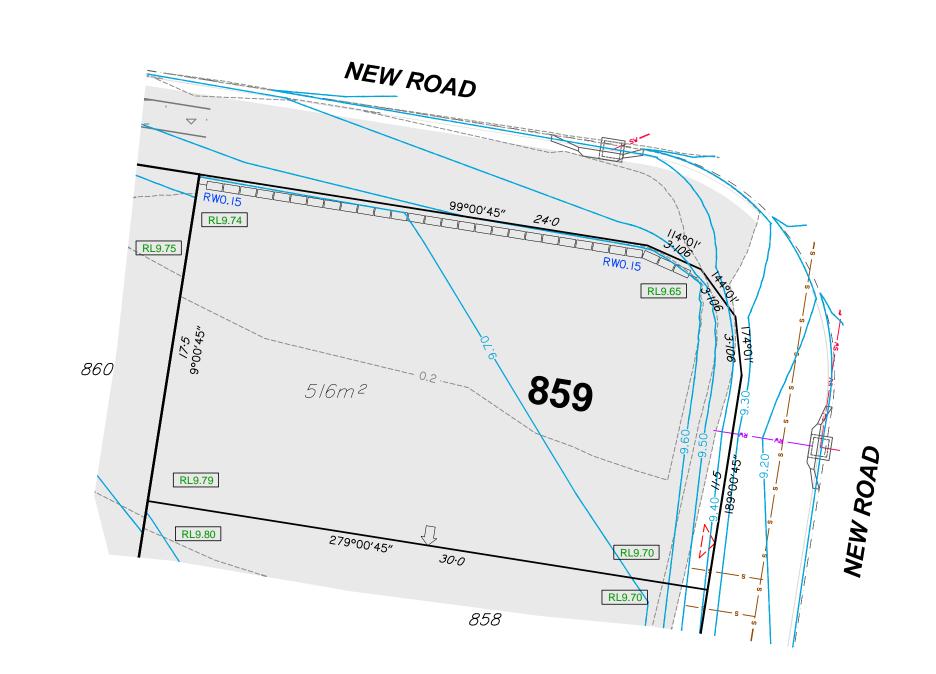
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	HORIZONTAL MERIDIAN MGA
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DATE DRAWN	DRAWING NO.	VERSION
17-01-2018	SB3594-09-858	А



DISCLOSURE PLAN			
For Proposed Lot 859			
Currently Described A RPD: Locality: Local Authority:	rbank - Stage 7A As Part of Lot 1008 on SP295506 Caboolture South Moreton Bay Regional Council		
Legend: 	Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary		
ss	Kerb Line Edge of Pad Sewer/Sewer Manhole Stormwater/Stormwater Manhole		
AS	Stormwater Gully Trap Roofwater/Roofwater Pit Area to be Filled		
RL57.32 	Design Pad Level Retaining Wall Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the		
	Iowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Acoustic Fence (Installed by Developer)		
Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. Builders shall not build off the design levels shown; a site survey is required. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).			
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	HORIZONTAL MERIDIAN MGA
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