

### Notes Applicable to Small Lots

#### General

- Small Lot Housing is to be undertaken in accordance with this Building Envelope Plan and the Dwelling House Code of the Caboolture Shire Plan. Where a conflict exists between the approved Building Envelope Plan and the Dwelling House Code the Building Envelope Plan prevails.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services or trees identified for retention.
- Development on laneway lots is to accord with the Preliminary Approval.

#### Built to Boundary Walls

- Built to the boundary walls are mandatory where the road frontage widths are less than 15.0m.
- Where two storey buildings are proposed, the Dwelling House does not have to be built to the mandatory zero lot line boundary as indicated on the Building Envelope Plan. Where two storey Dwelling Houses are not built on the zero lot line, the Dwelling Houses shall be built in accordance with the non built to the boundary setbacks.
- Built to boundary walls shall be built with a maximum length of 15.0m and a maximum height of 3.5m.

#### Private Open Space

- The private open space is:
  - at least 80m<sup>2</sup> in size;
  - all dimensions are greater than 2.5m;
  - able to fully contain a circle with a diameter of 5.0m.

#### Building Design

- The maximum height of buildings shall not exceed two (2) storeys and 8.5m.
- The building must have a window or balcony from a habitable room that facing the street.

#### Setbacks

- Minimum road frontage boundary setbacks shall be as per the setback table, unless otherwise dimensioned. All garages must be set back a minimum of 5.5m from the front boundary for non Laneway Lots, and 1.0m from the rear boundary for Laneway Lots.
- Front porticos may be located closer to the front property boundary than stated, provided that the portico is located not less than 3.0m from the front property boundary, the height of the portico does not exceed 4.5m, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.

- Setbacks (other than mandatory built to the boundary walls) are measured to the wall of the building or structure. Cottage and Villa allotments must have a minimum side boundary clearance to eaves of 550mm. Courtyard or larger allotments must have a side boundary clearance to eaves of 900mm.

- Minimum Rear boundary setbacks shall be as per the setback table.

- Rear patios may be located closer to the rear property boundary than stated, provided that the patio is located not less than 1.5m from the rear property boundary and the patio remains open and not enclosed.

#### Garages and Carports

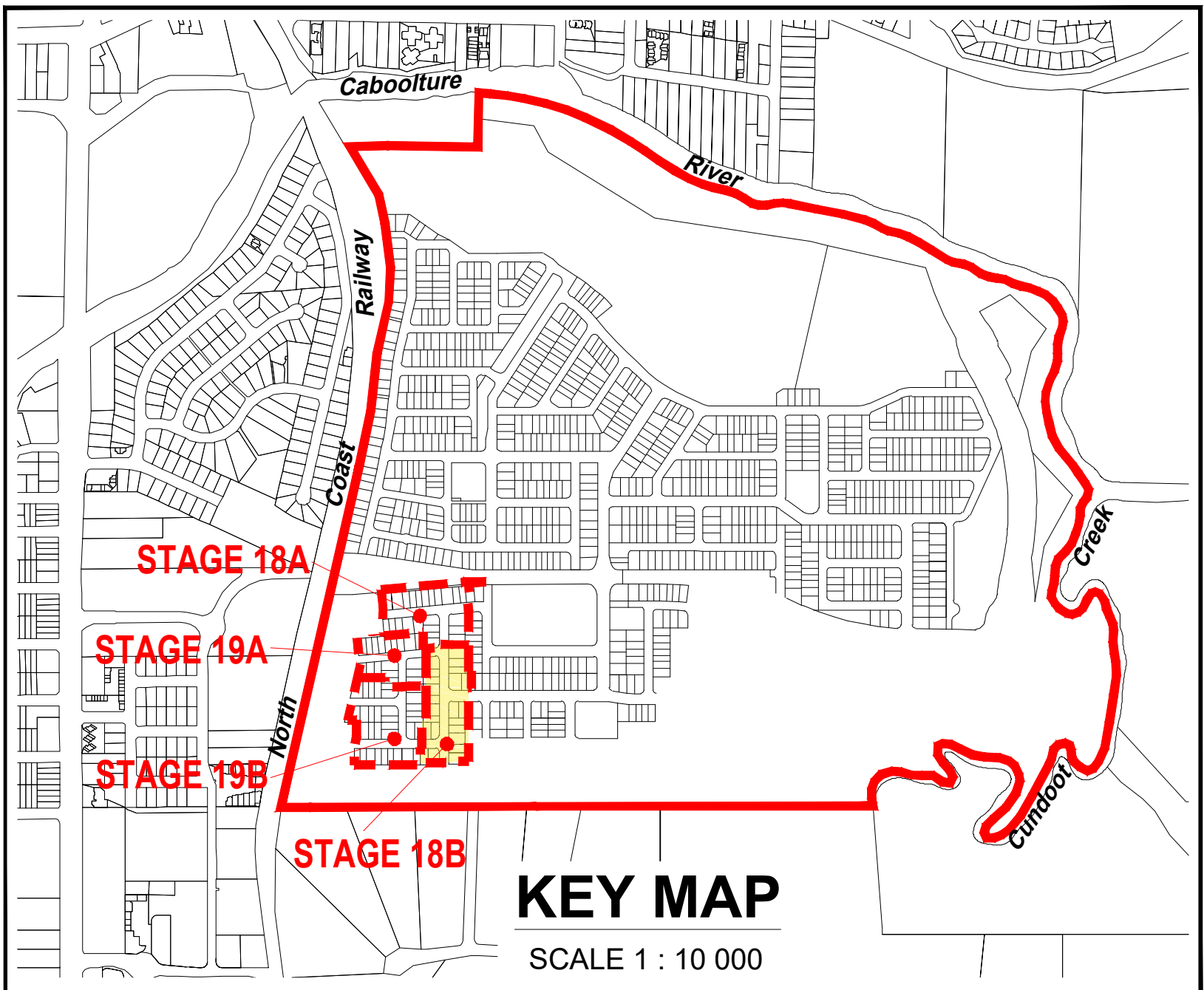
- Where the lot frontage is less than 12.5m, garages or carports with openings of greater than 4.5m in width are not permitted, unless the Dwelling House is two storeys or a Laneway Lot.

#### Bin Storage

- Where the lot frontage is less than 15.0m, the design shall incorporate a fully screened bin enclosure accessed from the front of the Dwelling House, OR the garage shall incorporate a door in its back wall giving access to the rear of the Detached House.

#### Site Coverage

- Site coverage shall not exceed 50% with an additional 10% allowable for additional open structures such as patios, verandahs and porticos.



### SMALL ALLOTMENT SETBACKS

	Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Traditional Allotments	
	10.0 - 12.49m Width	12.5 - 14.9m Width	12.5 - 14.9m Width	15.0 - 19.9m Width	15.0 - 19.9m Width	20m + Width	20m + Width	20m + Width
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback								
Living Area	3.0m	3.0m	3.0m	3.0m	4.0m	4.0m	4.5m	4.5m
Garage	5.5m	3.0m	5.5m	3.0m	5.5m	4.0m	5.5m	4.5m
Corner Allotments								
Secondary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear Setback								
General Allotments	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	QDC	
Laneway Allotments	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	n/a	
Side Boundary								
Built to Boundary Wall	0.0m	1.5m	0.0m	1.5m	0.0m	1.5m	n/a	
(Mandatory)			(Mandatory)		(Nominal)			
Non Built to Boundary Wall	1.0m	1.0m	1.0m	1.5m	1.5m	2.0m	QDC	
Garage Location	Garages to be located along built to boundary wall where appropriate	Garages to be located along built to boundary wall where appropriate	Garages to be located along built to boundary wall where appropriate	Garages to be located along built to boundary wall where appropriate	Garages to be located along built to boundary wall where appropriate	Garages to be located along built to boundary wall where appropriate	QDC	
On Site Parking Requirements	2 1 space to be covered and enclosed Two storey dwellings are permitted to include a double garage. In this case 3 on site parking spaces are required	3 2 spaces to be covered and enclosed Laneway Allotments only require 2 on site parking space	3 2 spaces to be covered and enclosed Laneway Allotments only require 2 on site parking space	3 2 spaces to be covered and enclosed Laneway Allotments only require 2 on site parking space	3 2 spaces to be covered and enclosed Laneway Allotments only require 2 on site parking space	3 2 spaces to be covered and enclosed Laneway Allotments only require 2 on site parking space	QDC	
Site Cover	50%	50%	50%	50%	50%	50%	QDC	

Development Statistics		
Stage Area	Stage 18B	1.630 ha
Saleable Area	Single Family Allotments	1.129 ha
Total Area of Allotments		1.129 ha
Open Space		
Pedestrian Linkage / Road Reserve		—
Local Park		—
Total Open Space		—
Area of New Road		0.501 ha
Residential Allotments		
30m Deep Allotments	Size	Lots
Cottage Allotment	10.7m x 30m	3
Villa Allotment	12.5m x 30m	6
Courtyard Allotment	15m x 30m	9
Traditional Allotment	20m x 30m	6
Sub-Total 30m Deep Allotments		24
Length of New Road		
14.0m Wide New Road		38m
16.0m Wide New Road		254m
20.0m Wide New Road		38m
Total Length of New Road		330m
Parking Breakdown		
Total On-Street Parking Spaces Required		12
Total On-Street Parking Spaces Provided		13

Note  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
All building setbacks other than those noted on the face of the plan are to be in accordance with the Preliminary Approval Codes.

Legend
Subject Site
Stage Boundary
THG Q5
THG Q20
Indicative Basin Location
Mandatory Built to Boundary Wall
Nominal Built to Boundary Wall
Preferred Driveway Location
Preferred Bin Collection Zone (for Lots 800 & 801)
Private Open Space
Indicative On-Street Parking
Existing Easement
Existing Risingmain
2.5m Shared Pedestrian/Cycle Path
2.0m Shared Pedestrian/Cycle Path
1.5m Pathway
Energex Easement
Existing Overhead Electrical Line

PEET

RPS

DATE : 11 October 2017 DWG NAME : 7025-MASTER DWG # 7025 - 196D

PRELIMINARY

RIVERBANK  
STAGE 18B PROPOSED SUBDIVISION  
RIVERBANK, CABOOLTURE