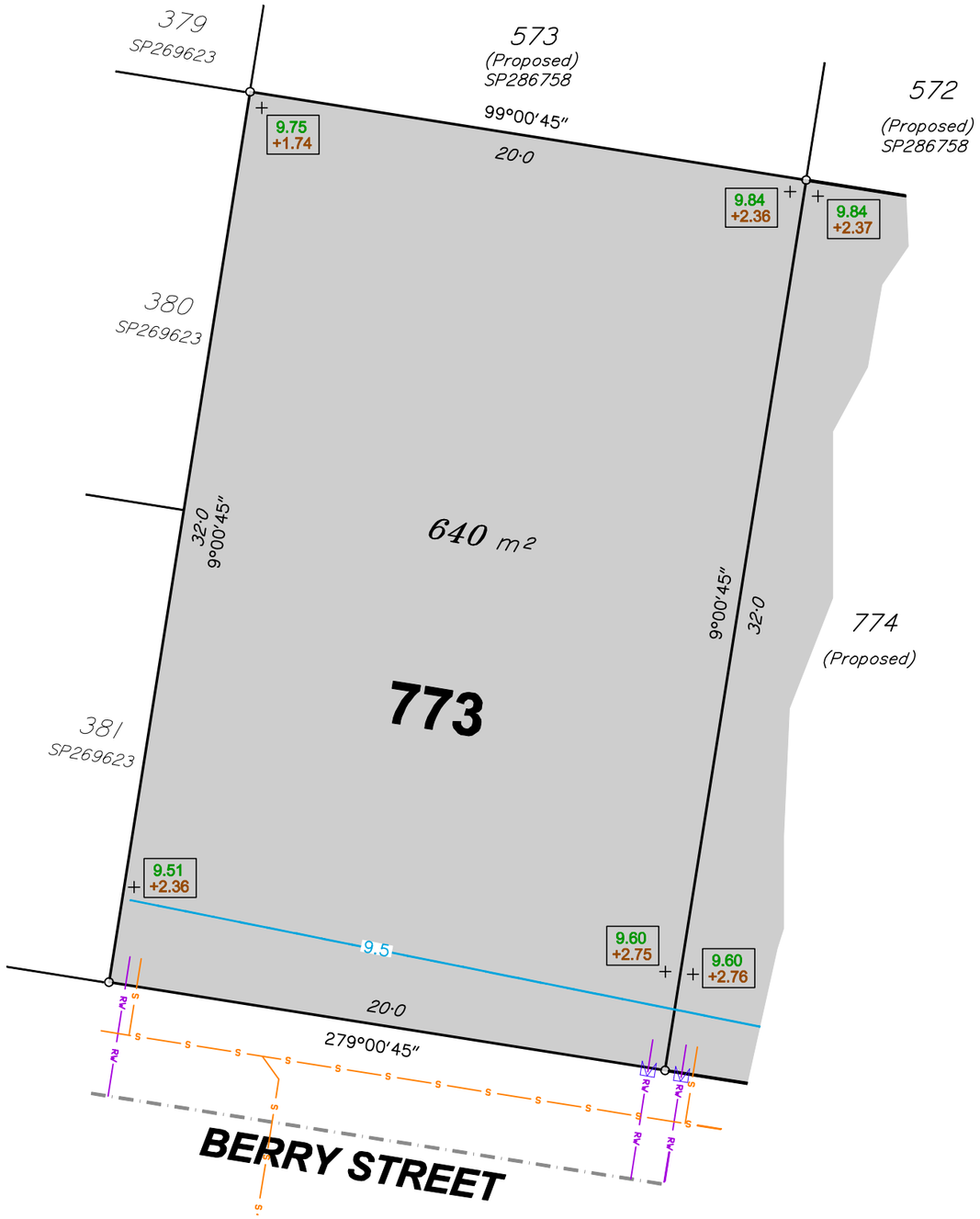



## LEGEND

- 46.0 — DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m
- BACK OF KERB
- EDGE OF PAD
- S — SEWER/SEWER MANHOLE
- SW — STORMWATER/STORMWATER MANHOLE
- STORMWATER GULLY TRAP
- RW — ROOFWATER/ROOFWATER PIT
- ACOUSTIC FENCE
- KERB CROSSING
- PARKING BAY
- AREAS TO BE FILLED
- 57.32 / +1.40 — DESIGN LEVEL / DEPTH OF FILL
- RETAINING WALL
- 1.5 Ht / 1.0AHt — RETAINING WALL HEIGHT / AVERAGE RETAINING WALL HEIGHT
- WATER METER

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

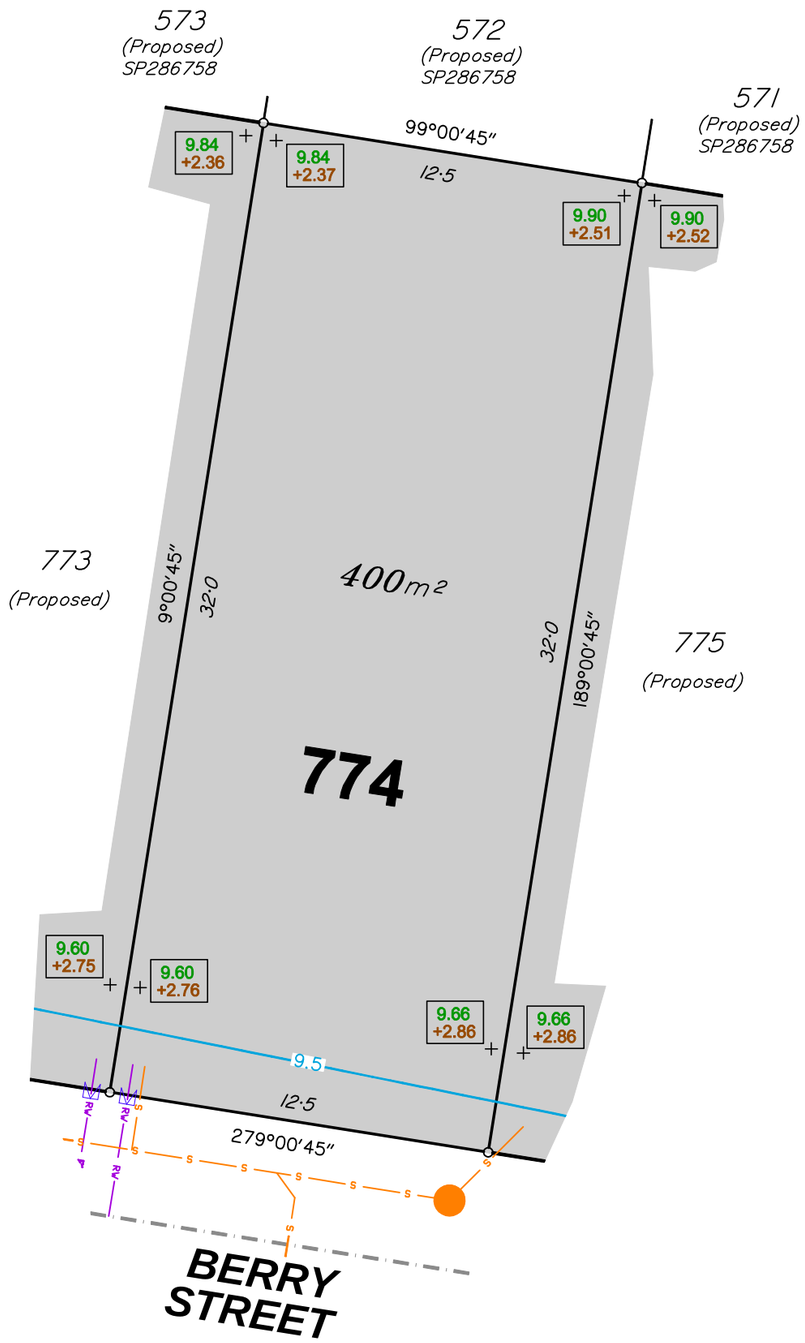
## For Proposed Lot 773

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 773 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 773 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-773
VERSION A
DATE DRAWN 18-06-2016




## LEGEND

- 46.0 — DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m
- BACK OF KERB
- EDGE OF PAD
- S — SEWER/SEWER MANHOLE
- SW — STORMWATER/STORMWATER MANHOLE
- STORMWATER GULLY TRAP
- RW — ROOFWATER/ROOFWATER PIT
- ACOUSTIC FENCE
- KERB CROSSING
- PARKING BAY
- AREAS TO BE FILLED
- 57.32 / +1.40 — DESIGN LEVEL / DEPTH OF FILL
- RETAINING WALL
- 1.5 Ht / 1.0AHt — RETAINING WALL HEIGHT / AVERAGE RETAINING WALL HEIGHT
- WATER METER

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
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THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

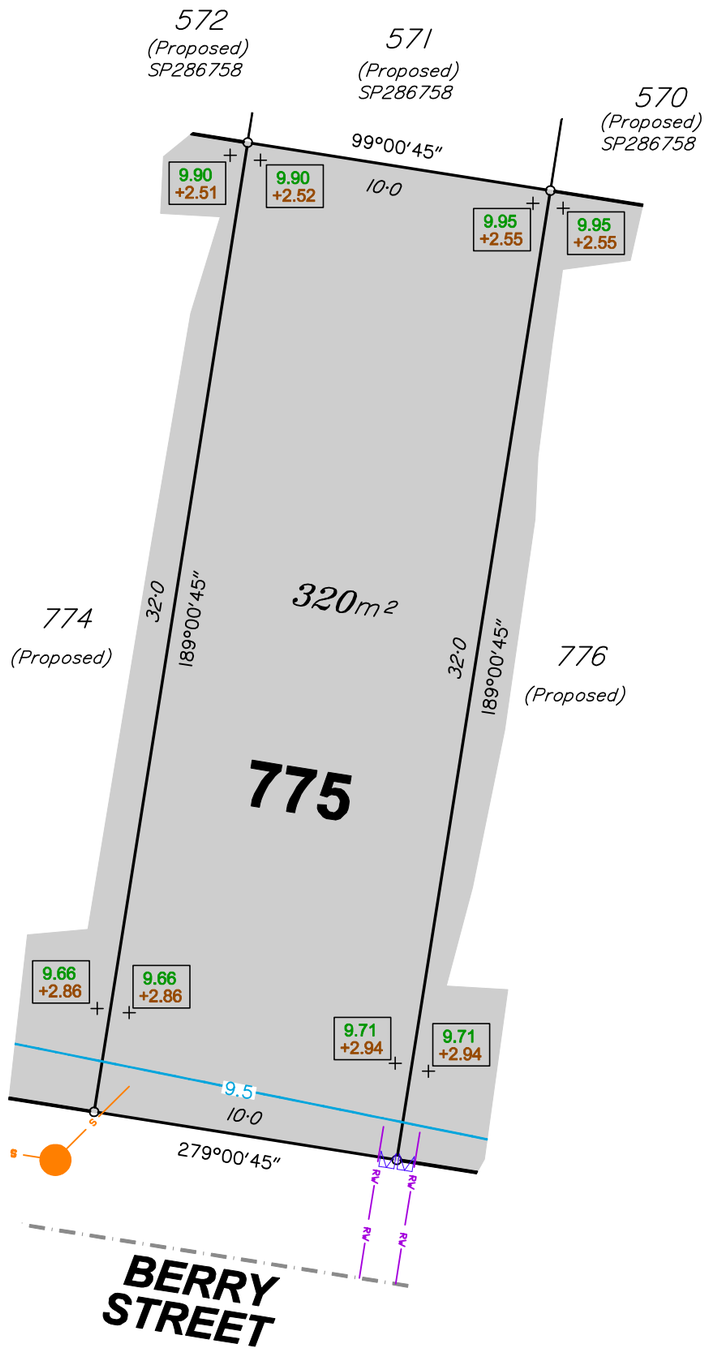
For Proposed Lot 774

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 774 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 774 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-774
VERSION A
DATE DRAWN 18-06-2016




## LEGEND

- 46.0 — DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m
- BACK OF KERB
- EDGE OF PAD
- S — SEWER/SEWER MANHOLE
- SW — STORMWATER/STORMWATER MANHOLE
- STORMWATER GULLY TRAP
- RW — ROOFWATER/ROOFWATER PIT
- ACOUSTIC FENCE
- KERB CROSSING
- PARKING BAY
- AREAS TO BE FILLED
- 57.32 / +1.40 — DESIGN LEVEL / DEPTH OF FILL
- RETAINING WALL
- 1.5 Ht — RETAINING WALL HEIGHT
- 1.0AHt — AVERAGE RETAINING WALL HEIGHT
- WATER METER

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

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Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

For Proposed Lot 775

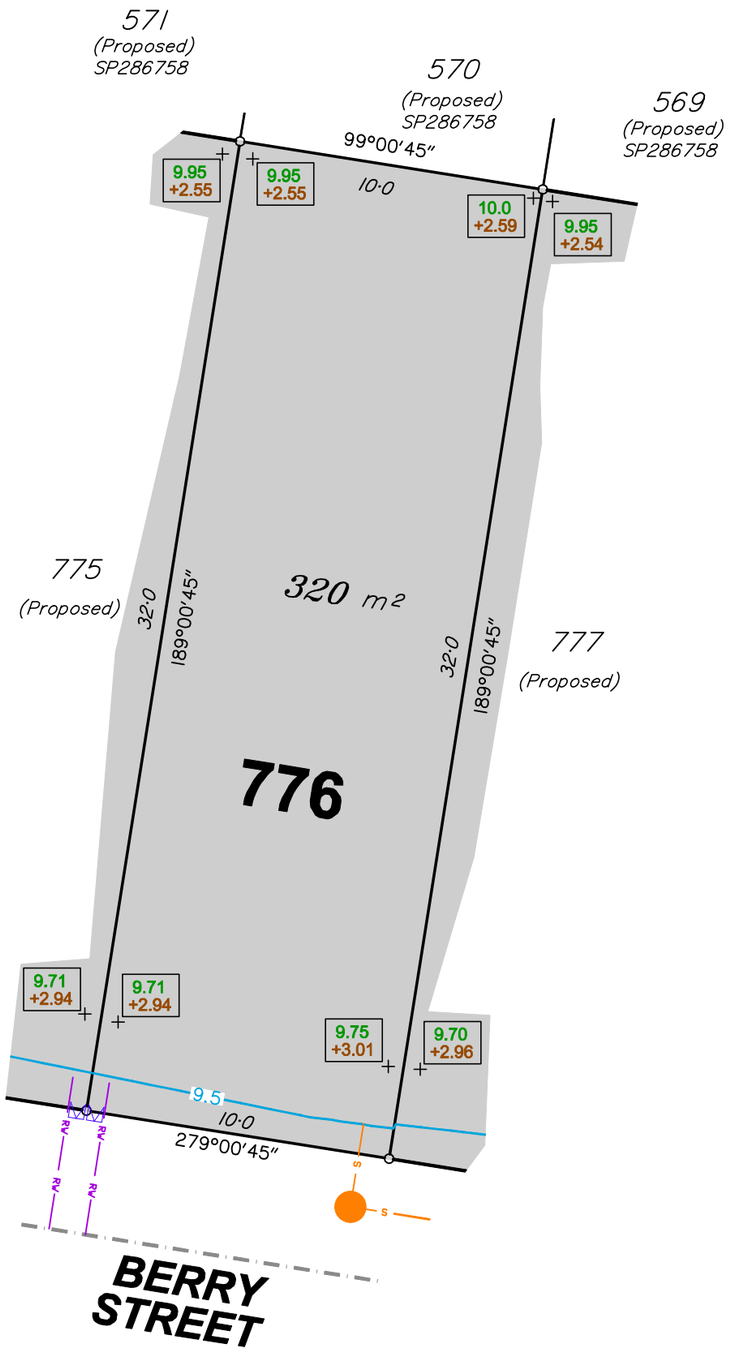
| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 775 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 775 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

| DRAWING NO. | VERSION |
|---|---|
| SB3594-04-775 | A |

DATE DRAWN
18-06-2016




## LEGEND

- 46.0 — DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m
- BACK OF KERB
- EDGE OF PAD
- S — S — SEWER/SEWER MANHOLE
- SW — SW — STORMWATER/STORMWATER MANHOLE
- STORMWATER GULLY TRAP
- RW — RW — RW — ROOFWATER/ROOFWATER PIT
- // — ACOUSTIC FENCE
- KERB CROSSING
- PARKING BAY
- AREAS TO BE FILLED
- 57.32 / +1.40 — DESIGN LEVEL / DEPTH OF FILL
- RETAINING WALL
- 1.5 Ht — RETAINING WALL HEIGHT
- 1.0AHt — AVERAGE RETAINING WALL HEIGHT
- WATER METER

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

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THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

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Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

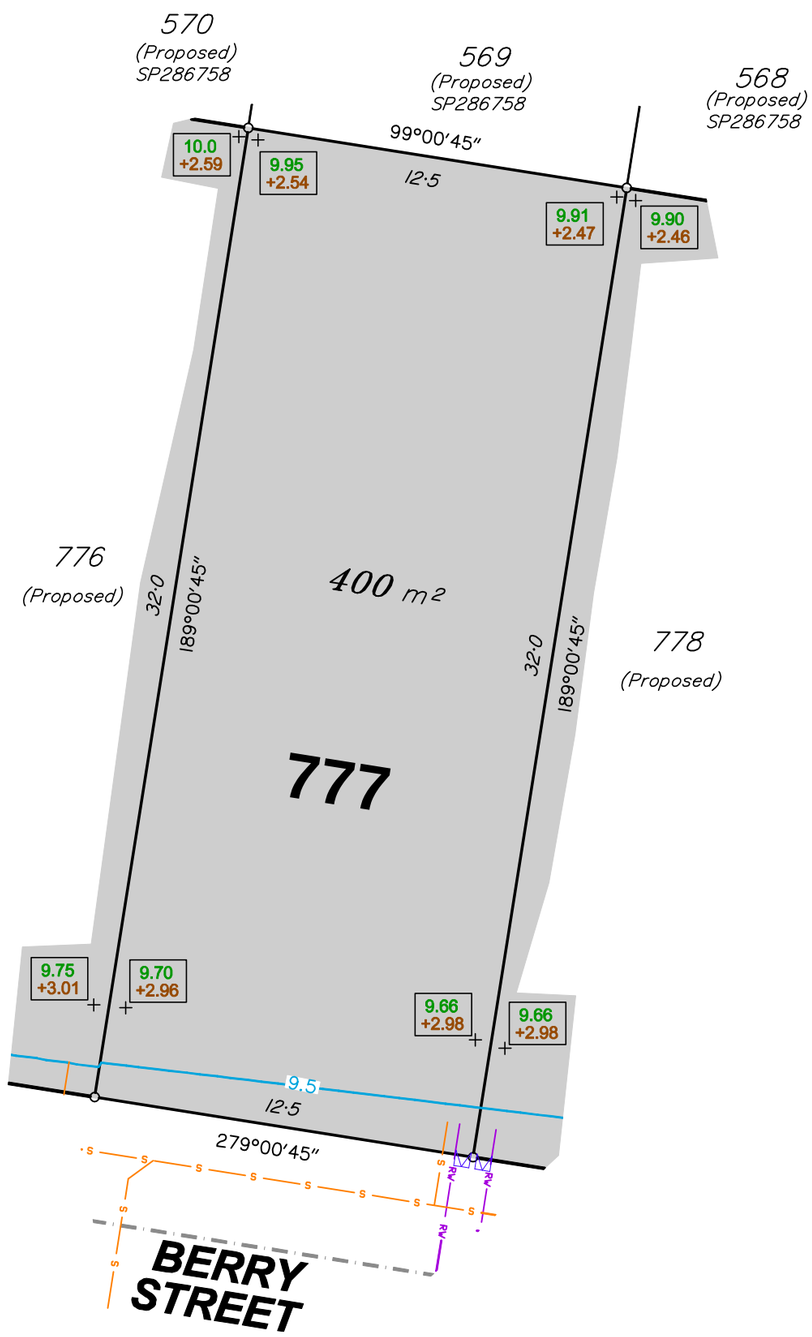
## For Proposed Lot 776

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 776 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 776 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-776
VERSION A
DATE DRAWN 18-06-2016




## LEGEND

| | |
|---|---|
| 46.0 | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| S | SEWER/SEWER MANHOLE |
| SW | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| RW RW RW | ROOFWATER/ROOFWATER PIT |
| // | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| 57.32 / +1.40 | DESIGN LEVEL / DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht / 1.0AHt | RETAINING WALL HEIGHT / AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

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Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

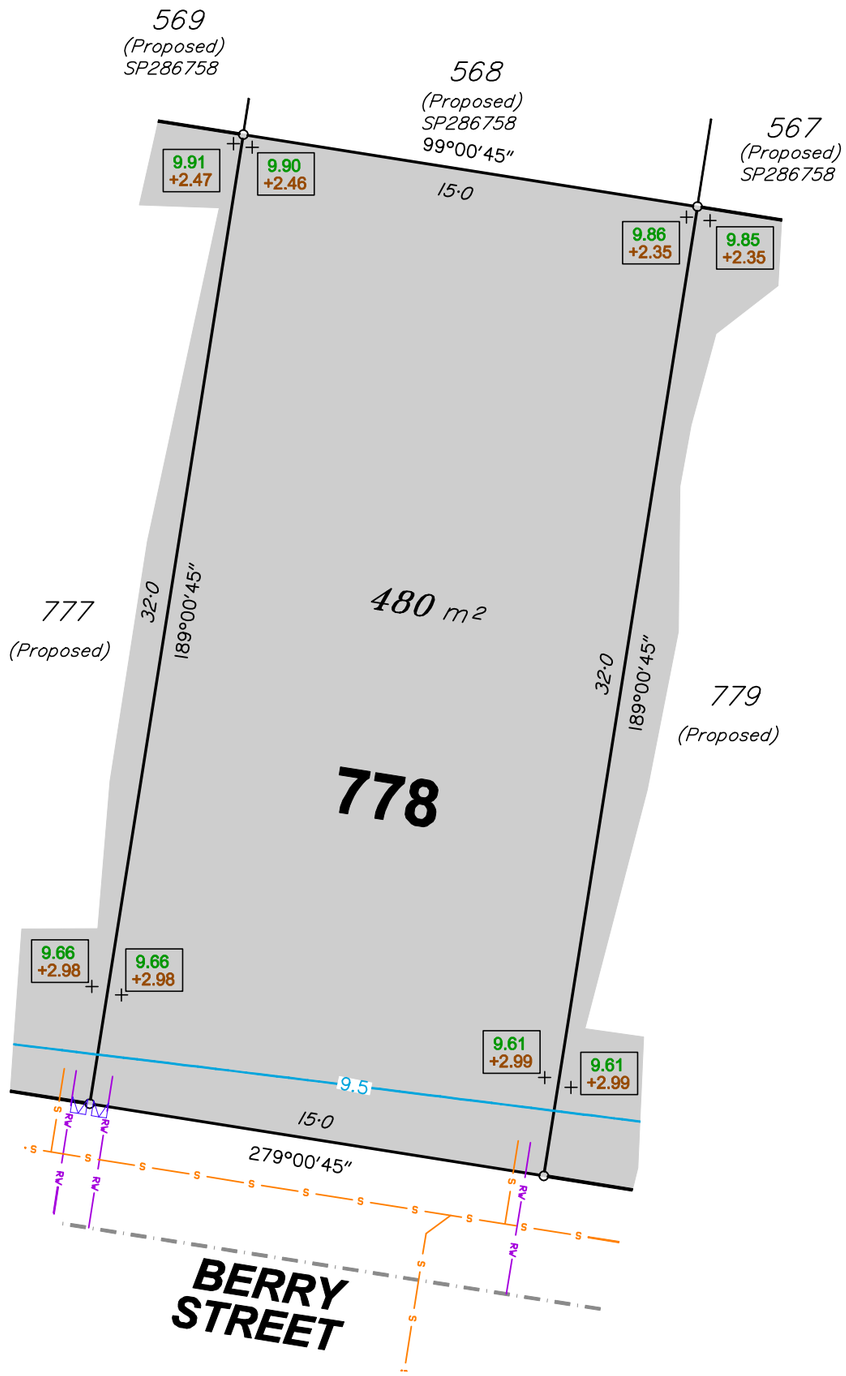
For Proposed Lot 777

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 777 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 777 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-777
VERSION A
DATE DRAWN 18-06-2016




## LEGEND

- 46.0 — DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m
- BACK OF KERB
- EDGE OF PAD
- S — SEWER/SEWER MANHOLE
- SW — STORMWATER/STORMWATER MANHOLE
- STORMWATER GULLY TRAP
- RW — ROOFWATER/ROOFWATER PIT
- ACOUSTIC FENCE
- KERB CROSSING
- PARKING BAY
- AREAS TO BE FILLED
- 57.32 / +1.40 — DESIGN LEVEL / DEPTH OF FILL
- RETAINING WALL
- 1.5 Ht / 1.0AHt — RETAINING WALL HEIGHT / AVERAGE RETAINING WALL HEIGHT
- WATER METER

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
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IMPORTANT NOTE:
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Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

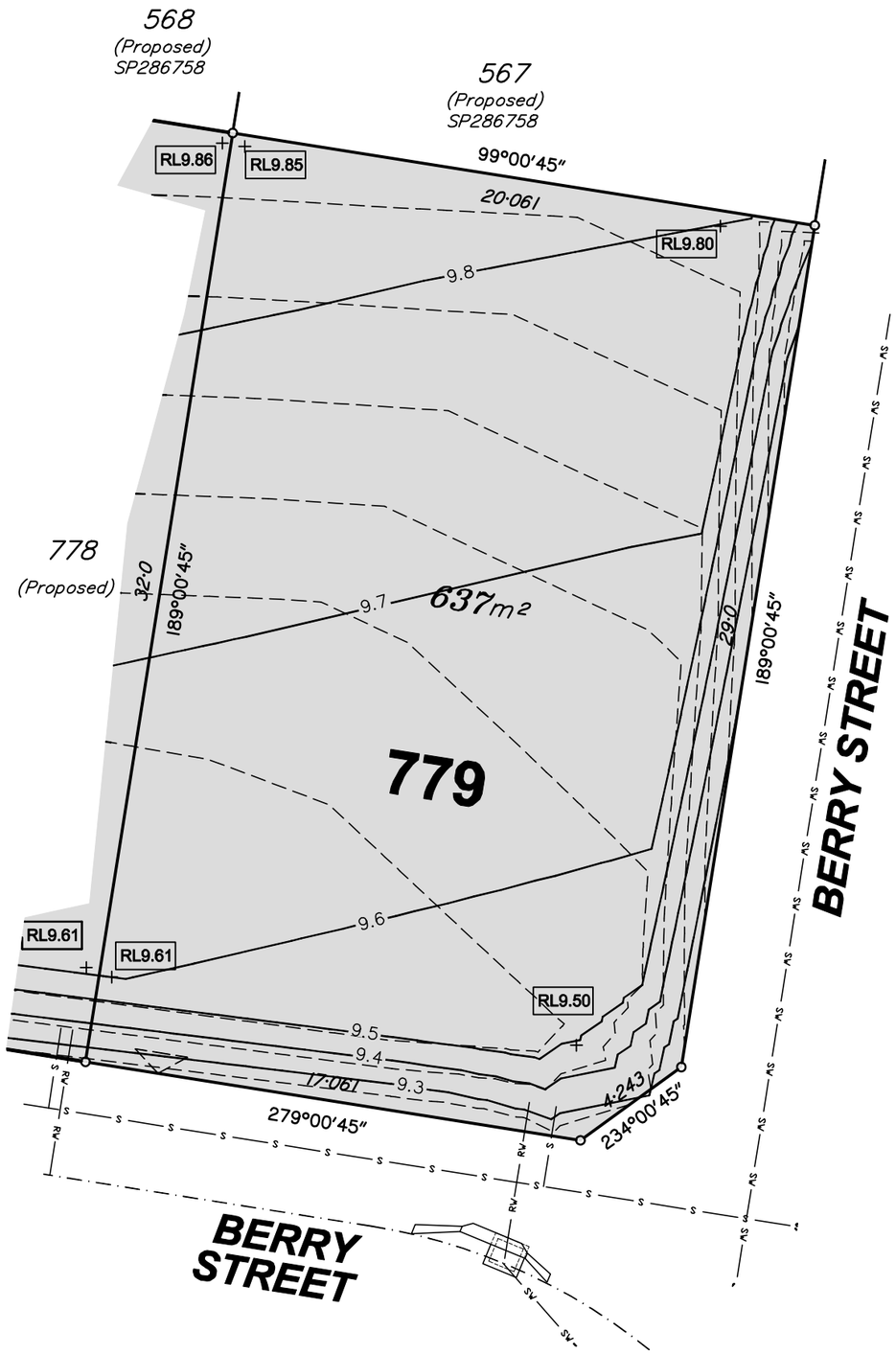
For Proposed Lot 778

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 778 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 778 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-778
VERSION A
DATE DRAWN 18-06-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S— S— | SEWER/SEWER MANHOLE |
| —SW— SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW— RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
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THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

## For Proposed Lot 779

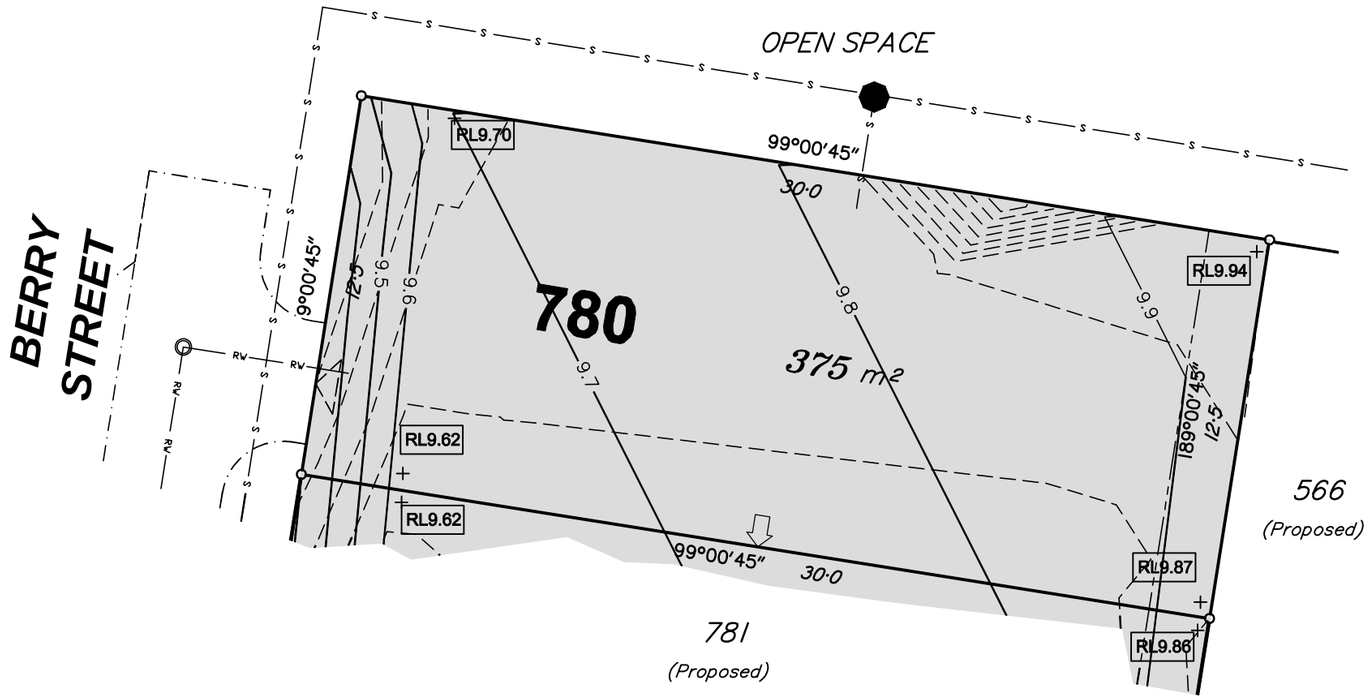
| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 779 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 779 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

| DRAWING NO. | VERSION |
|---|---|
| SB3594-04-779 | B |

DATE DRAWN
22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

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Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

Scale 1:200

# Disclosure Plan

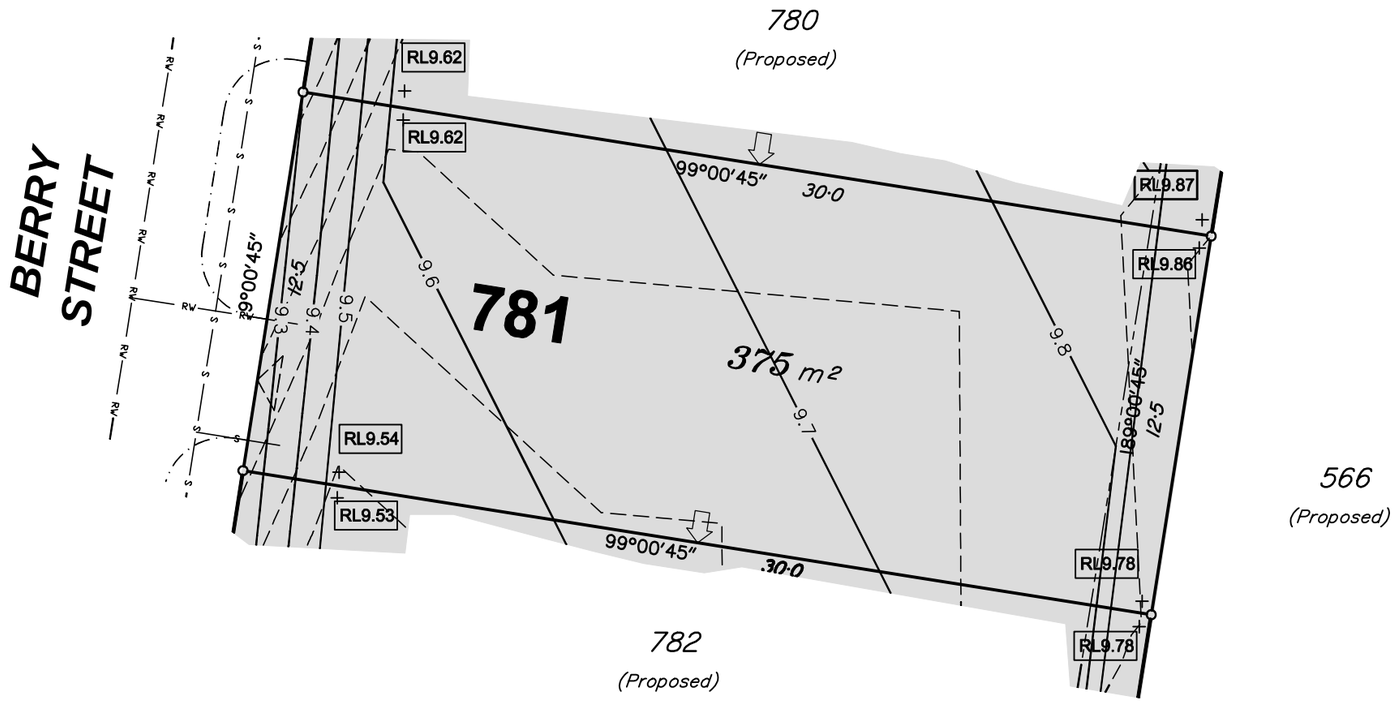
For Proposed Lot 780

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 780 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 780 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-780
VERSION B
DATE DRAWN 22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW—RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

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Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

## For Proposed Lot 781

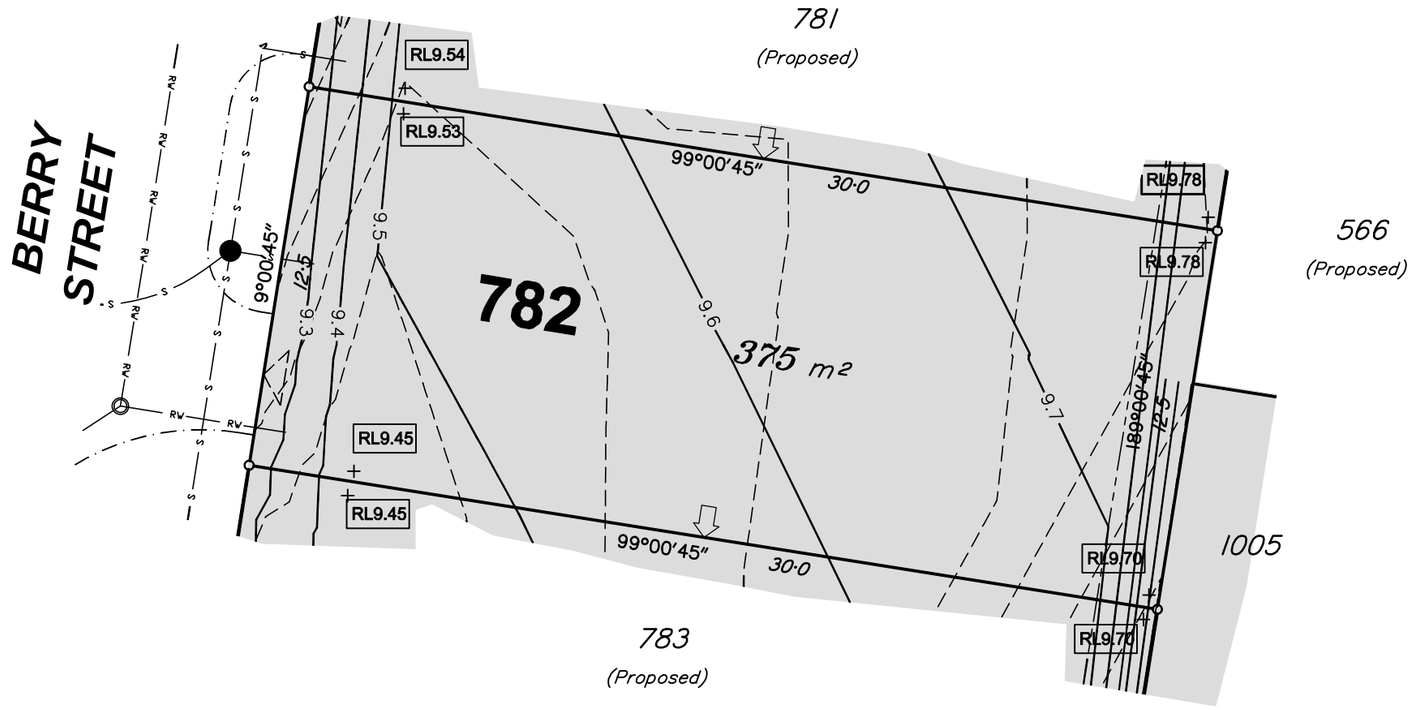
| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 781 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 781 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

| DRAWING NO. | VERSION |
|---|---|
| SB3594-04-781 | B |

DATE DRAWN
22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

Scale 1:200

# Disclosure Plan

For Proposed Lot 782

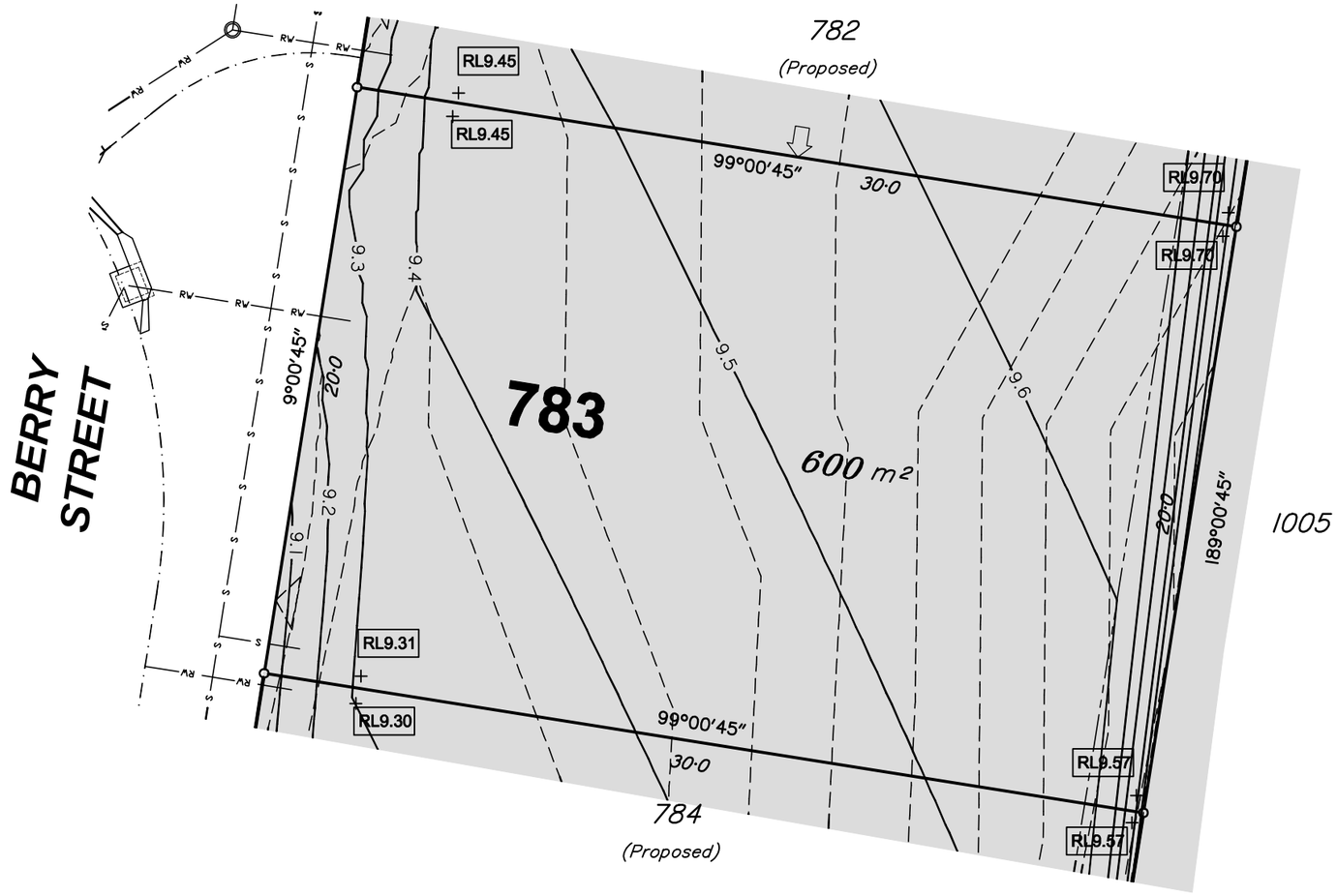
| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 782 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 782 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

| DRAWING NO. | VERSION |
|---|---|
| SB3594-04-782 | B |

DATE DRAWN
22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO
THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

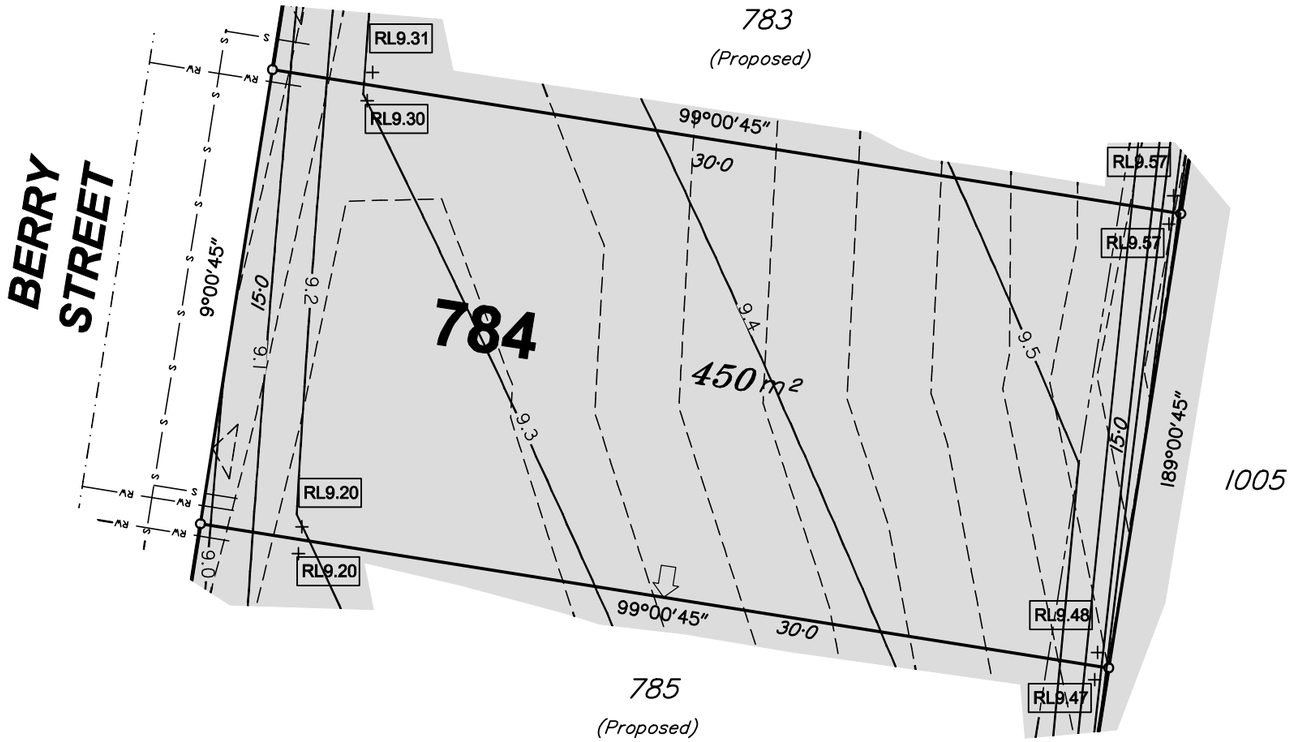
## For Proposed Lot 783

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 783 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 783 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-783
VERSION B
DATE DRAWN 22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

## For Proposed Lot 784

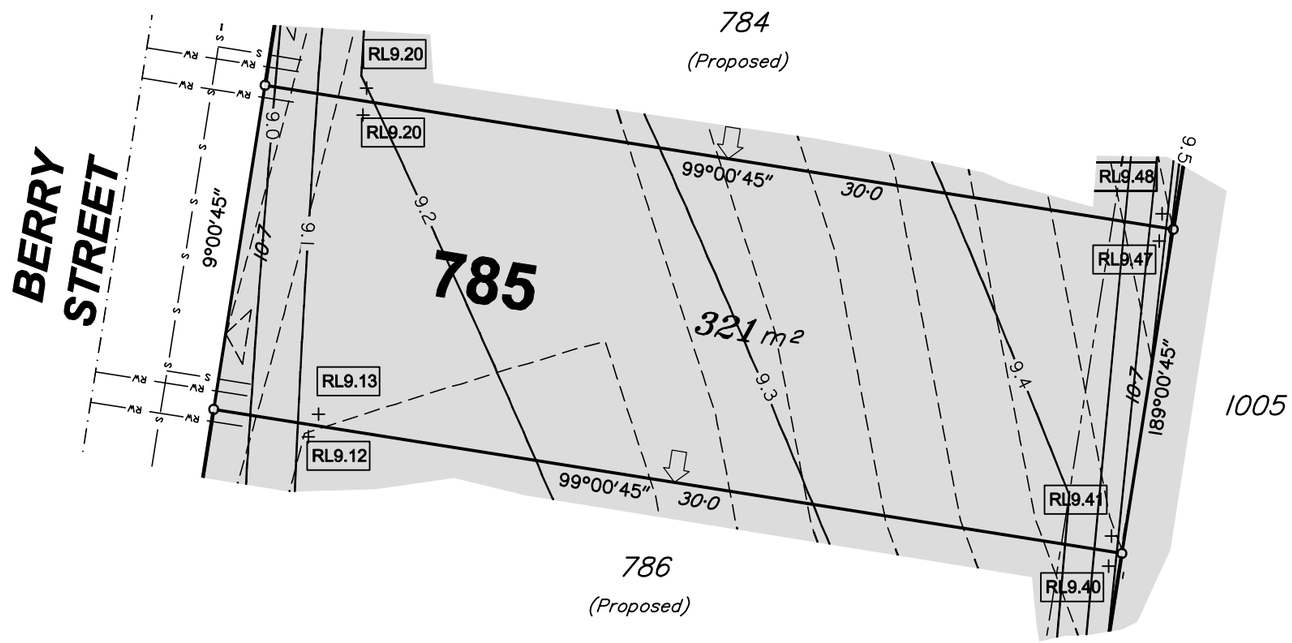
| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 784 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 784 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

| DRAWING NO. | VERSION |
|---|---|
| SB3594-04-784 | B |

DATE DRAWN
22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

Scale 1:200

# Disclosure Plan

For Proposed Lot 785

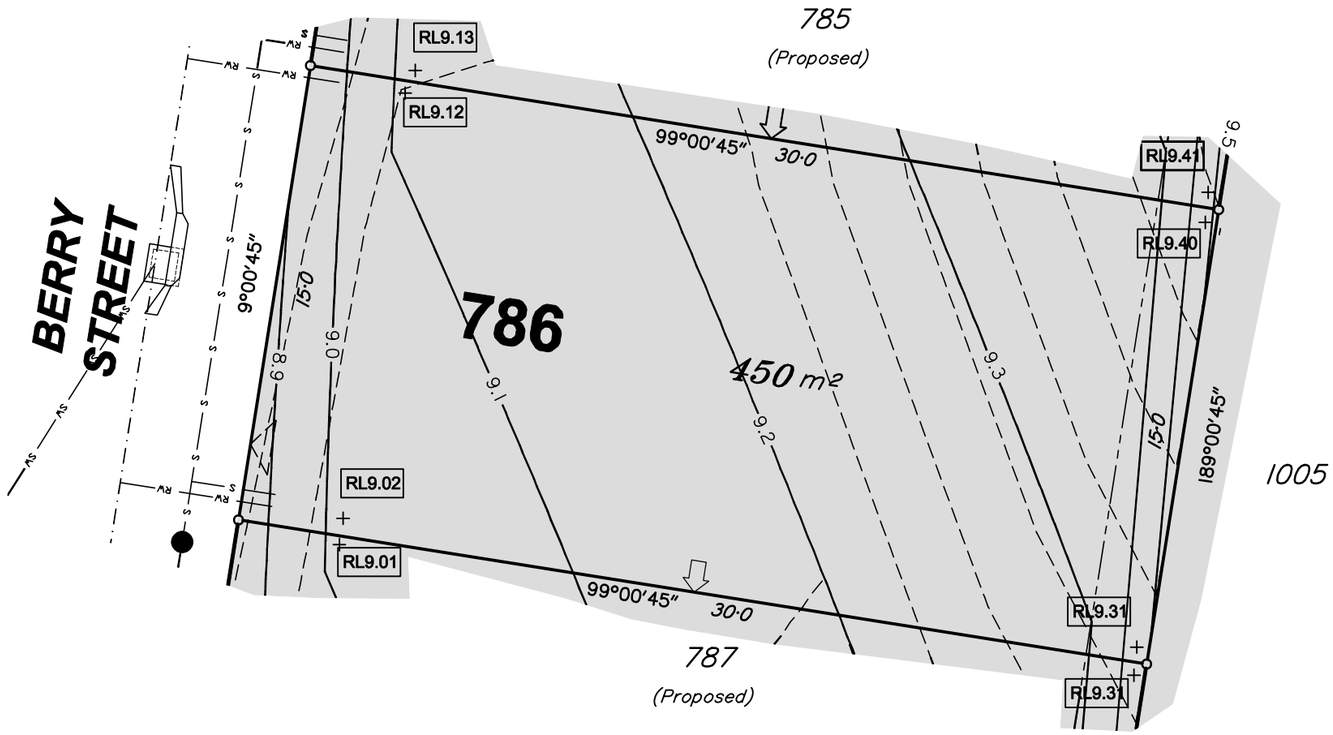
| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 785 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 785 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

| DRAWING NO. | VERSION |
|---|---|
| SB3594-04-785 | B |

DATE DRAWN
22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

For Proposed Lot 786

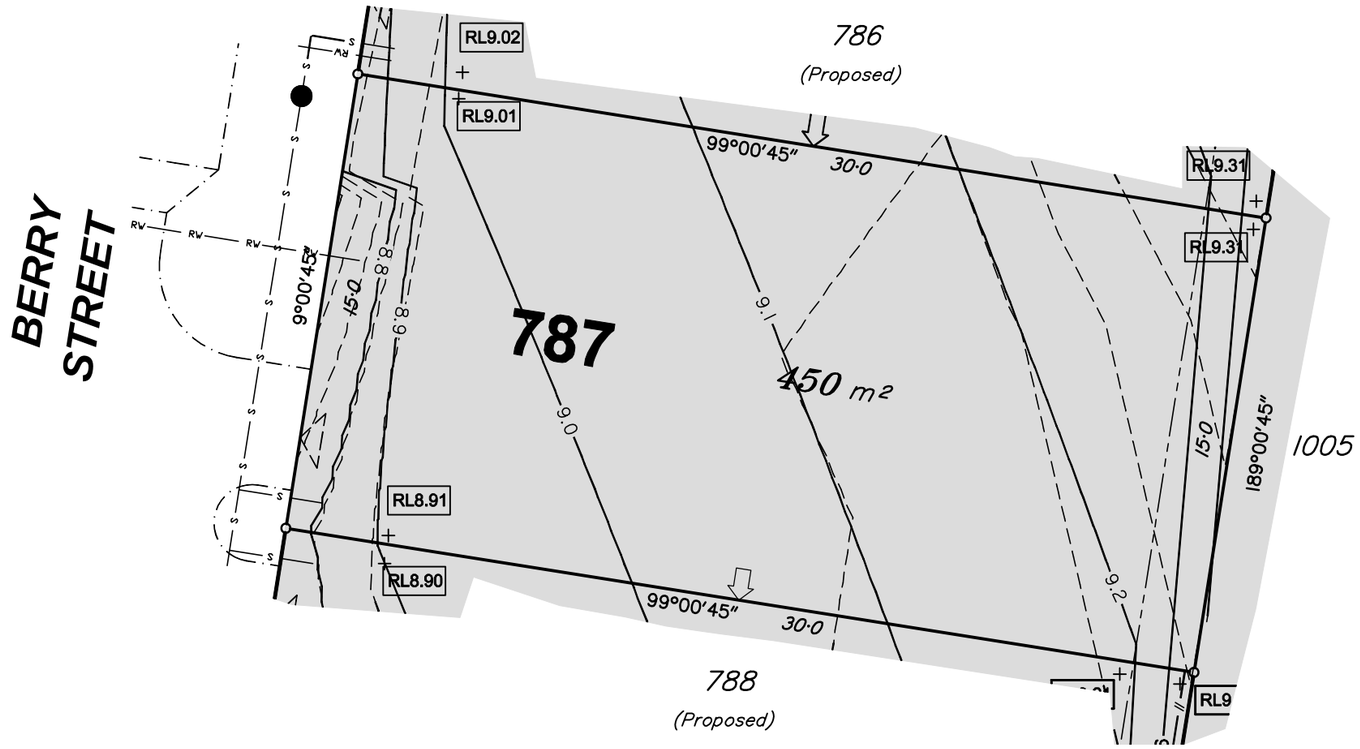
| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 786 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 786 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

| DRAWING NO. | VERSION |
|---|---|
| SB3594-04-786 | B |

DATE DRAWN
22-09-2016




## LEGEND

| | |
|---|---|
| —46.0— | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| —S—S— | SEWER/SEWER MANHOLE |
| —SW—SW— | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| —RW—RW— RW | ROOFWATER/ROOFWATER PIT |
| —// | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| + 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| | RETAINING WALL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO
THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
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THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

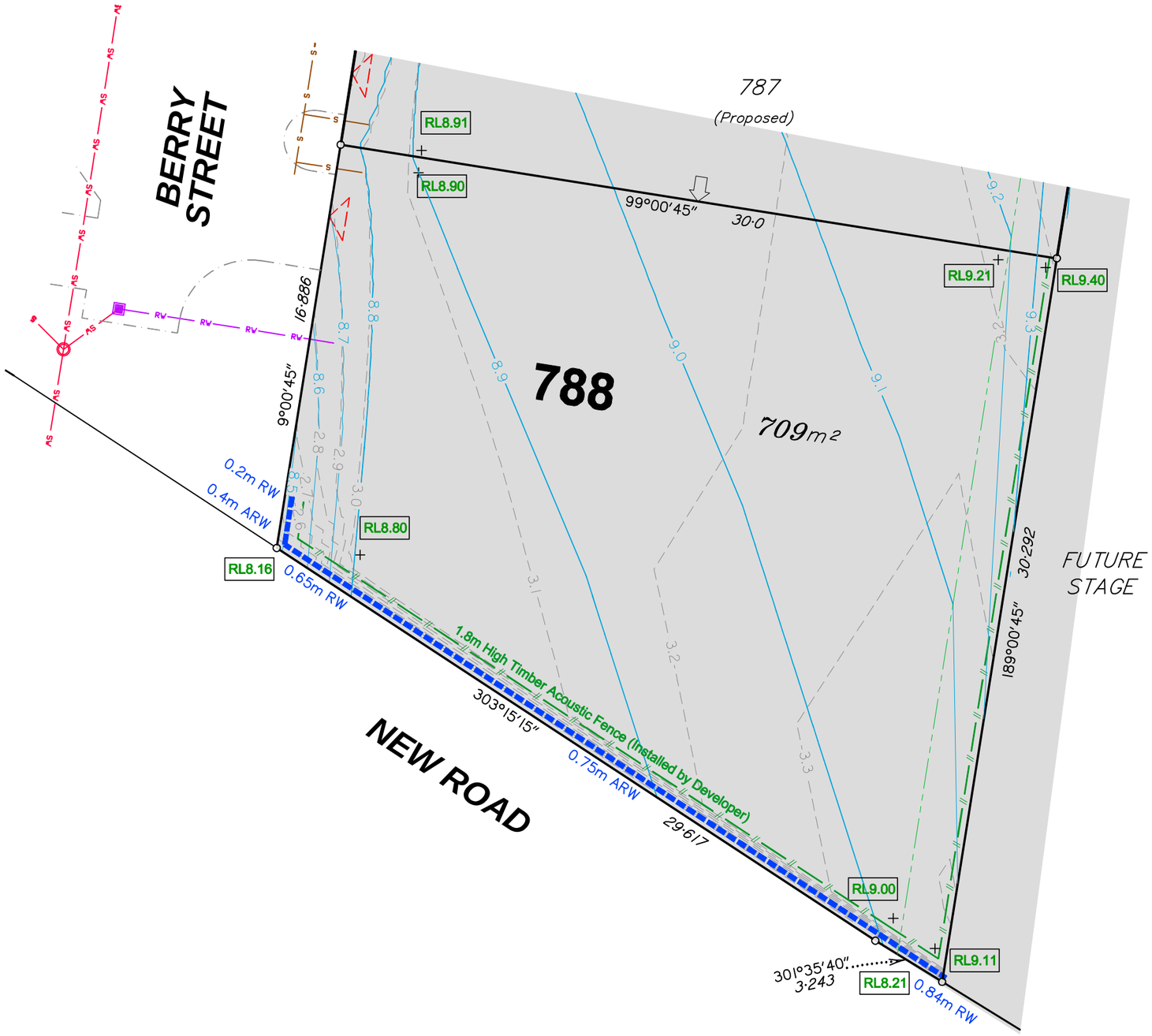
For Proposed Lot 787

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 787 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 787 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-787
VERSION B
DATE DRAWN 22-09-2016




# DISCLOSURE PLAN

## For Proposed Lot 788
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RV — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. Builders shall not build off the design levels shown; a site survey is required.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

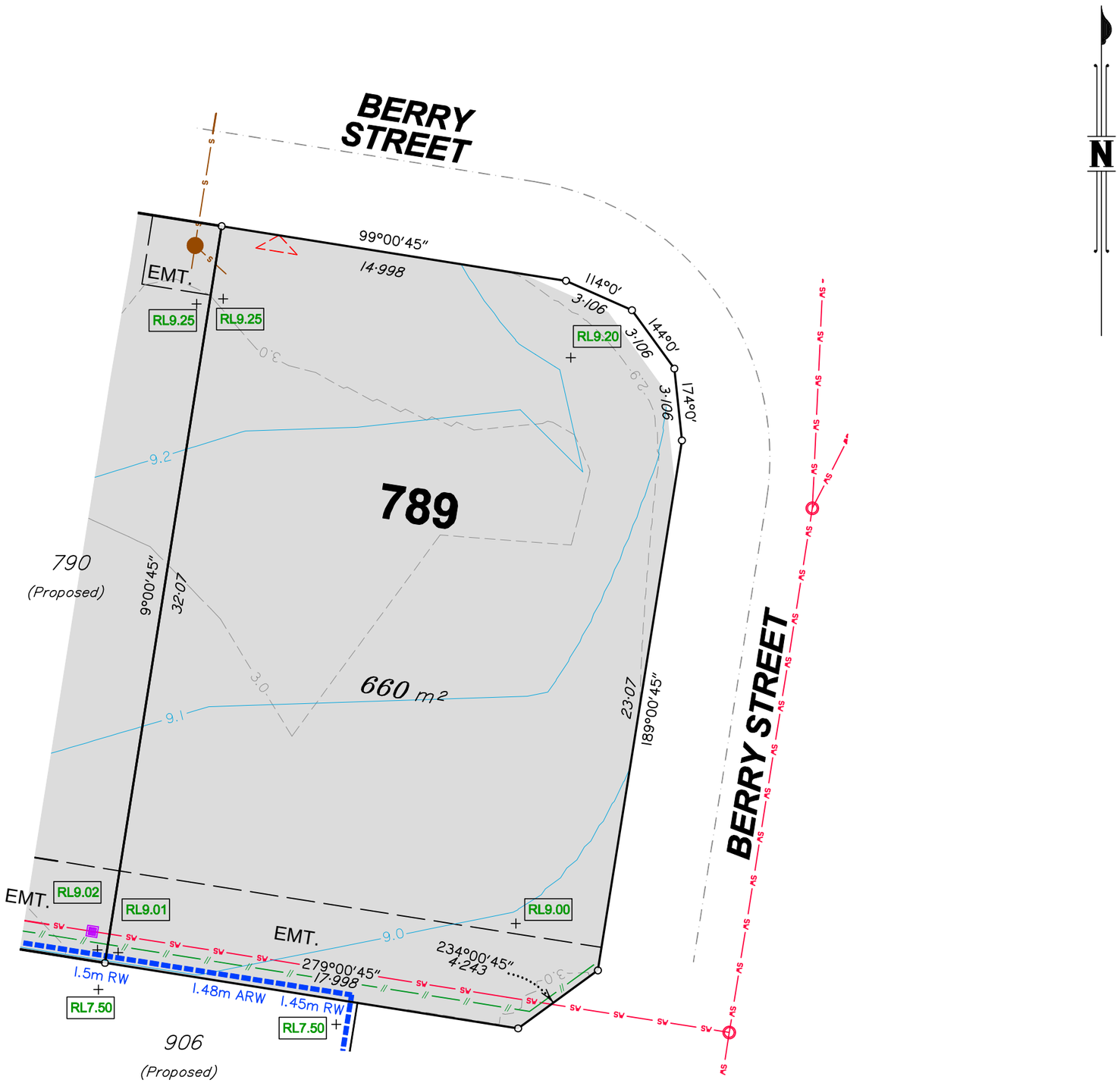
WOLTER consulting group
Planning Urban Design Landscape Environment Surveying

2 0 2 4
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-788 | B |




# DISCLOSURE PLAN

## For Proposed Lot 789
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RW — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. Builders shall not build off the design levels shown; a site survey is required.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

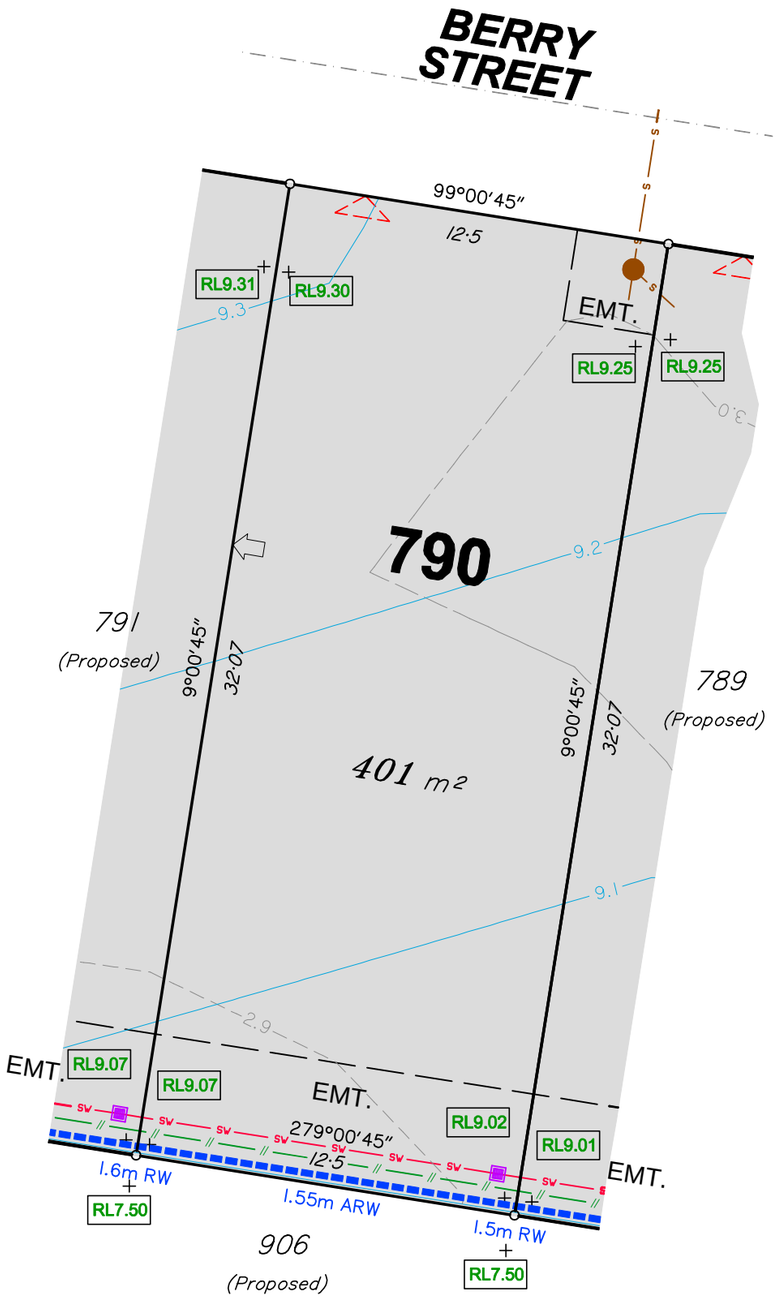
WOLTER consulting group
Planning Urban Design Landscape Environment Surveying

2 0 2 4
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-789 | A |




# DISCLOSURE PLAN

## For Proposed Lot 790
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RW — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. Builders shall not build off the design levels shown; a site survey is required.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

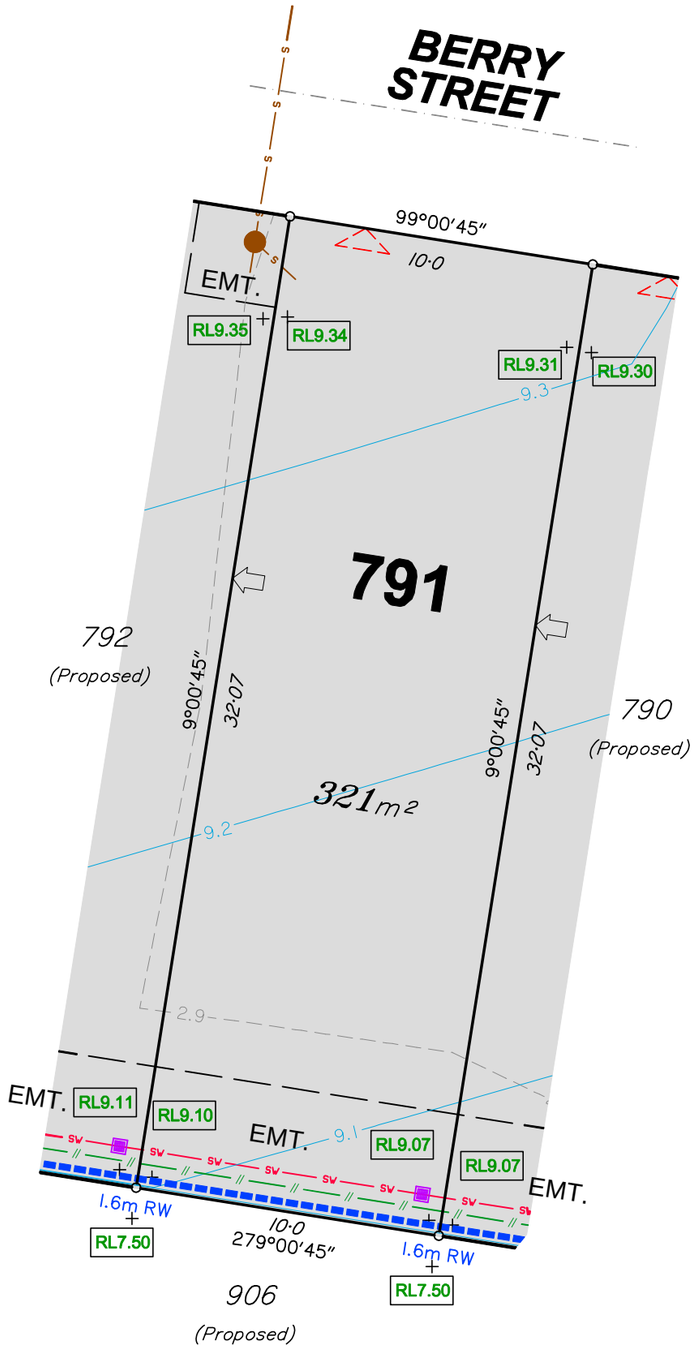
WOLTER consulting group
Planning Urban Design Landscape Environment Surveying

2 0 2 4
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-790 | A |




# DISCLOSURE PLAN

## For Proposed Lot 791
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RW — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. Builders shall not build off the design levels shown; a site survey is required.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

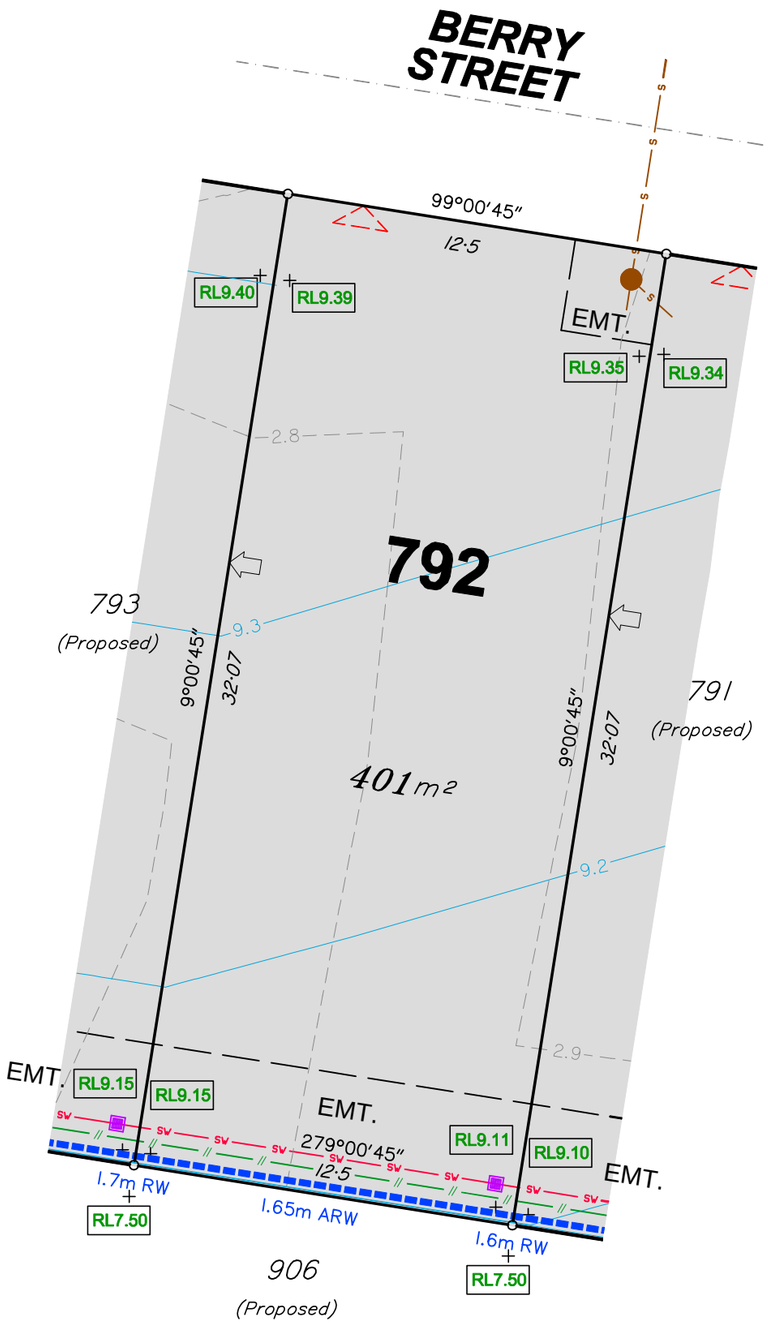
WOLTER consulting group
Planning Urban Design Landscape Environment Surveying

2 0 2 4
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-791 | A |




# DISCLOSURE PLAN

## For Proposed Lot 792
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RW — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. Builders shall not build off the design levels shown; a site survey is required.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

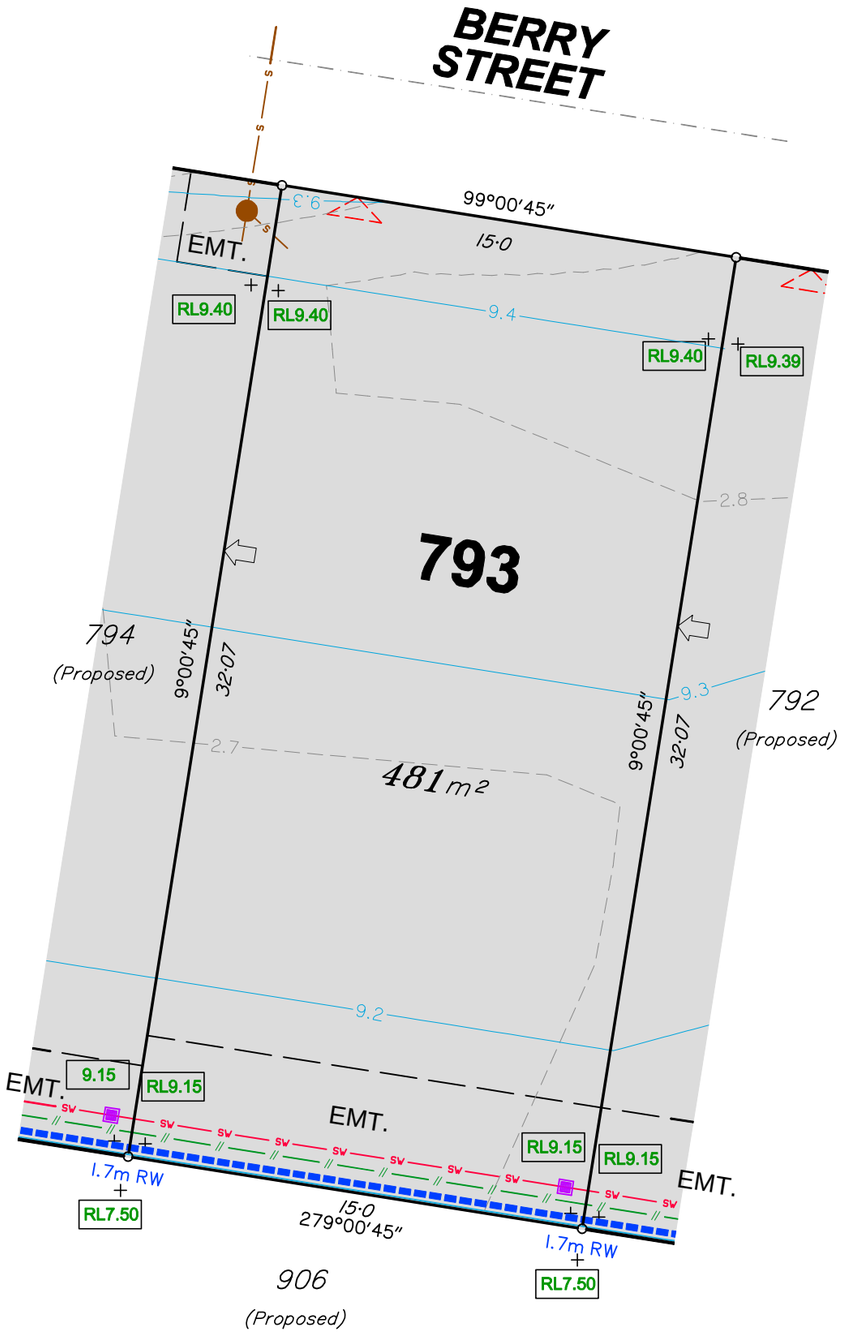
WOLTER consulting group
Planning Urban Design Landscape Environment Surveying

2 0 2 4
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-792 | A |




N

# DISCLOSURE PLAN

## For Proposed Lot 793
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RW — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. Builders shall not build off the design levels shown; a site survey is required.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

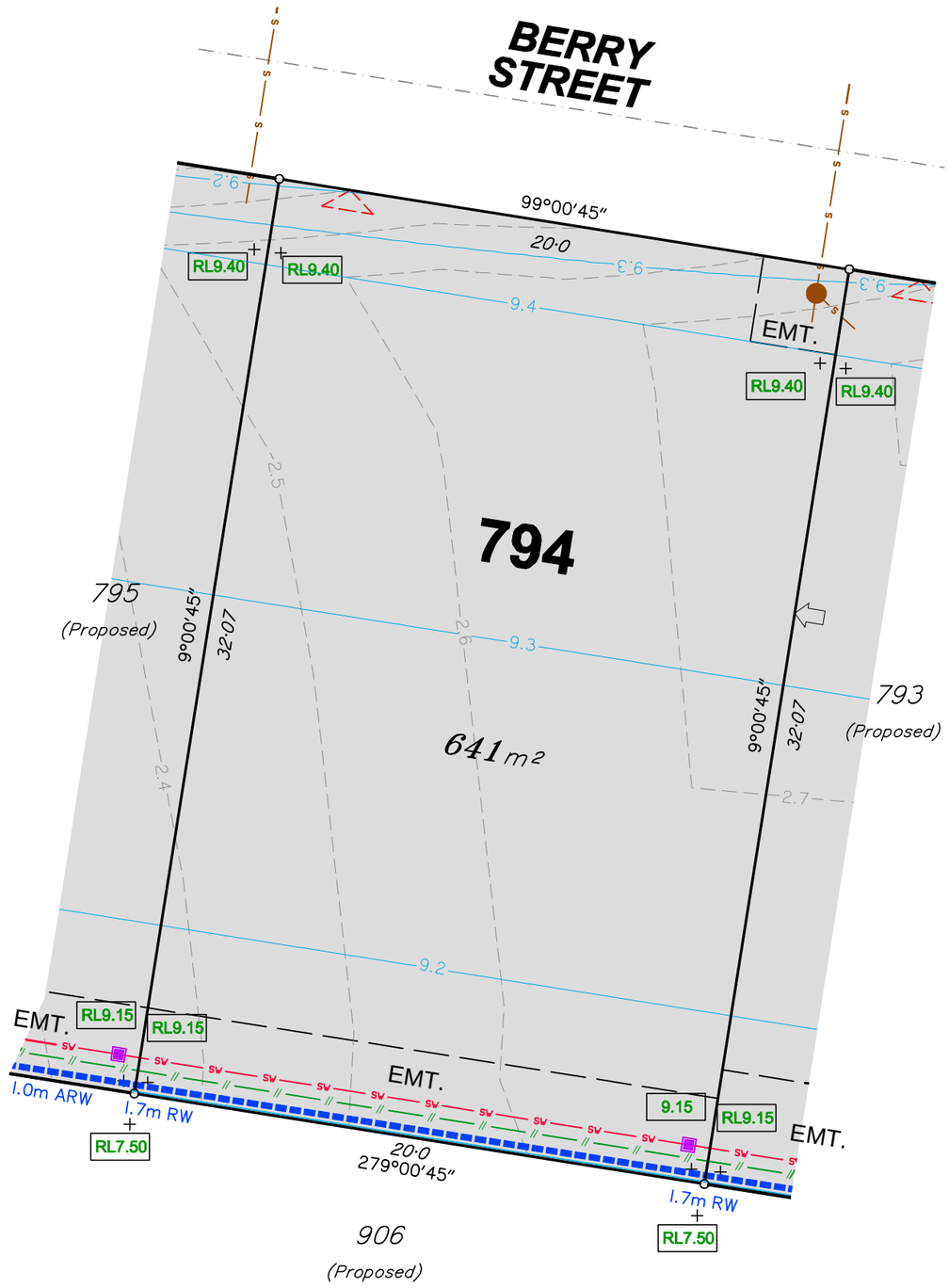
WOLTER consulting group
Planning Urban Design Landscape Environment Surveying

2 0 2 4
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-793 | A |




# DISCLOSURE PLAN

## For Proposed Lot 794
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RW — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. Builders shall not build off the design levels shown; a site survey is required.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

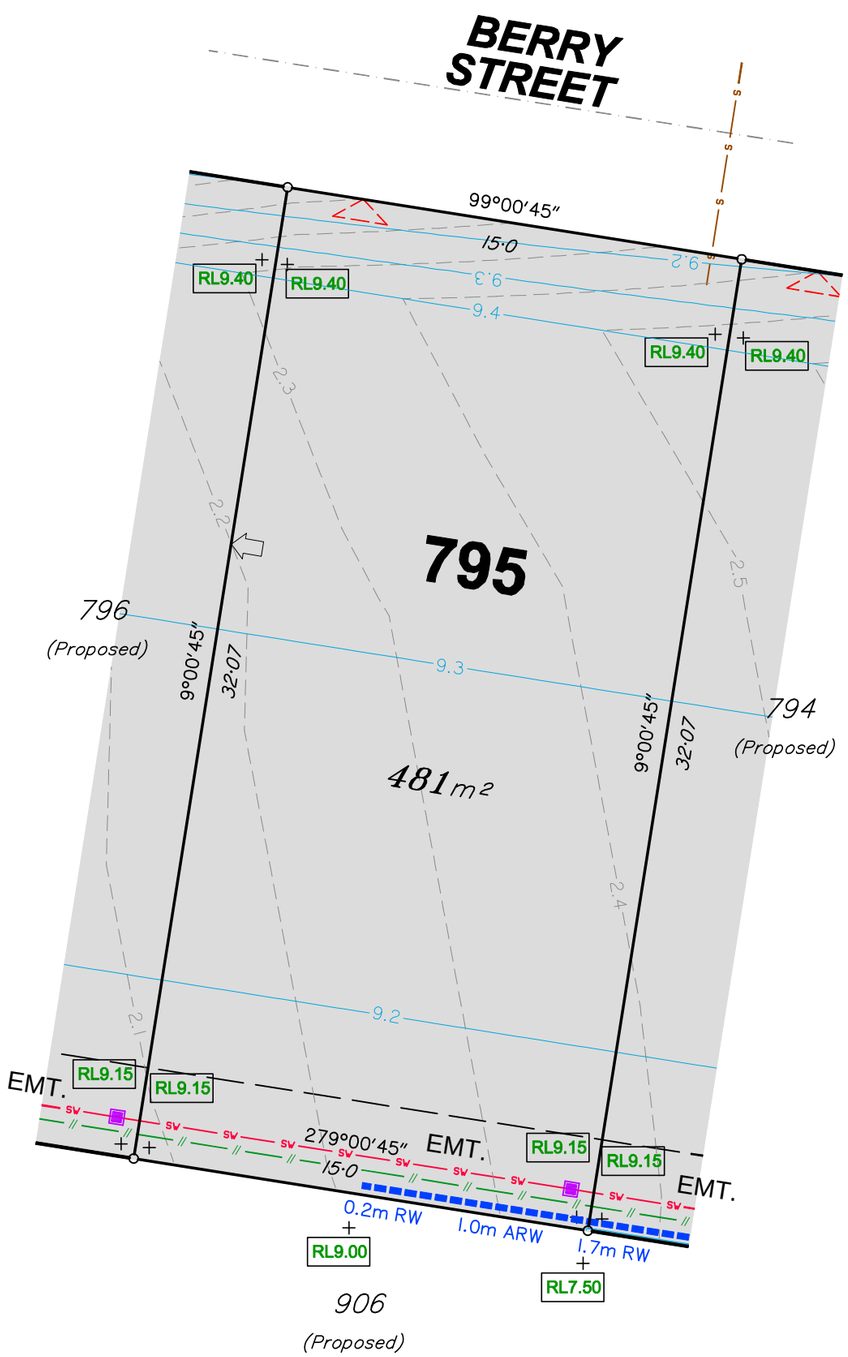
WOLTER consulting group
Planning Urban Design Landscape Environment Surveying

2 0 2 4
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-794 | A |



# DISCLOSURE PLAN

## For Proposed Lot 795
## Riverbank - Stage 10C

Currently Described As
RPD: Part of Lot 1001 on SP286758
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

**Legend:**

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- S — Sewer/Sewer Manhole
- SW — Stormwater/Stormwater Manhole
- AS — Stormwater Gully Trap
- RV — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 — Design Pad Level
- Retaining Wall
- RW / ARW — Retaining Wall Height / Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence (Installed by Developer)

**Notes:**

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 12-09-2016.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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Planning Urban Design Landscape Environment Surveying

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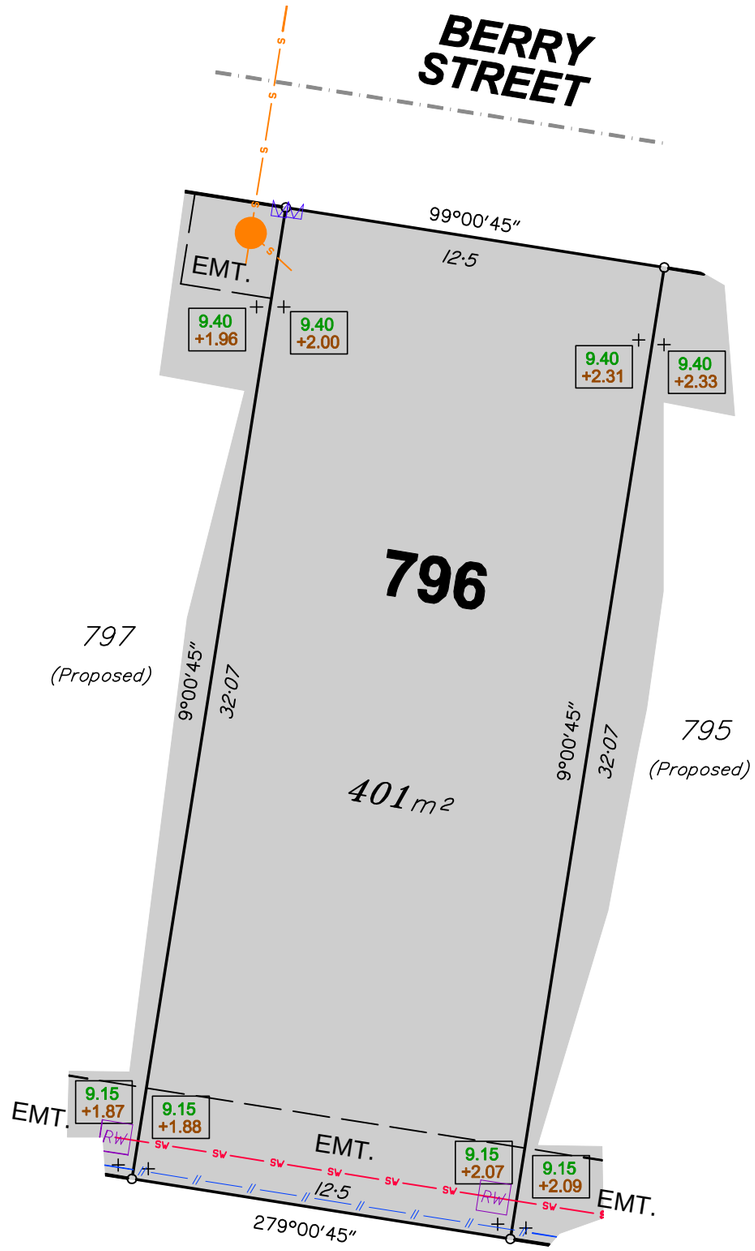
Scale 1:200 @A3

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

| DATE DRAWN | DRAWING NO. | VERSION |
|---|---|---|
| 19-09-2016 | SB3594-04-795 | B |




## LEGEND

- 46.0 — DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m
- BACK OF KERB
- EDGE OF PAD
- S — S — SEWER/SEWER MANHOLE
- SW — SW — STORMWATER/STORMWATER MANHOLE
- STORMWATER GULLY TRAP
- RW — RW — RW — ROOFWATER/ROOFWATER PIT
- // — ACOUSTIC FENCE
- KERB CROSSING
- PARKING BAY
- AREAS TO BE FILLED
- 57.32 / +1.40 — DESIGN LEVEL / DEPTH OF FILL
- RETAINING WALL
- 1.5 Ht / 1.0AHt — RETAINING WALL HEIGHT / AVERAGE RETAINING WALL HEIGHT
- WATER METER

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

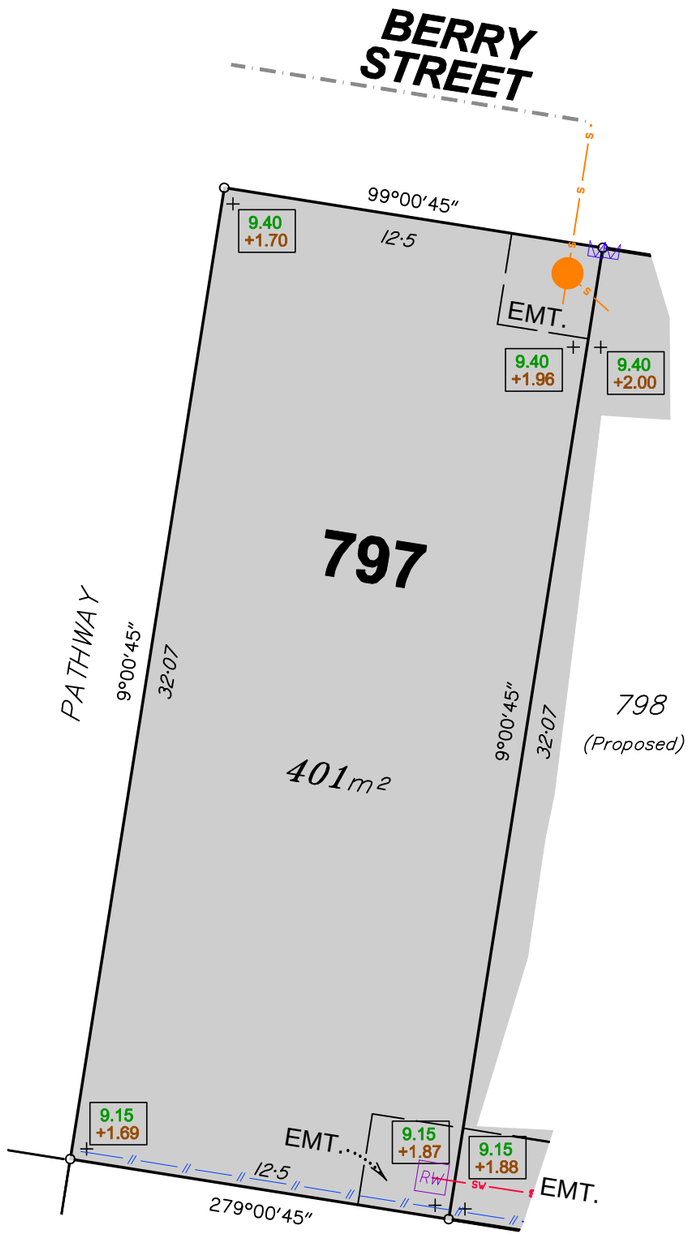
## For Proposed Lot 796

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 796 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 796 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-796
VERSION A
DATE DRAWN 18-06-2016




## LEGEND

| | |
|---|---|
| 46.0 | DESIGN SURFACE CONTOURS BASED ON AHD(DER) AT AN INTERVAL OF 0.5m |
| | BACK OF KERB |
| | EDGE OF PAD |
| S | SEWER/SEWER MANHOLE |
| SW | STORMWATER/STORMWATER MANHOLE |
| | STORMWATER GULLY TRAP |
| RW | ROOFWATER/ROOFWATER PIT |
| // | ACOUSTIC FENCE |
| | KERB CROSSING |
| | PARKING BAY |
| | AREAS TO BE FILLED |
| 57.32 +1.40 | DESIGN LEVEL<br>DEPTH OF FILL |
| 1.5 Ht<br>1.0AHt | RETAINING WALL<br>RETAINING WALL HEIGHT<br>AVERAGE RETAINING WALL HEIGHT |
| M | WATER METER |

## NOTES

COMPACTION AND TESTING OF FILL IN ACCORDANCE WITH AS3798

LOCATION OF RETAINING WALLS ARE INDICATIVE ONLY.
SITE CONDITIONS WILL DICTATE CONSTRUCTION LIMITS TO THE LOCATION, LENGTH AND THICKNESS OF THESE WALLS.

IMPORTANT NOTE:
BUILDERS SHALL NOT BUILD OFF THE DESIGN LEVELS SHOWN; A SITE SURVEY IS REQUIRED.
THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

WOLTER consulting group
Planning Urban Design Landscape Environment Surveying
Brisbane: Level 2, 1 Breakfast Ck Road, Newstead, QLD 4006 Phone: (07) 3666 5200

2 0 2 4
Scale 1:200

# Disclosure Plan

For Proposed Lot 797

| | |
|---|---|
| Local Authority: | Moreton Bay Regional Council |
| Level Origin: | PM109474 RL15.112 |
| Level Datum: | AHD. |
| Contour Interval: | 0.5m |

This plan shows details of Proposed Lot 797 on the approved plan 7025-183D which accompanied the Subdivision Application and was approved by Moreton Bay Regional Council on the 05-05-2016, subject to conditions.
Proposed Lot 797 is described as part of Lot 1000 on SP284801 situated in Caboolture South, Riverbank - Stage 10C.

RIVERBANK

DRAWING NO. SB3594-04-797
VERSION A
DATE DRAWN 18-06-2016