

# DISCLOSURE PLAN

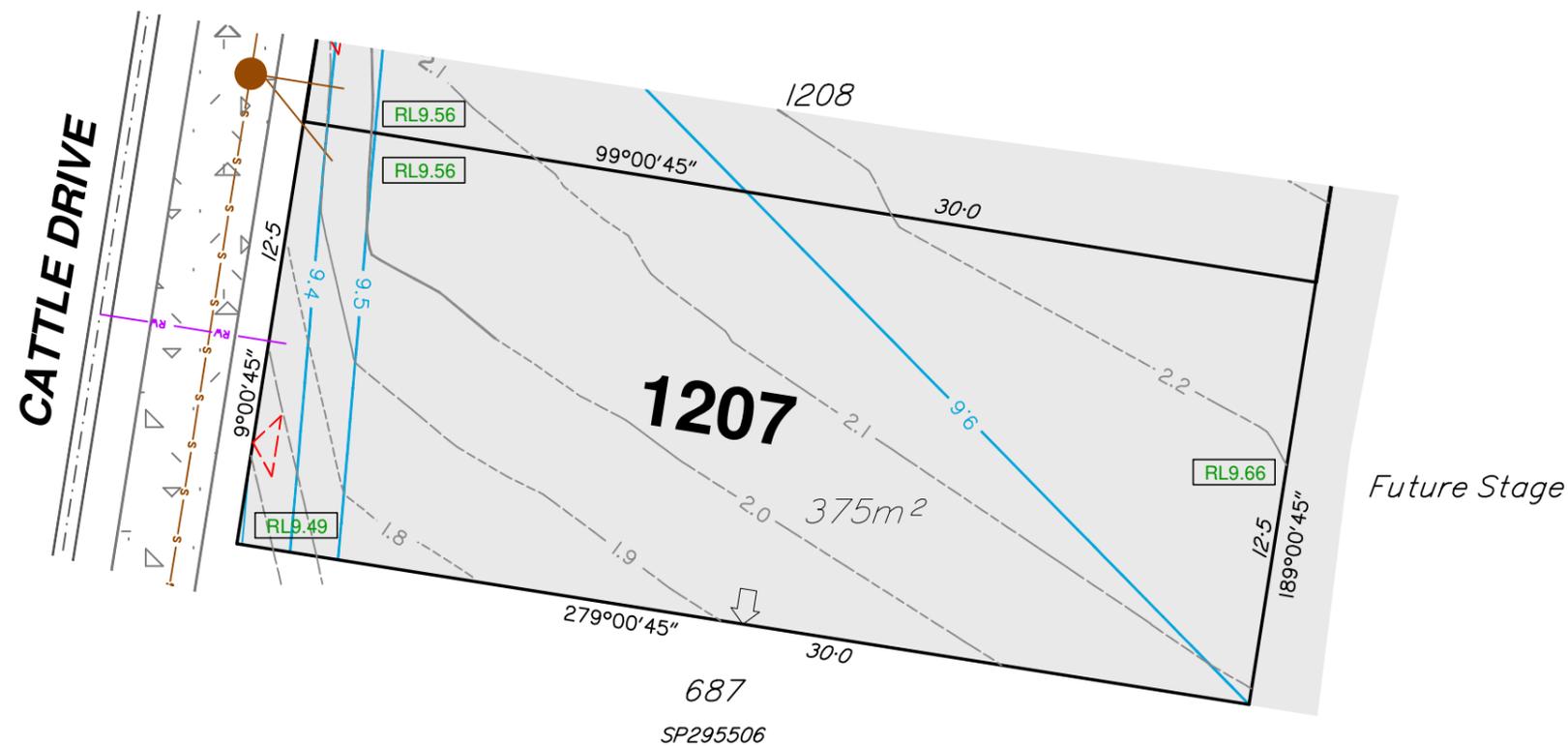
For Proposed Lot 1207  
Riverbank - Stage 23

Currently Described As  
 RPD: Lots 684-686 on SP295506  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional Council

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SV	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	RV	Roofwater/Roofwater Pit
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 04-09-2018.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
 Scale 1:200 @A3  
 LEVEL DATUM  
AHD.

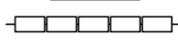
DATE DRAWN 07-09-2018  
 DRAWING NO. SB3594-11-1207  
 VERSION A

# DISCLOSURE PLAN

For Proposed Lot 1208  
Riverbank - Stage 23

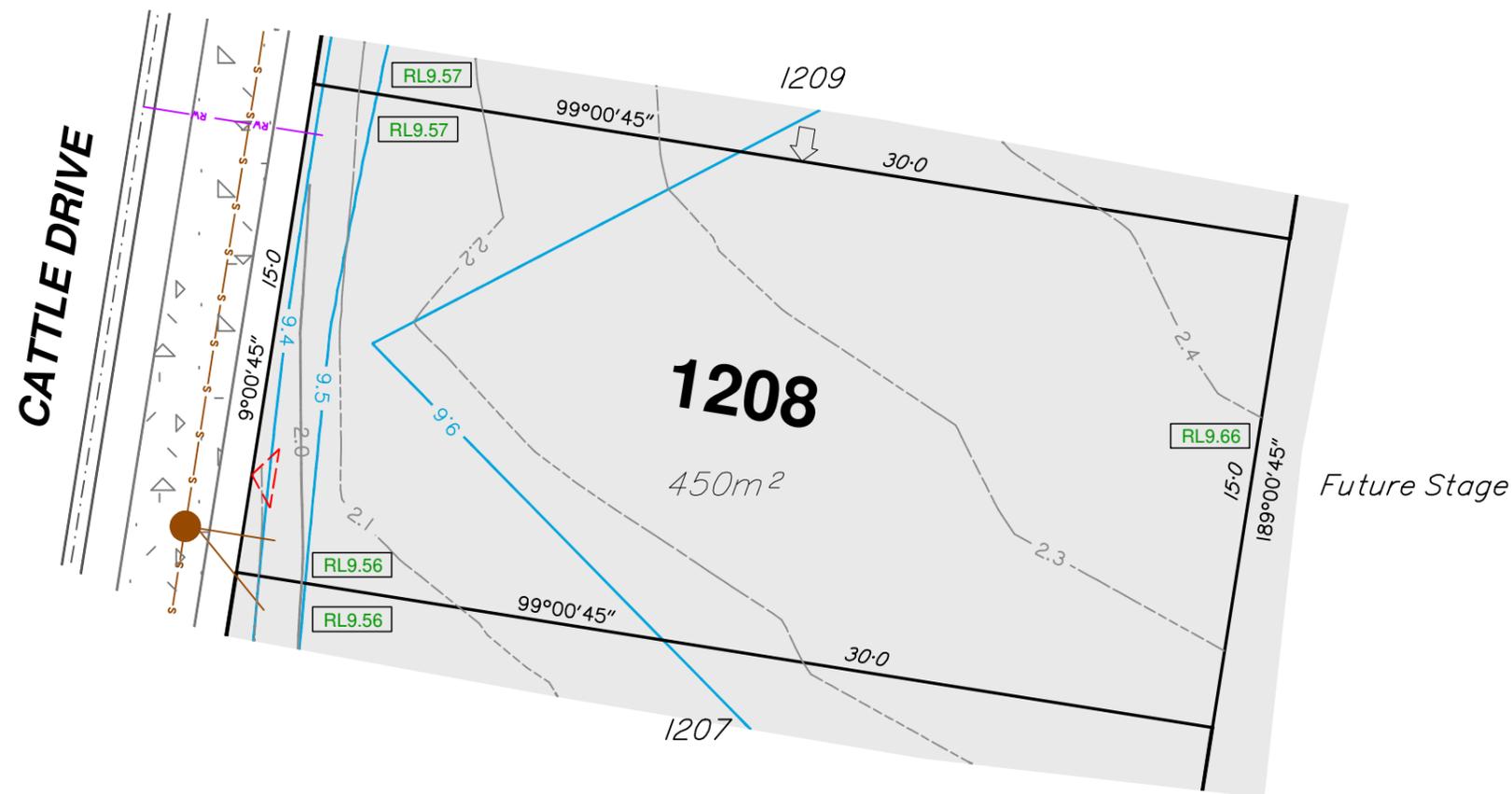
Currently Described As  
RPD: Lots 684-686 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- - - - - Edge of Pad
- S — S — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- RV — RV — Roofwater/Roofwater Pit
-  Area to be Filled
- RL9.32 Design Pad Level
-  Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 07-09-2018 DRAWING NO. SB3594-11-1208 VERSION A

# DISCLOSURE PLAN

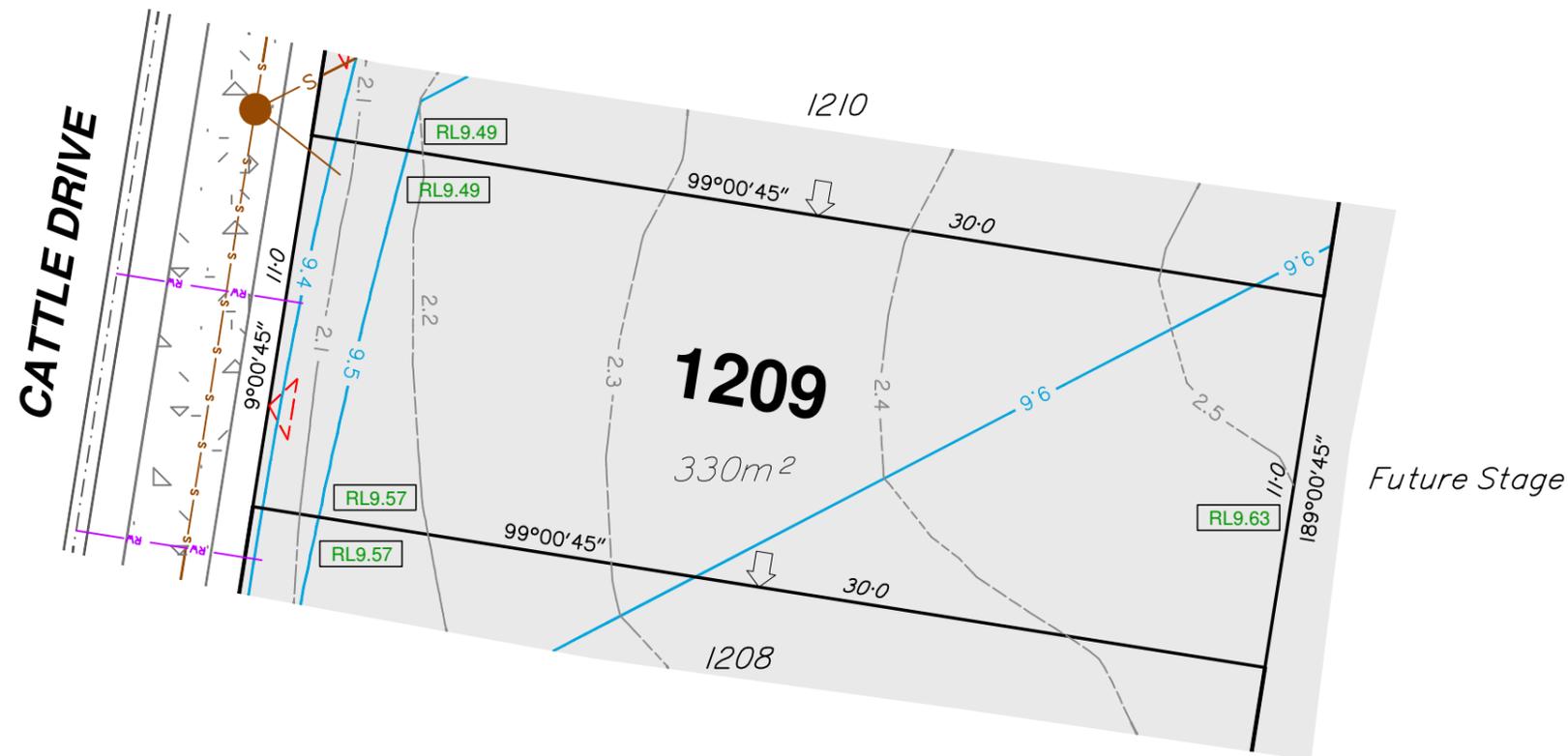
For Proposed Lot 1209  
Riverbank - Stage 23

Currently Described As  
 RPD: Lots 684-686 on SP295506  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional Council

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SV	Stormwater/Stormwater Manhole
	AS	Stormwater Gully Trap
	RV	Roofwater/Roofwater Pit
	RL9.32	Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
 Scale 1:200 @A3  
 LEVEL DATUM  
AHD.

DATE DRAWN 24-10-2018	DRAWING NO. SB3594-11-1209	VERSION B
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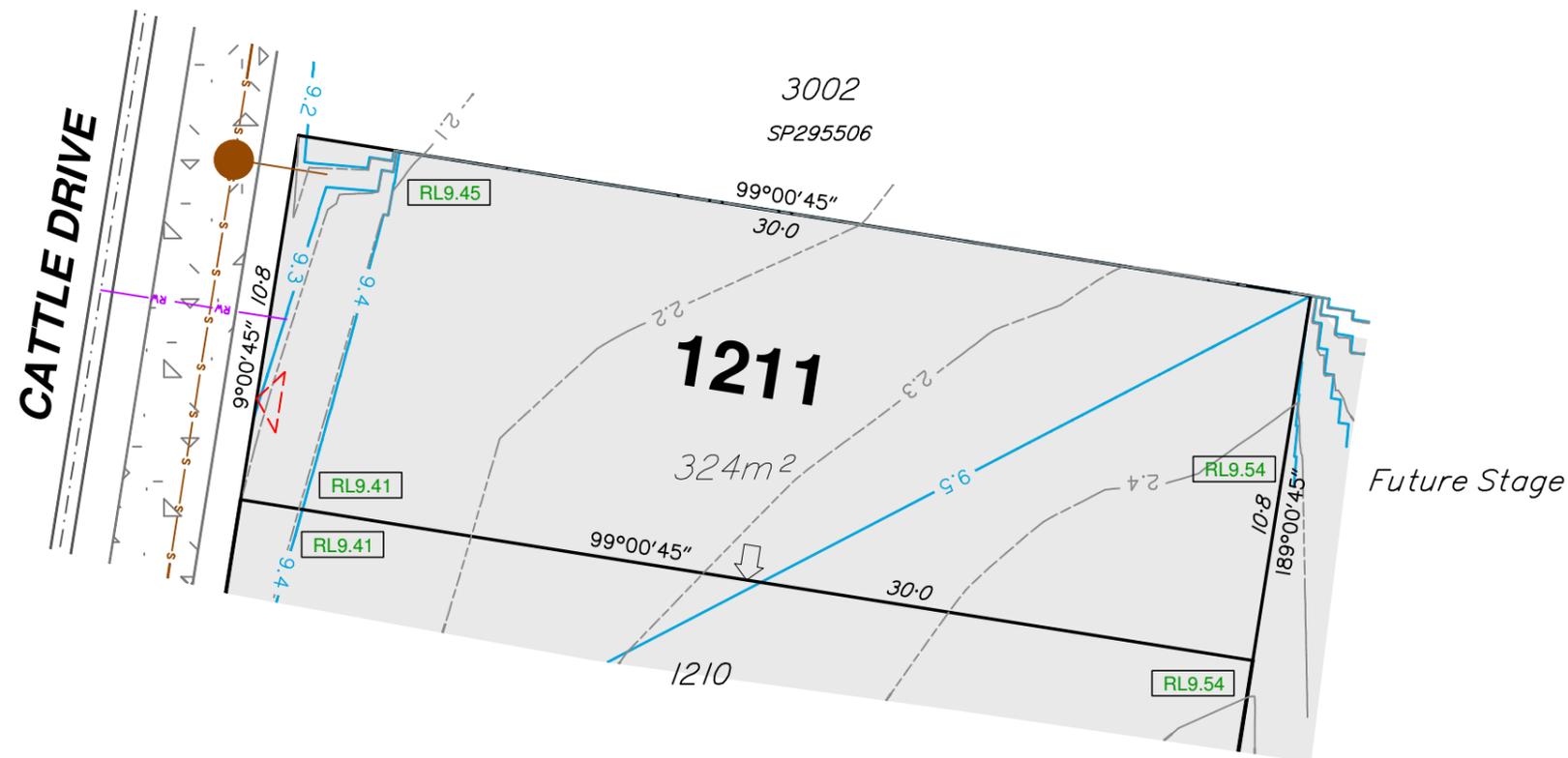
# DISCLOSURE PLAN

For Proposed Lot 1211  
Riverbank - Stage 23

Currently Described As  
 RPD: Lots 684-686 on SP295506  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional Council

- Legend:**
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  - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - S — S — Sewer/Sewer Manhole
  - SV — SV — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL9.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - < Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
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 Scale 1:200 @A3  
 LEVEL DATUM  
AHD.

DATE DRAWN 24-10-2018 DRAWING NO. SB3594-11-1211 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 1210  
Riverbank - Stage 23

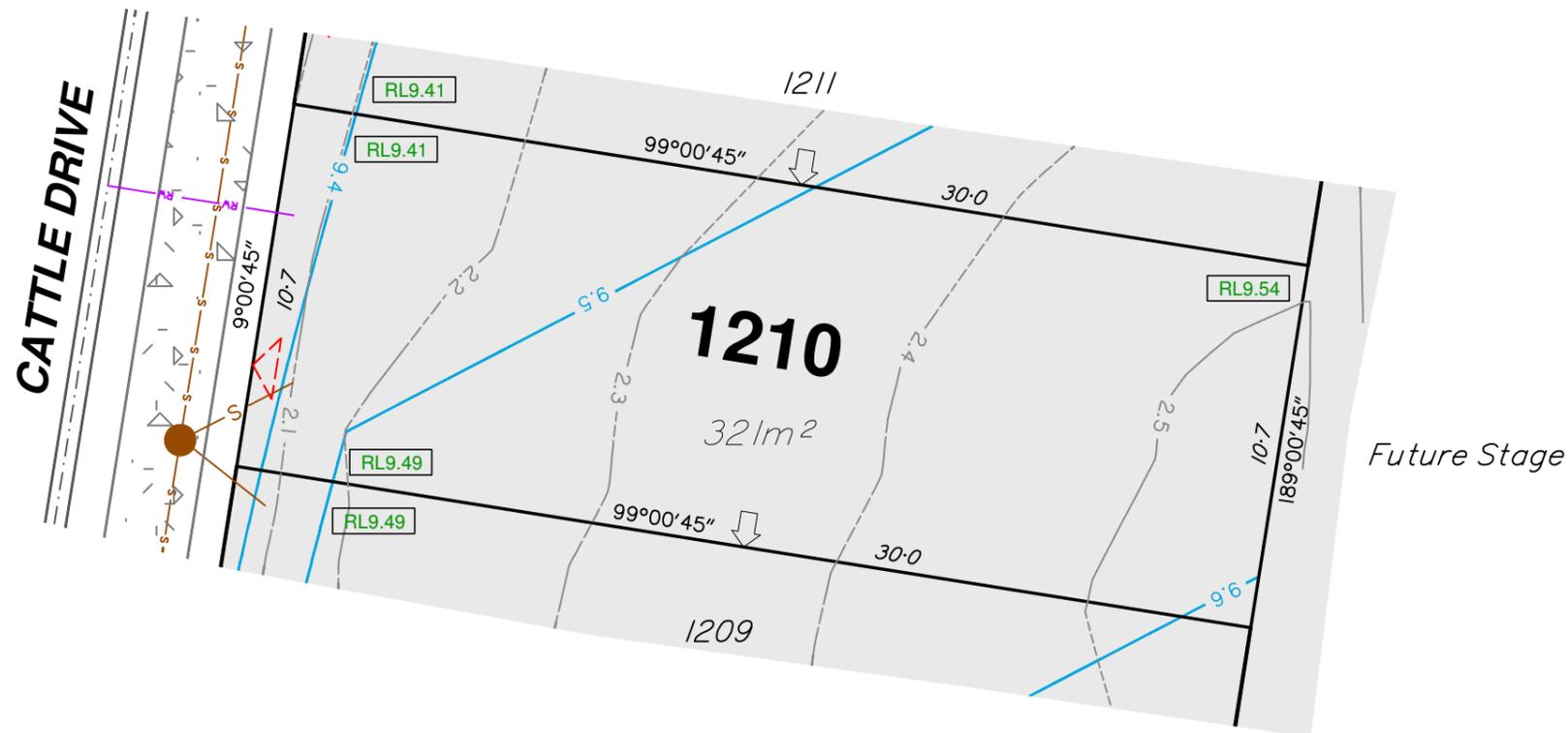
Currently Described As  
RPD: Lots 684-686 on SP295506  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

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- - - - - Easement Boundary
- - - - - Kerb Line
- - - - - Edge of Pad
- S — S — Sewer/Sewer Manhole
- SV — SV — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- RV — RV — Roofwater/Roofwater Pit
- Area to be Filled
- RL9.32 Design Pad Level
- Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
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HORIZONTAL MERIDIAN  
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LEVEL DATUM  
AHD.

DATE DRAWN 24-10-2018 DRAWING NO. SB3594-11-1210 VERSION B