

For Proposed Lot 574 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



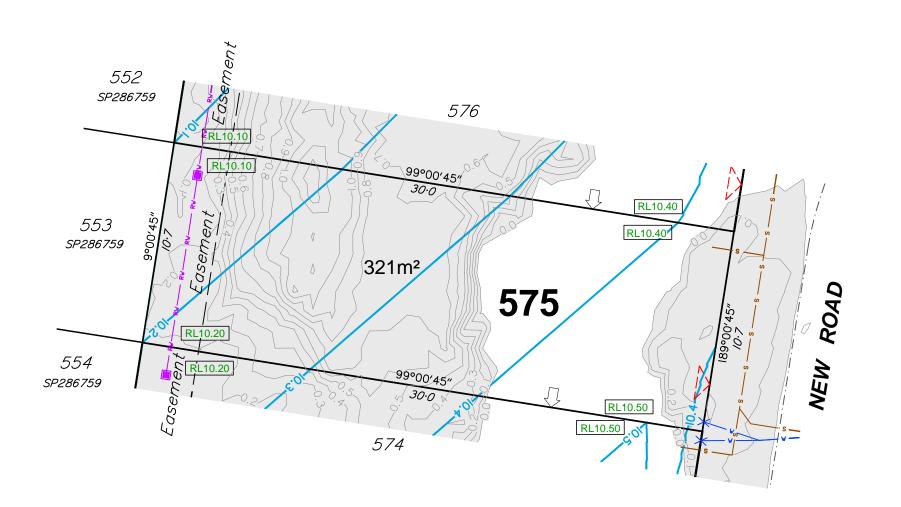
HORIZONTAL MERIDIAN

MGA 2 0 2 4 Scale 1:200 @A3 LEVEL DA

<sup>2</sup> <sub>@A3</sub> LEVEL DATUM AHD.

DATE DRAWN 18-12-2020

/N DRAWING NO.
0 SB3594 11A-01-574



For Proposed Lot 575 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Fence

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

(Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

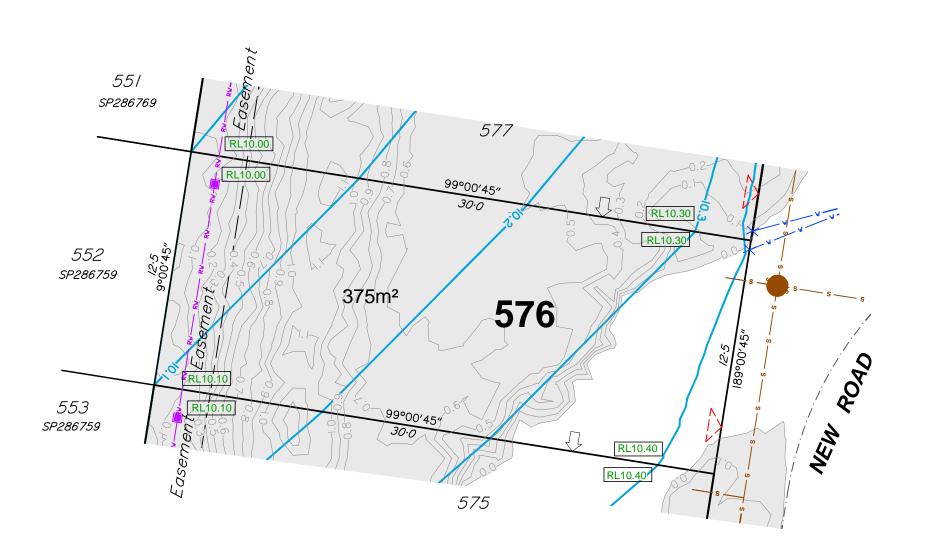


HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

AHD. **VERSION** 

DATE DRAWN 18-12-2020

DRAWING NO. SB3594 11A-01-575



For Proposed Lot 576 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





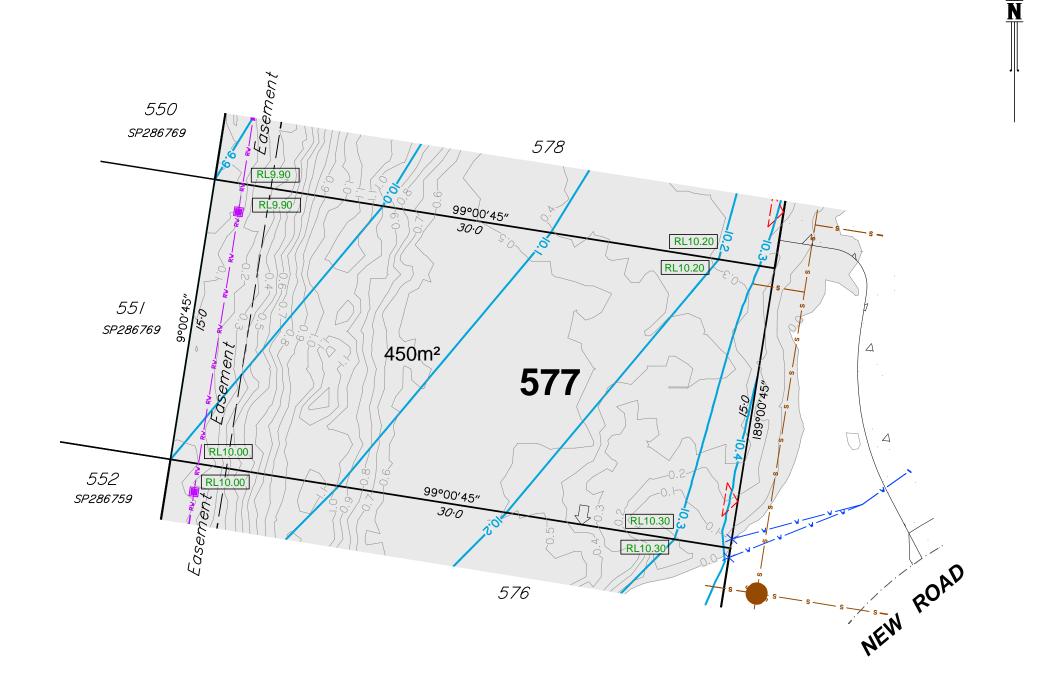
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

0 @A3 LEVEL DATOM AHD.

DATE DRAWN 18-12-2020

DRAWING NO. SB3594 11A-01-576



For Proposed Lot 577 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

## Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





HORIZONTAL MERIDIAN MGA

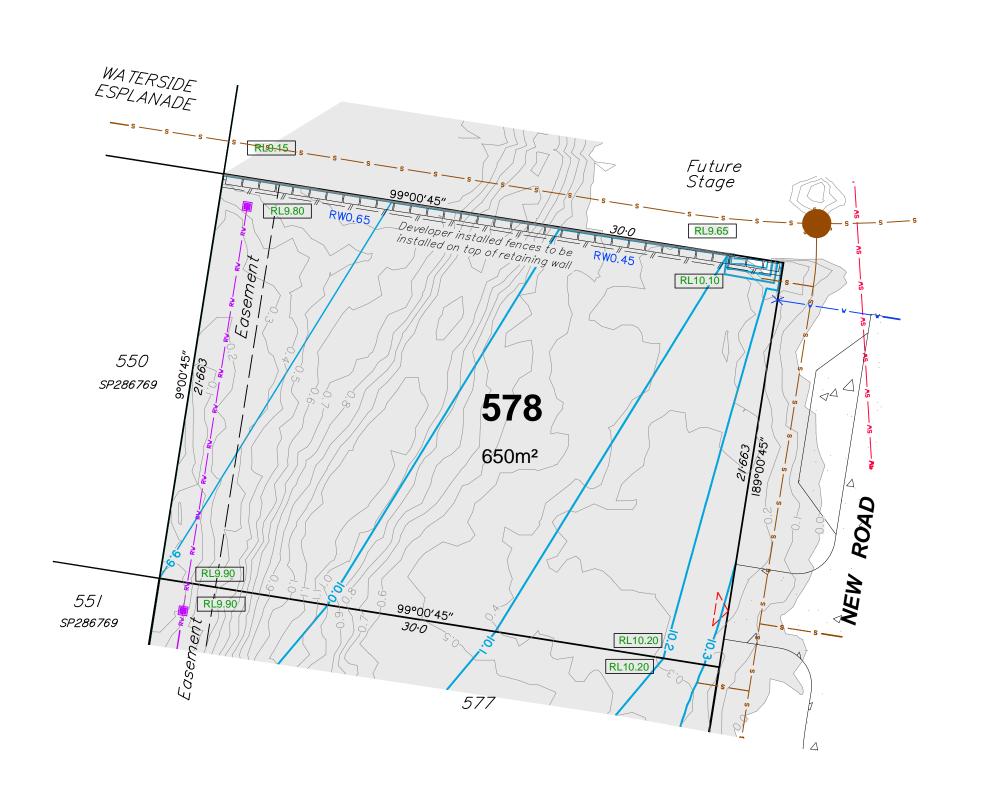
2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

**VERSION** 

ATE DRAWN DRAWING NO.

DATE DRAWN 18-12-2020

2020 SB3594\_11A-01-577



For Proposed Lot 578 Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend: Finished Surface Contours (0.1m Interva

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

Zero Lot Line Boundary

1.8m High Timber Fence
(Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



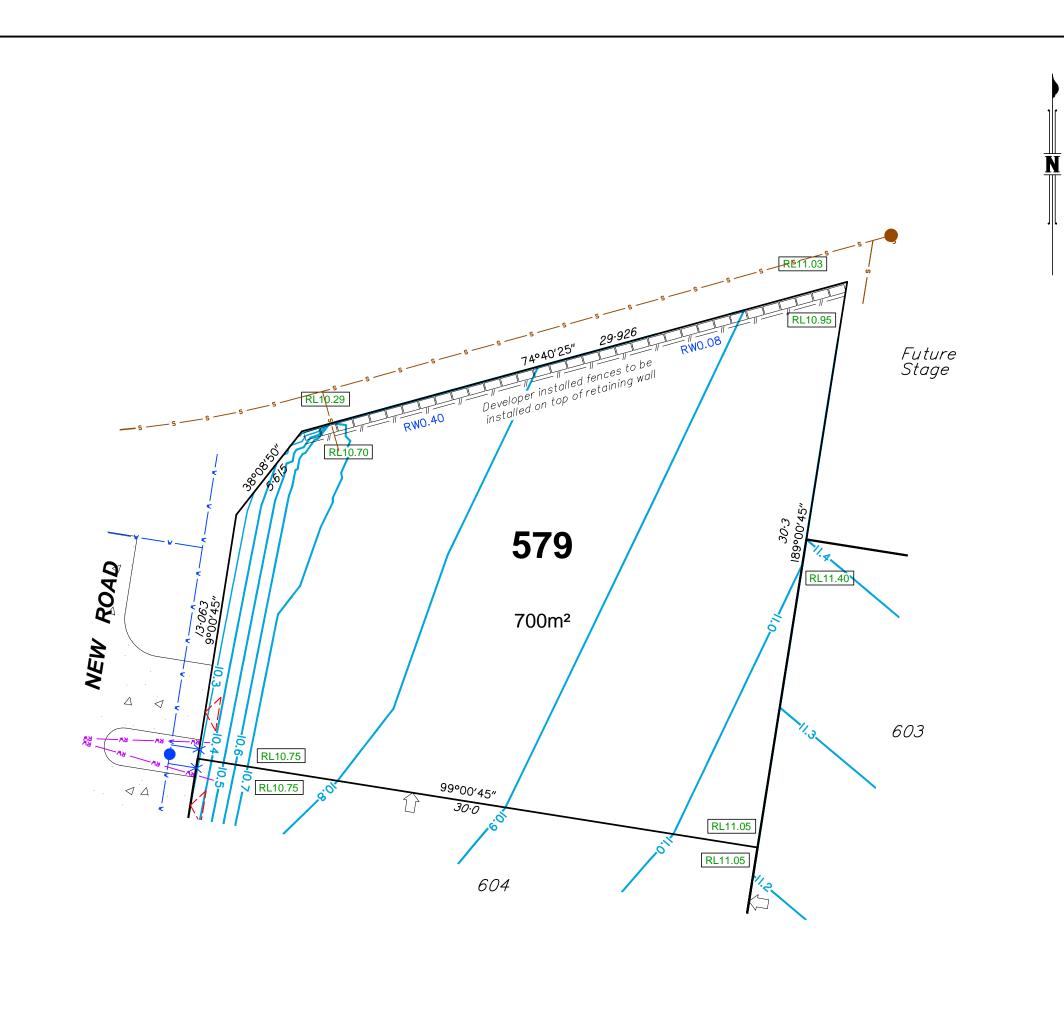


HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 18-12-2020

DRAWING NO. SB3594 11A-01-578



For Proposed Lot 579 Riverbank - Stage 11A

Currently Described As

Part of Lot 1023 on SP311564

Caboolture South Moreton Bay Regional

# <u>Legend:</u> — 46.0

Local Authority

Locality:

Finished Surface Contours (0.1m Interval)Depth of Fill Contours (0.1m Interval)

- . - .

— Easement Boundary

— · — · — Kerb Line

sv — sv — Stormwater/Stormwater Manhole

Sewer/Sewer Manhole

Stormwater Gully Trap

Rv—Rv—Rv—Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

## Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning 🕂 Urban Design 🚱 Landscape 💭 Environment ٨ Surveying

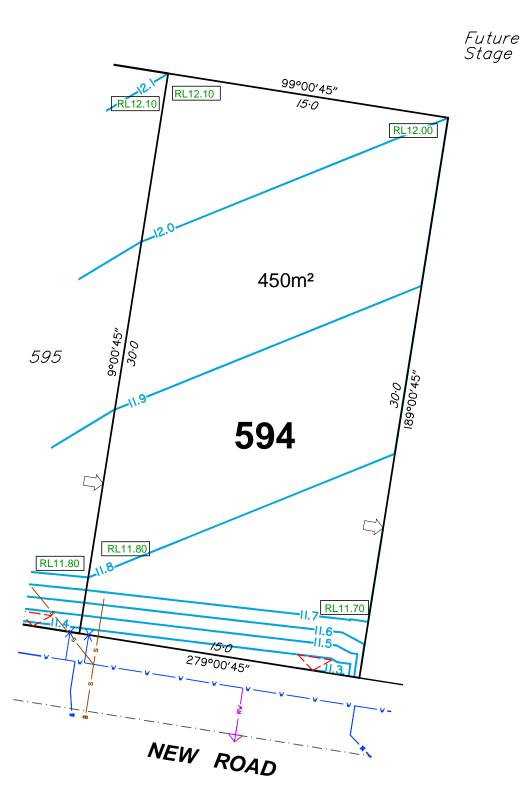
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

Scale 1:200 @A3 LEVEL DATON AHD.

DATE DRAWN DRAW 10-02-2021 SB3594

DRAWING NO. SB3594\_11A-01-579



For Proposed Lot 594 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality: Caboolture South

Local Authority: Moreton Bay Regional

## Legend: - 46.0

N

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway

(Installed by Developer)

Zero Lot Line Boundary 1.8m High Timber Fence

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning - Urban Design Candscape Environment A Surveying

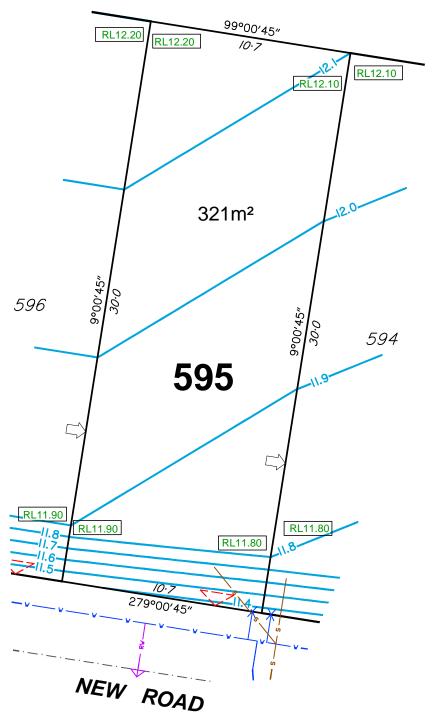
HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200

@A3 AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-594

# *Future* Stage



# DISCLOSURE PLAN

For Proposed Lot 595 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Local Authority: Moreton Bay Regional

## Legend: - 46.0

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

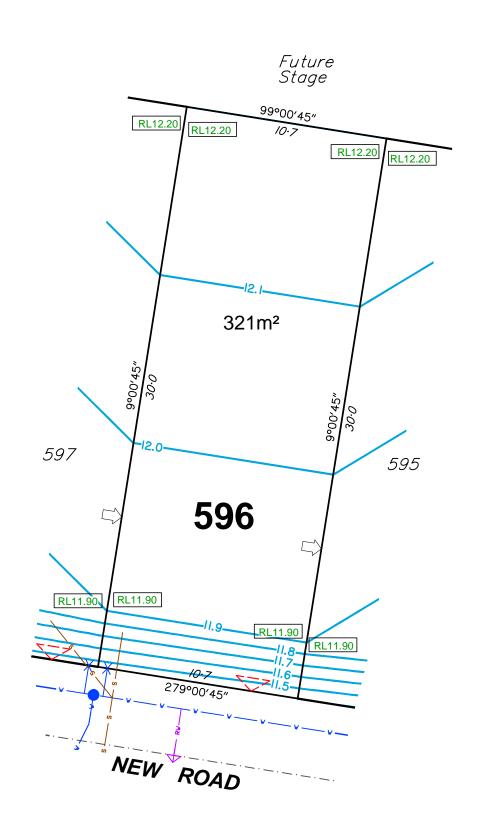
HORIZONTAL MERIDIAN MGA ليتبيلينينا

LEVEL DATUM @A3 AHD.

DATE DRAWN 24-02-2021

Scale 1:200

DRAWING NO. SB3594 11A-01-595



For Proposed Lot 596 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564

Caboolture South Moreton Bay Regional

## Legend: - 46.0

Local Authority:

Locality:

N

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



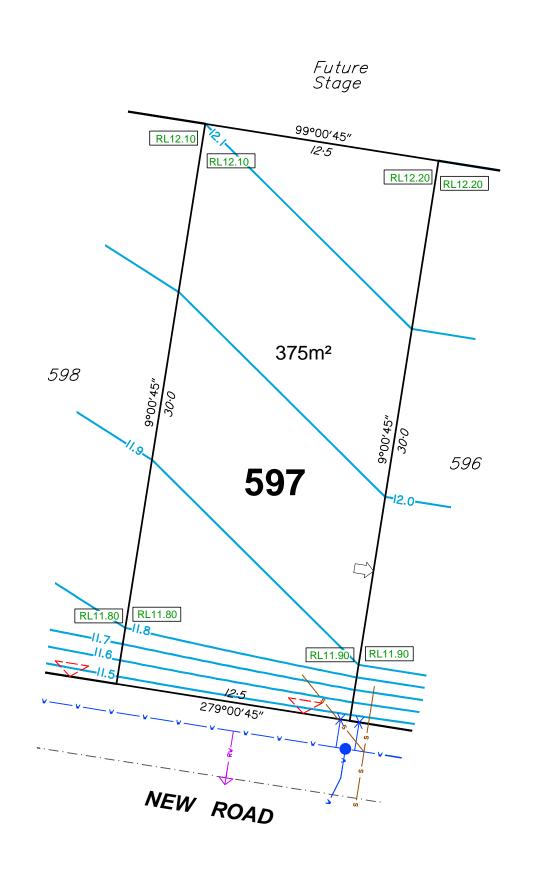
Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN MGA ليتبيلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-596



For Proposed Lot 597 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional

Legend: - 46.0 Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval) - Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

RW

Proposed Driveway

(Installed by Developer)

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary 1.8m High Timber Fence

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN ليتبيلينينا Scale 1:200 @A3

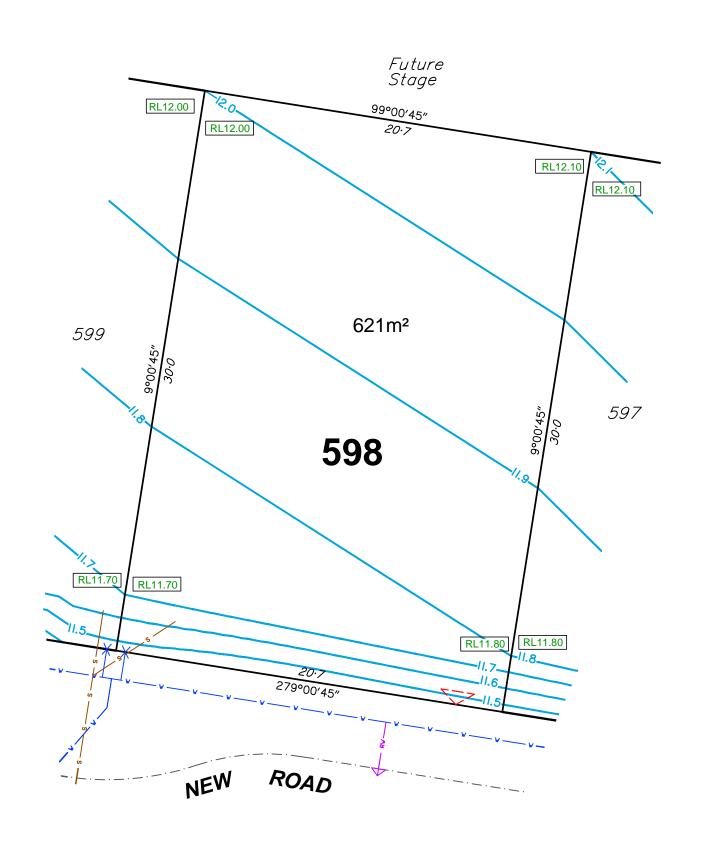
LEVEL DATUM AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-597

**VERSION** 

MGA



For Proposed Lot 598 Riverbank - Stage 11A

Currently Described As

Part of Lot 1023 on SP311564

Caboolture South Moreton Bay Regional

Stormwater/Stormwater Manhole

Legend: - 46.0

Local Authority:

Locality:

N

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32

Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



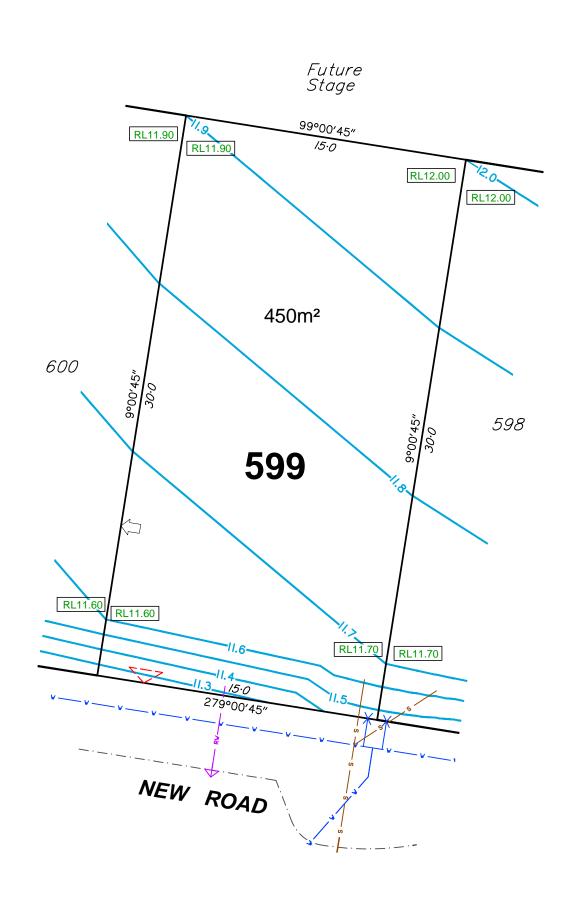
Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-598



For Proposed Lot 599 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Local Authority: Moreton Bay Regional

## Legend:

- 46.0

N

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

- Easement Boundary

Sewer/Sewer Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



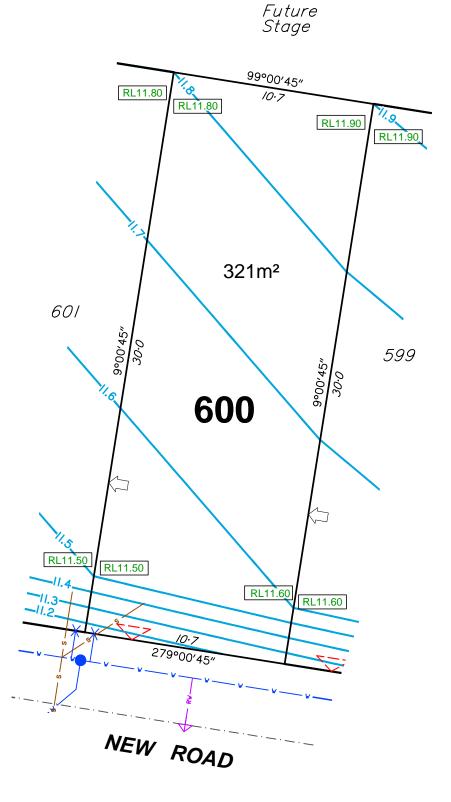
Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN MGA ليتبيلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-599



For Proposed Lot 600 Riverbank - Stage 11A

Currently Described As RPD: Locality:

Part of Lot 1023 on SP311564 Caboolture South

Moreton Bay Regional

Legend: - 46.0

Local Authority:

N

Depth of Fill Contours (0.1m Interval)

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

 Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Proposed Driveway

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



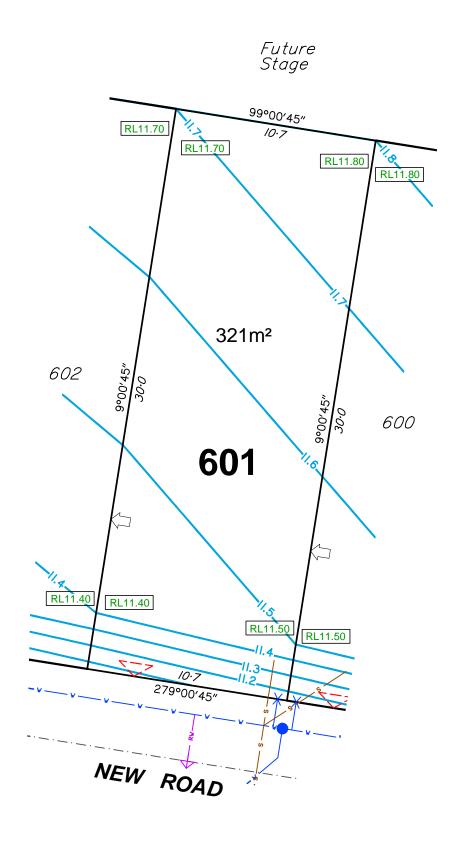
Planning - Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200

LEVEL DATUM @A3 AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-600



For Proposed Lot 601 Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend: Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV RV Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

RW

Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

(Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning 🕂 Urban Design 🚱 Landscape 💭 Environment 🧥 Surveying

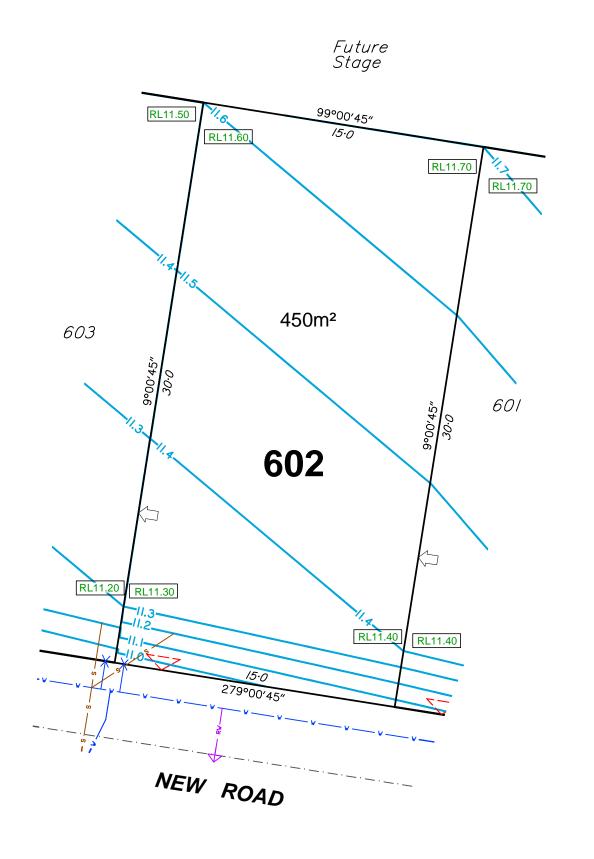
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-601



For Proposed Lot 602 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality: Caboolture South

Moreton Bay Regional

## Legend: - 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Proposed Driveway

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



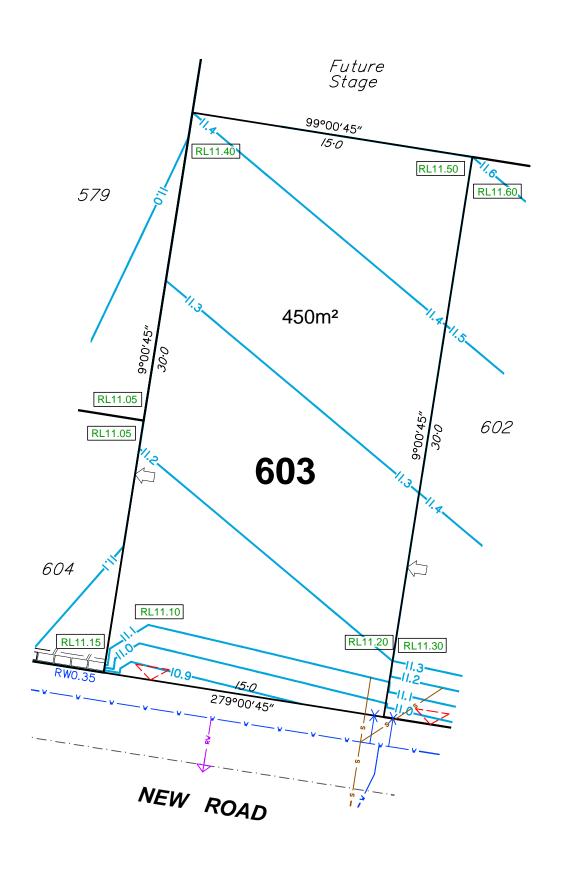
Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-602



For Proposed Lot 603 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564 Locality:

Caboolture South Local Authority: Moreton Bay Regional

## Legend:

- 46.0

N

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning - Urban Design Candscape Environment A Surveying

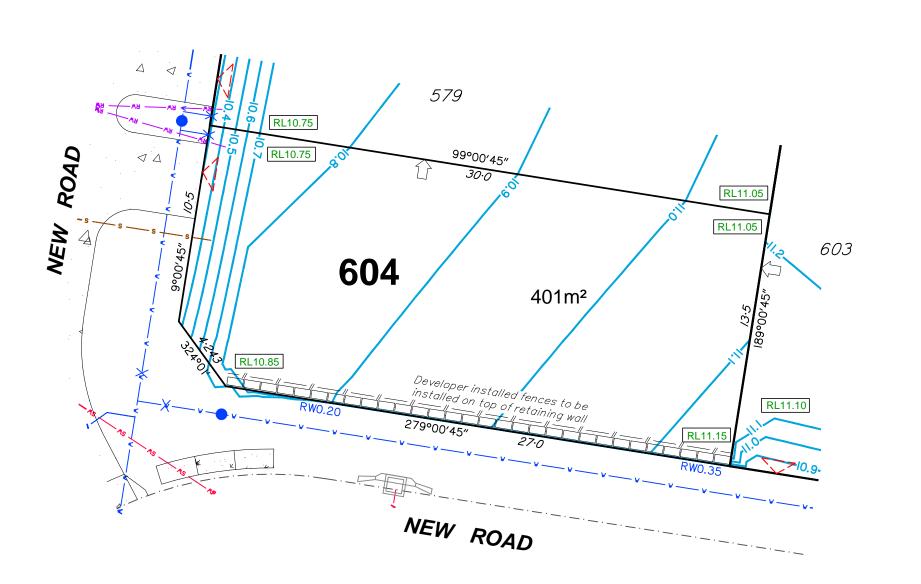
HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-603

**VERSION** 

AHD.



For Proposed Lot 604 Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend: Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole
 Stormwater Gully Trap
 Roofwater/Kerb Adapter

Water /Water Fitting

X
Water Meter

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

RW

Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

(Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



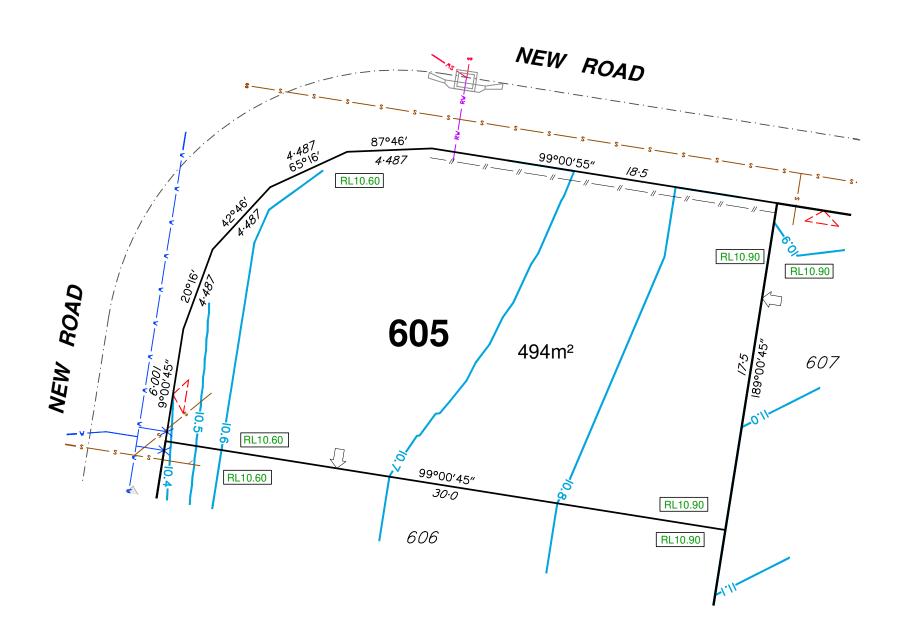
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

le 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 10-02-2021

DRAWING NO. SB3594\_11A-01-604



For Proposed Lot 605 Riverbank - Stage 11A

Part of Lot 1023 on SP311564 Caboolture South Locality: Local Authority Moreton Bay Regional

Legend: - 46.0

N

Currently Described As

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



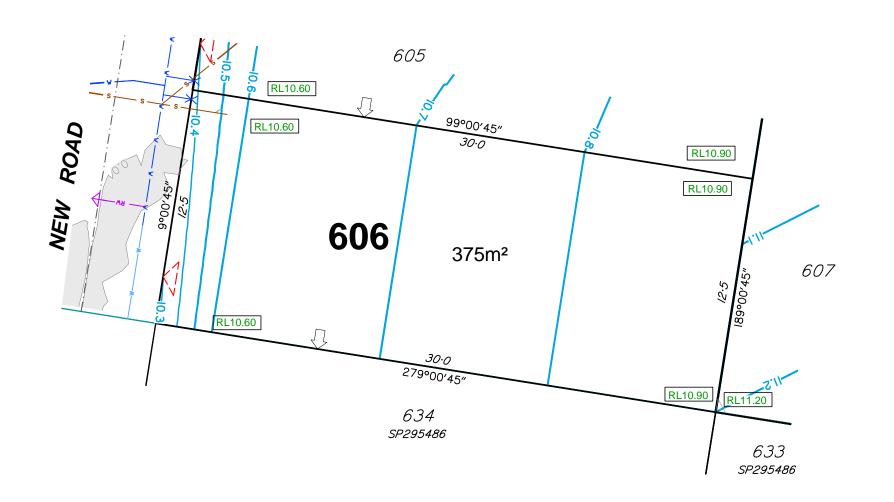
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

AHD. **VERSION** 

DATE DRAWN 01-04-2021

DRAWING NO. SB3594 11A-01-605



For Proposed Lot 606 Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend: Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV RV Roofwater/Kerb Adapter

X Water Meter

Area to be Filled

RW Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Water/Water Fitting

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



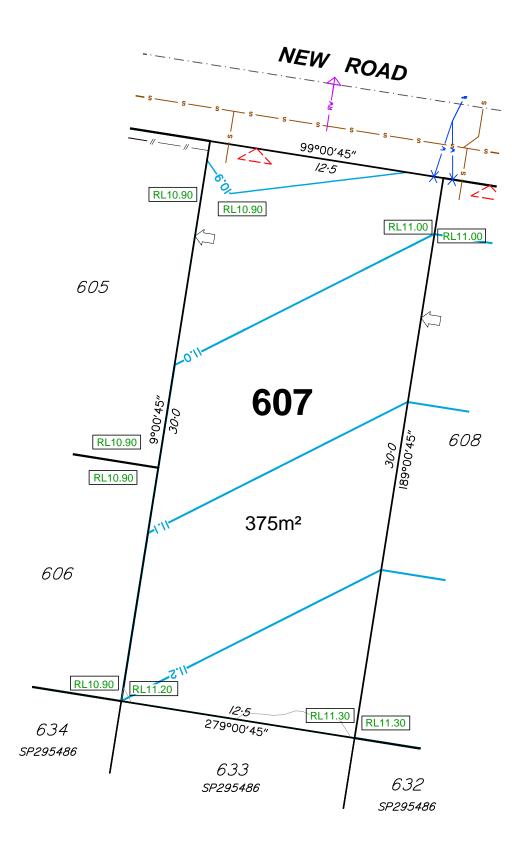
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 24-02-2021

DRAWING NO. SB3594 11A-01-606



For Proposed Lot 607 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter

Area to be Filled Design Pad Level

Water/Water Fitting

RL57.32 Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Proposed Driveway

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

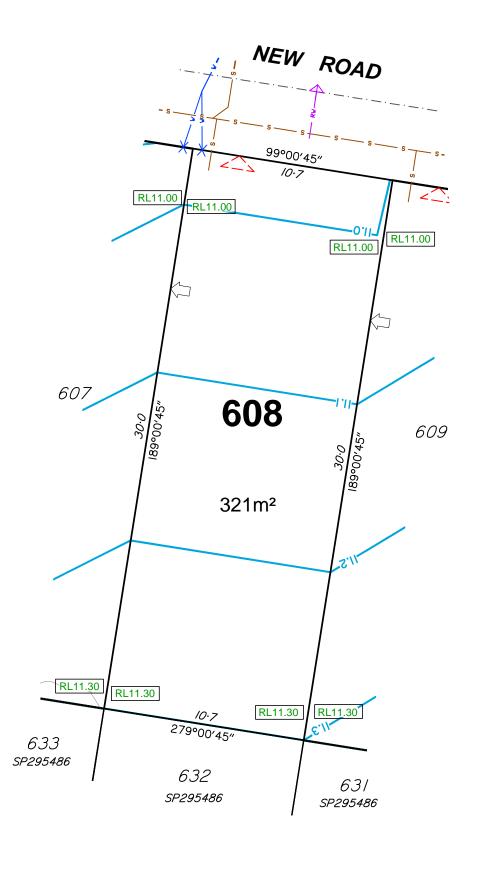


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 18-12-2020

DRAWING NO. SB3594 11A-01-607



For Proposed Lot 608 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564

Caboolture South Local Authority: Moreton Bay Regional

## Legend: - 46.0

Locality:

N

Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled

RL57.32 Design Pad Level Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning - Urban Design Candscape Environment A Surveying

@A3

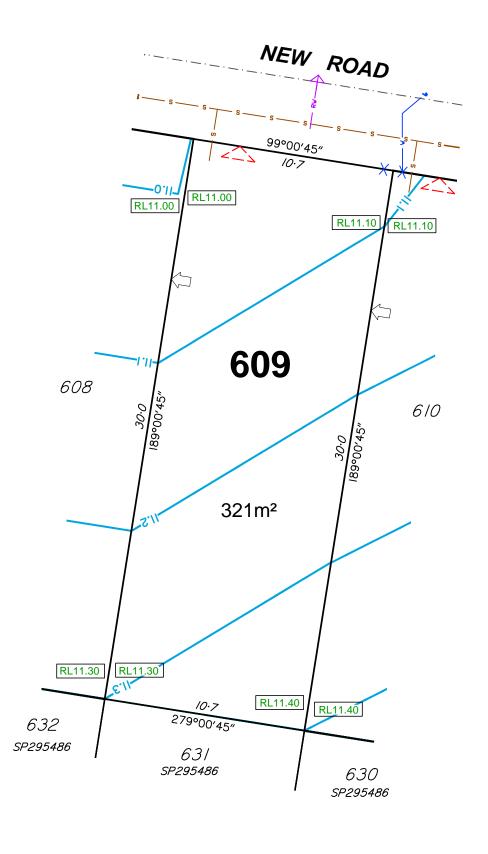
HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM AHD.

DATE DRAWN 18-12-2020

Scale 1:200

DRAWING NO. SB3594 11A-01-608



For Proposed Lot 609 Riverbank - Stage 11A

Currently Described As RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Fence (Installed by Developer)

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

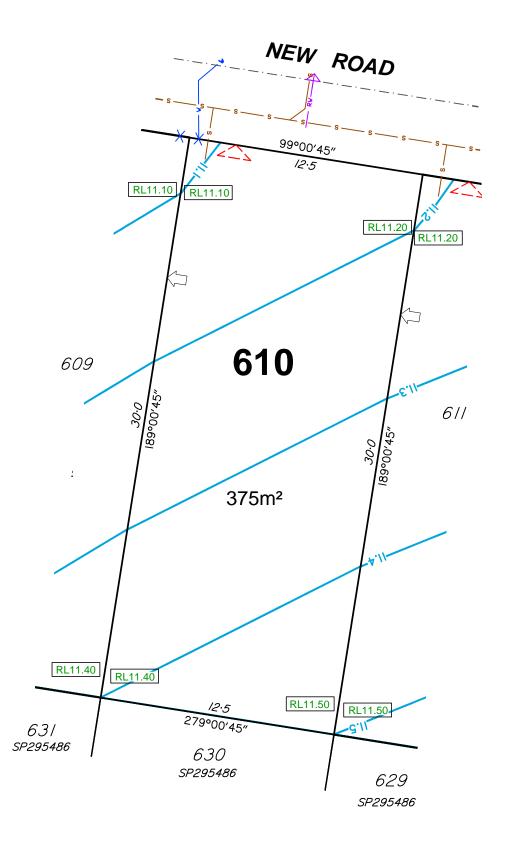


HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 18-12-2020

DRAWING NO. SB3594 11A-01-609



For Proposed Lot 610 Riverbank - Stage 11A

Currently Described As RPD: Part of Lot 1023 on SP311564 Caboolture South Local Authority: Moreton Bay Regional

Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

## ivotes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

1.8m High Timber Fence

(Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

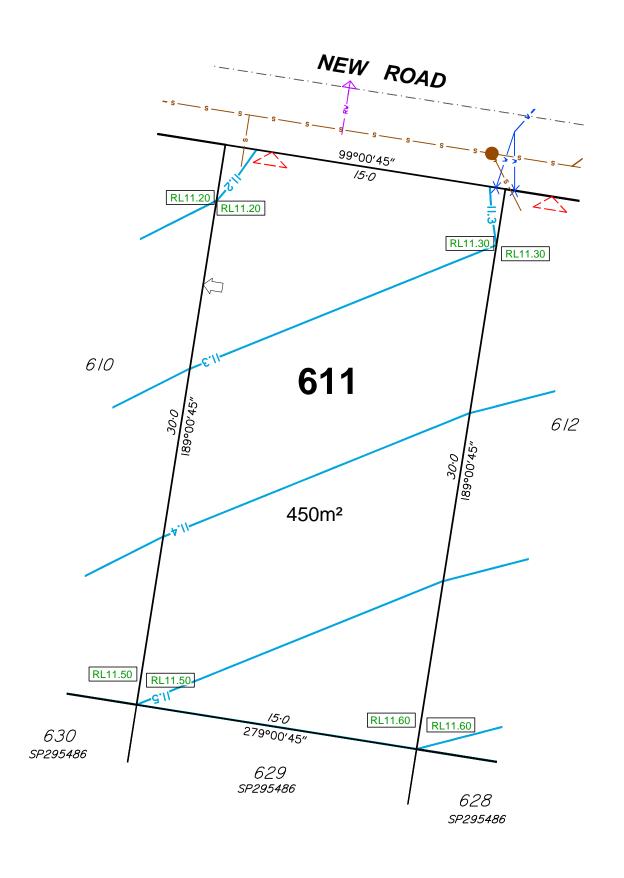


HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594 11A-01-610



For Proposed Lot 611 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



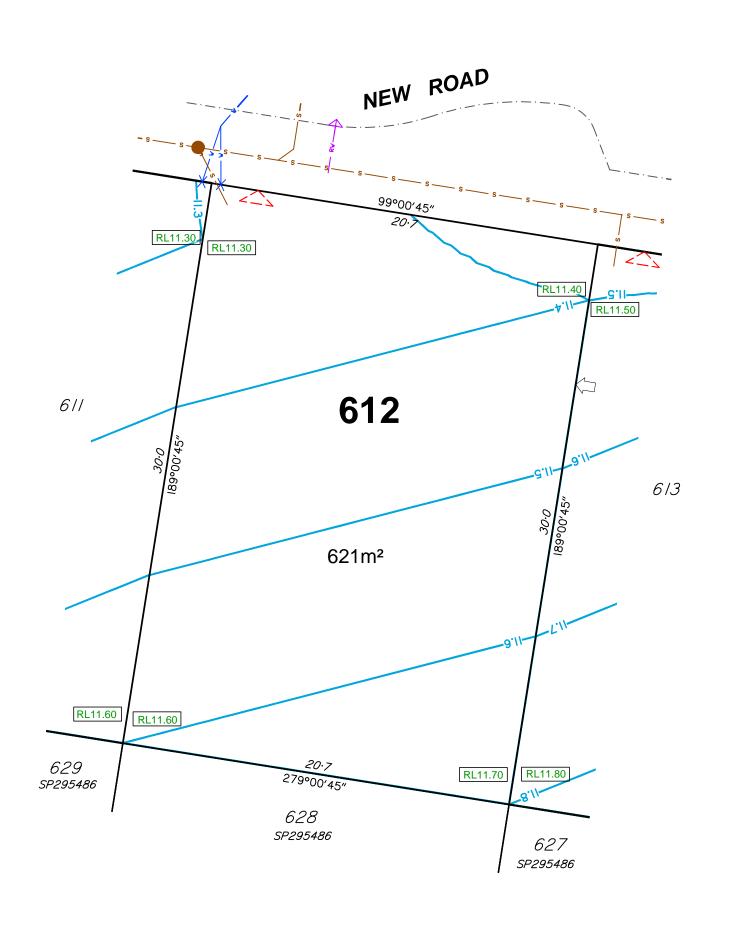
2 0 2 4 Scale 1:200 @A3

MGA LEVEL DATUM

AHD.

DATE DRAWN 18-12-2020

DRAWING NO. SB3594\_11A-01-611



For Proposed Lot 612 Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

## Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

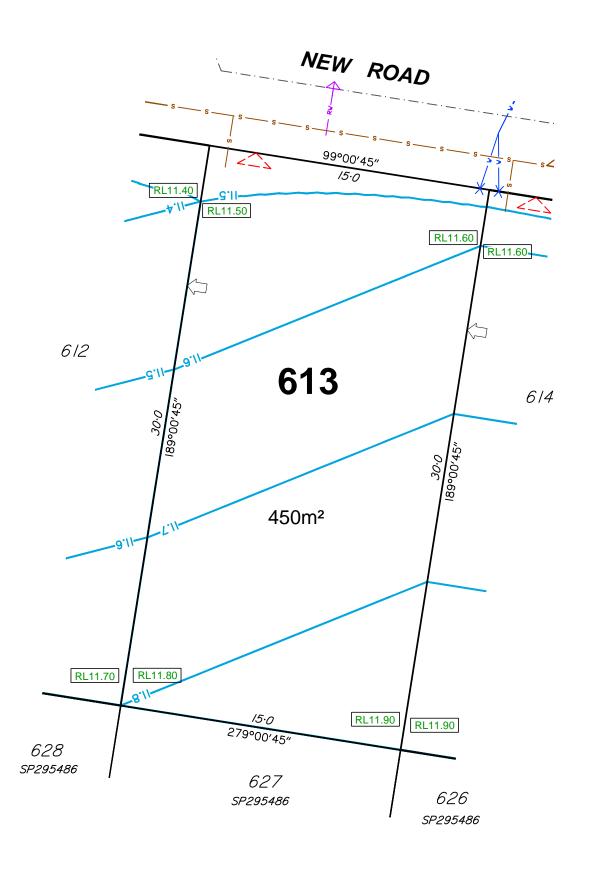


HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 18-12-2020

/N DRAWING NO.
0 SB3594 11A-01-612



For Proposed Lot 613 Riverbank - Stage 11A

Currently Described As RPD: Part of Lot 1023 on SP311564 Locality: Caboolture South Local Authority: Moreton Bay Regional

Legend:

Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary 1.8m High Timber Fence

## ivotes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

(Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

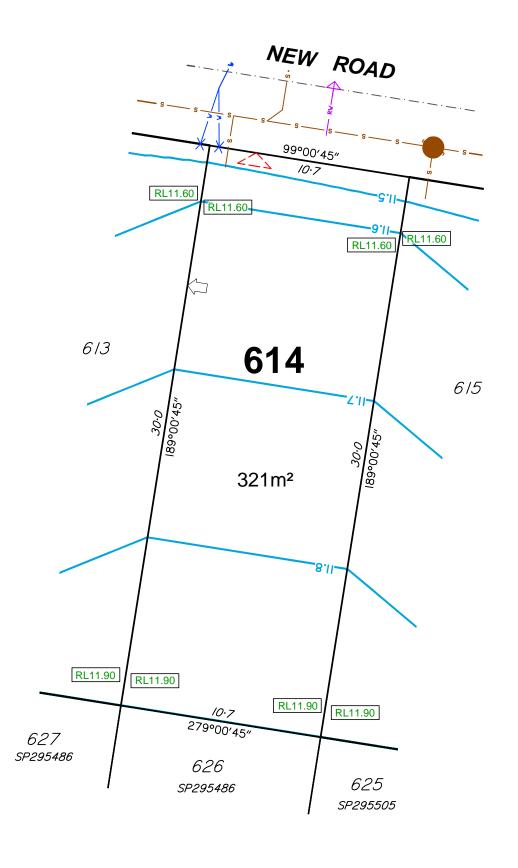


HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594 11A-01-613



For Proposed Lot 614 Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend: Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

s — s — Sewer/Sewer Manhole
— sv — Sv — Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV RV Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled

RL57.32

Design Pad Level

Retaining Wall

RW

Retaining Wall Height
(Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

(Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



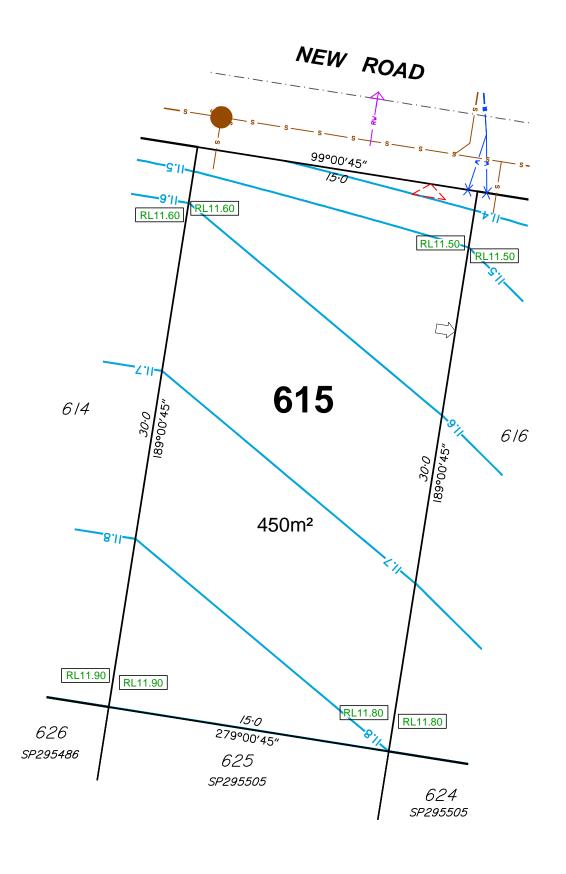
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020

AWN DRAWING NO. 020 SB3594 11A-01-614



For Proposed Lot 615 Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564 RPD: Locality: Caboolture South Local Authority: Moreton Bay Regional Legend: - 46.0 Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary Sewer/Sewer Manhole Stormwater/Stormwater Manhole Stormwater Gully Trap Roofwater/Kerb Adapter Water/Water Fitting Area to be Filled RL57.32 Design Pad Level Retaining Wall RW Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall) Proposed Driveway Zero Lot Line Boundary

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.

1.8m High Timber Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



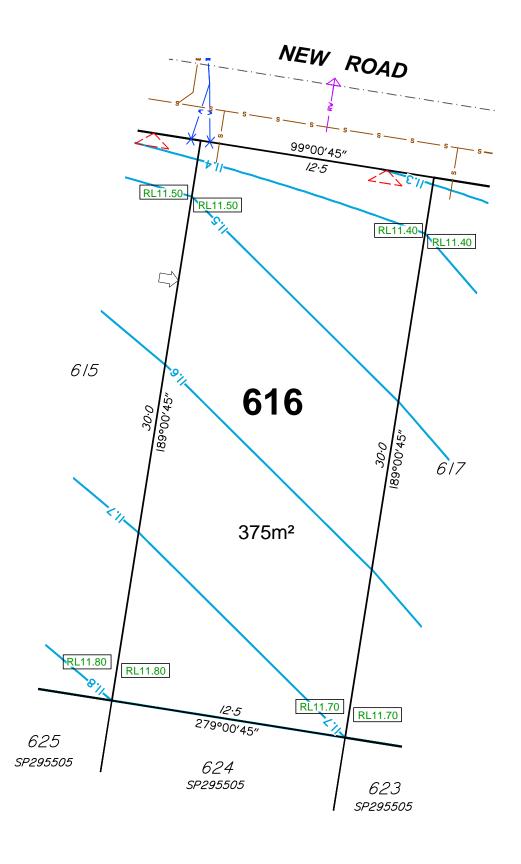
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

Scale 1:200 @A3 LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020

DRAWING NO. SB3594\_11A-01-615



For Proposed Lot 616 Riverbank - Stage 11A

Currently Described As RPD: Locality:

Part of Lot 1023 on SP311564

Caboolture South Moreton Bay Regional

## Legend: - 46.0

Local Authority:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Sewer/Sewer Manhole

 Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. This plan has been prepared under the current legislation
- for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



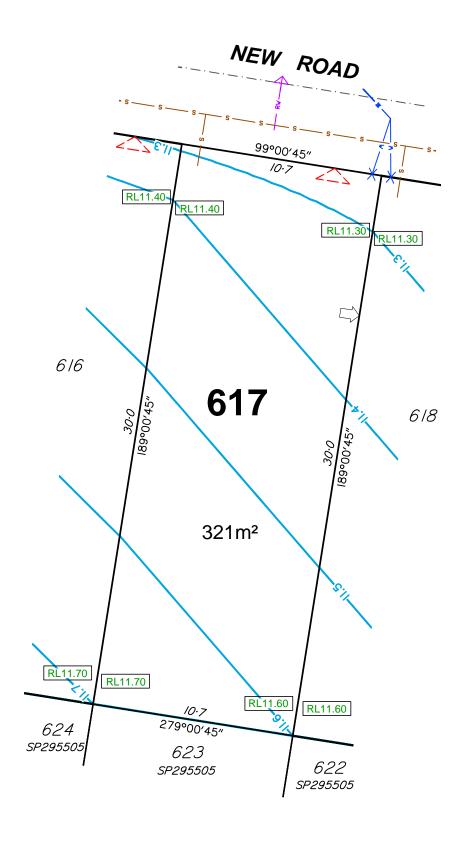
Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN 18-12-2020

DRAWING NO. SB3594 11A-01-616



For Proposed Lot 617 Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend: Finished Surface Contours (0.1m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Water/Water Fitting

X Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall Retaining Wall Hei

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

(Installed by Developer)

## Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

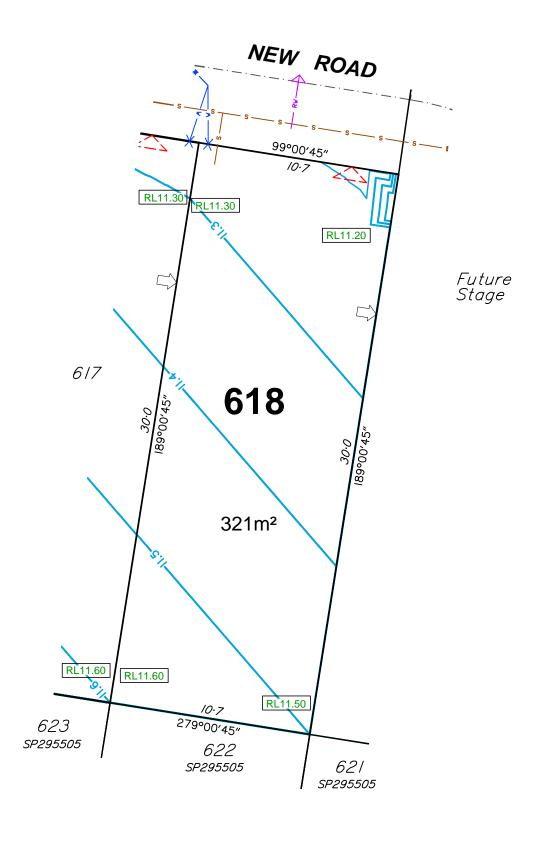
# RIVERBANK



HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594 11A-01-617



For Proposed Lot 618 Riverbank - Stage 11A

Currently Described As RPD:

Part of Lot 1023 on SP311564

Caboolture South Local Authority: Moreton Bay Regional

## Legend: - 46.0

Locality:

N

Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

RW

Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. This plan has been prepared under the current legislation
- for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🔂 Urban Design 🊱 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM @A3 AHD.

DATE DRAWN 18-12-2020

Scale 1:200

DRAWING NO. SB3594 11A-01-618