

DISCLOSURE PLAN

For Proposed Lot 574
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Fence (Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



📐 Planning
 🏡 Urban Design
 🌿 Landscape
 🌍 Environment
 📏 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN	DRAWING NO.	VERSION
18-12-2020	SB3594_11A-01-574	A



DISCLOSURE PLAN

For Proposed Lot 575
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sw — sw — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RV — RV — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



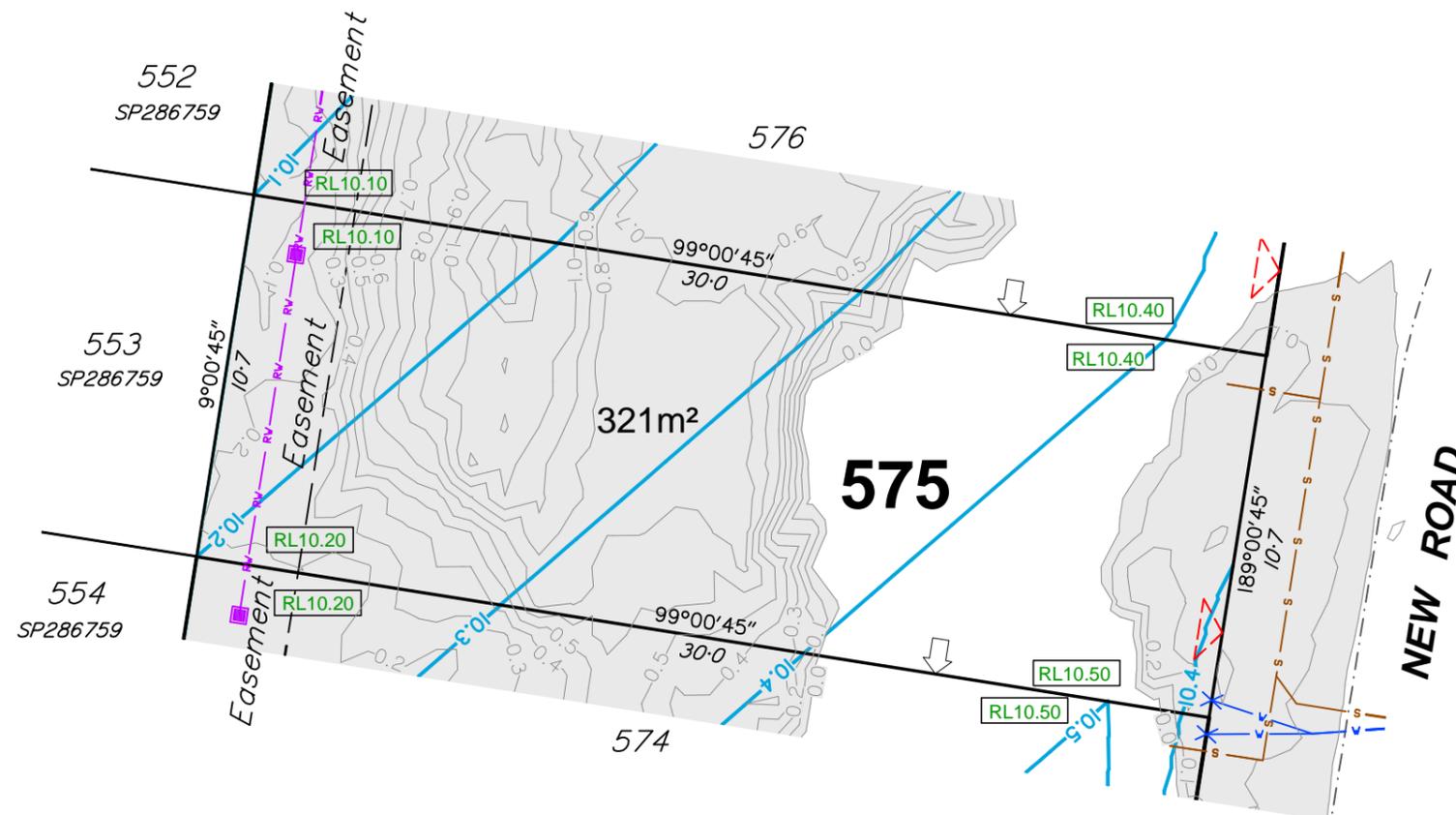
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-575 VERSION A

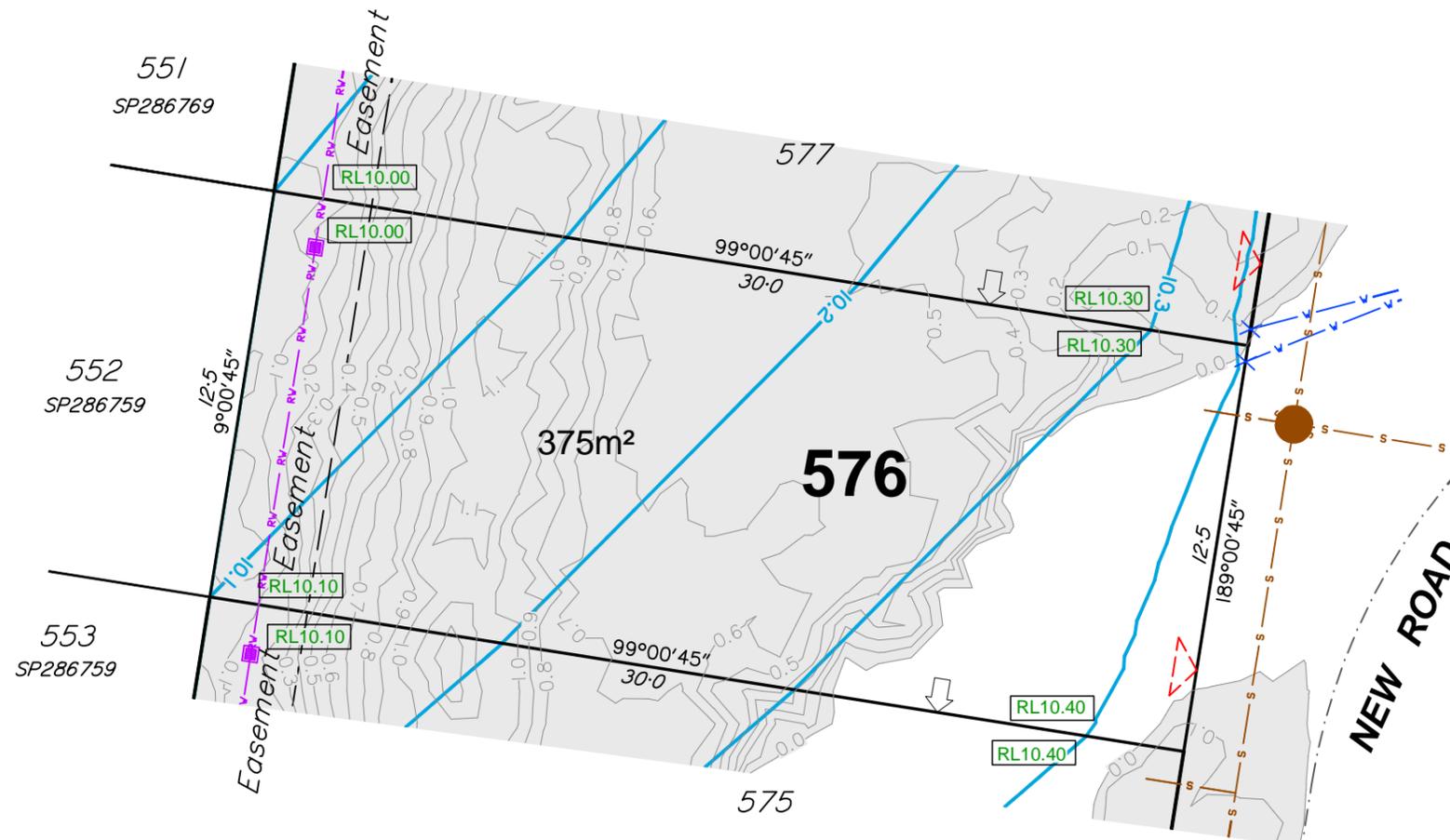


DISCLOSURE PLAN

For Proposed Lot 576
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV — RV — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - RL57.32 Area to be Filled
Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

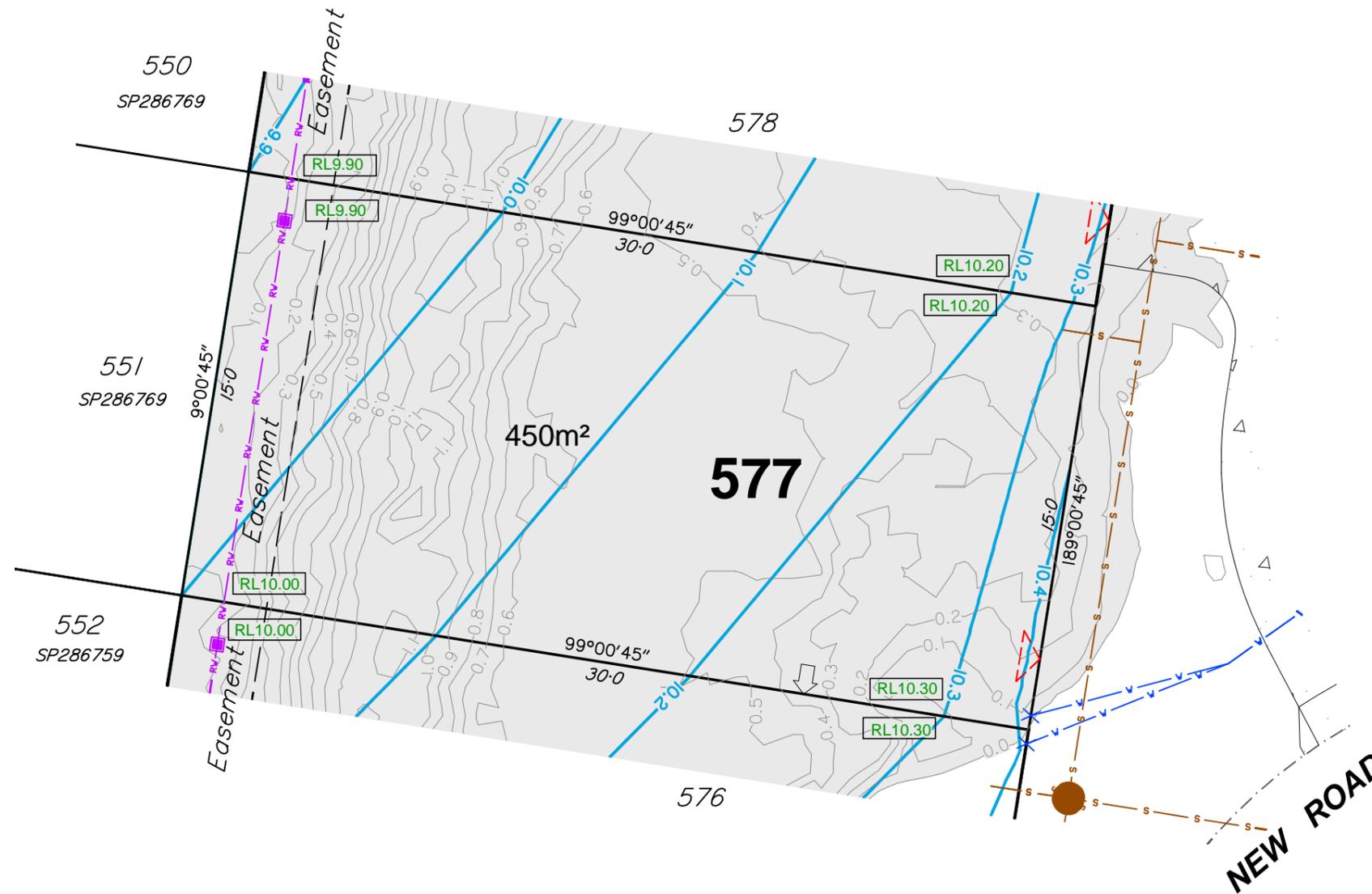
DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-576 VERSION A

DISCLOSURE PLAN

For Proposed Lot 577
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - // // 1.8m High Timber Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-577 VERSION A

DISCLOSURE PLAN

For Proposed Lot 578
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



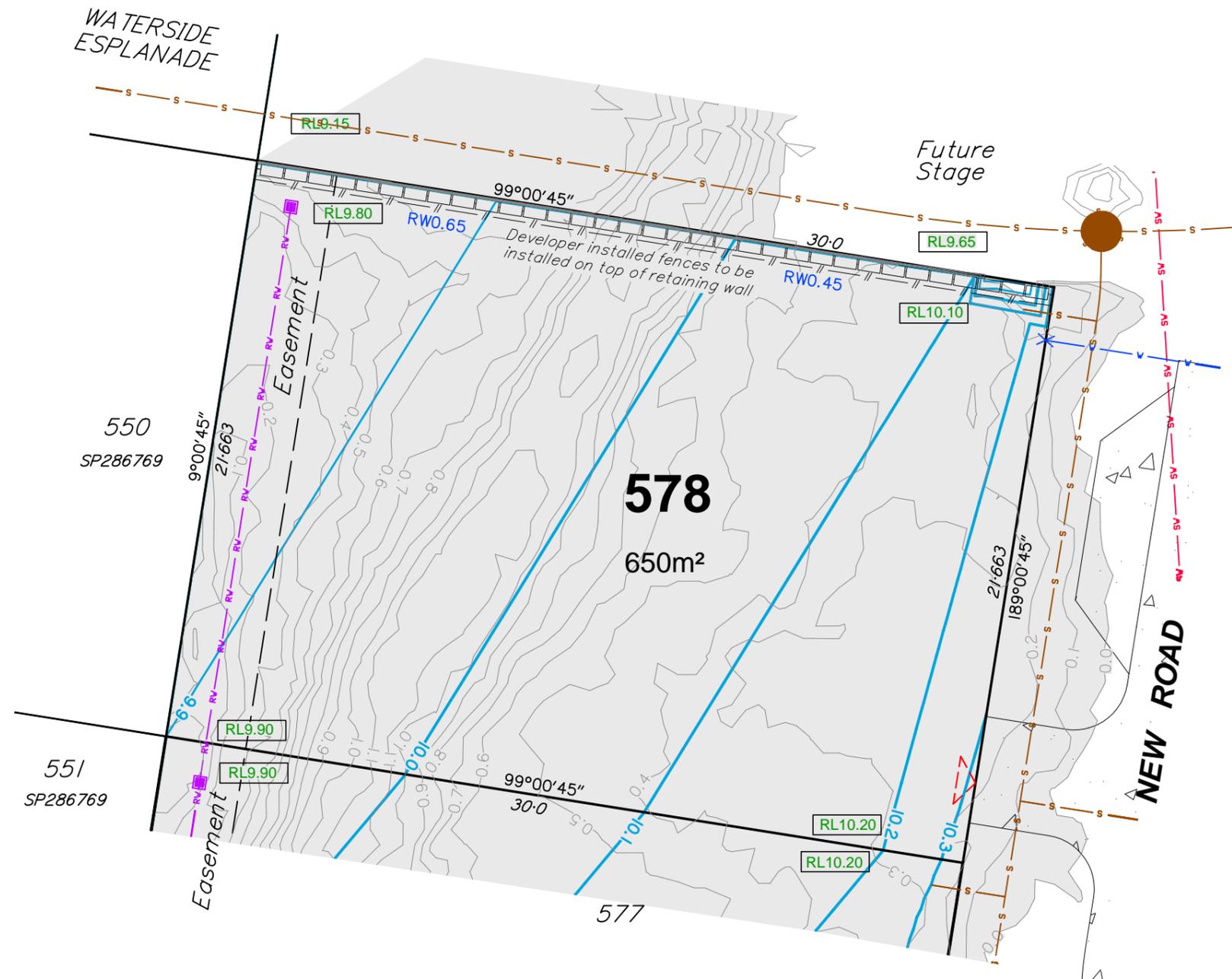
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-578 VERSION A



DISCLOSURE PLAN

For Proposed Lot 579
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV — RV — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - // — // — 1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

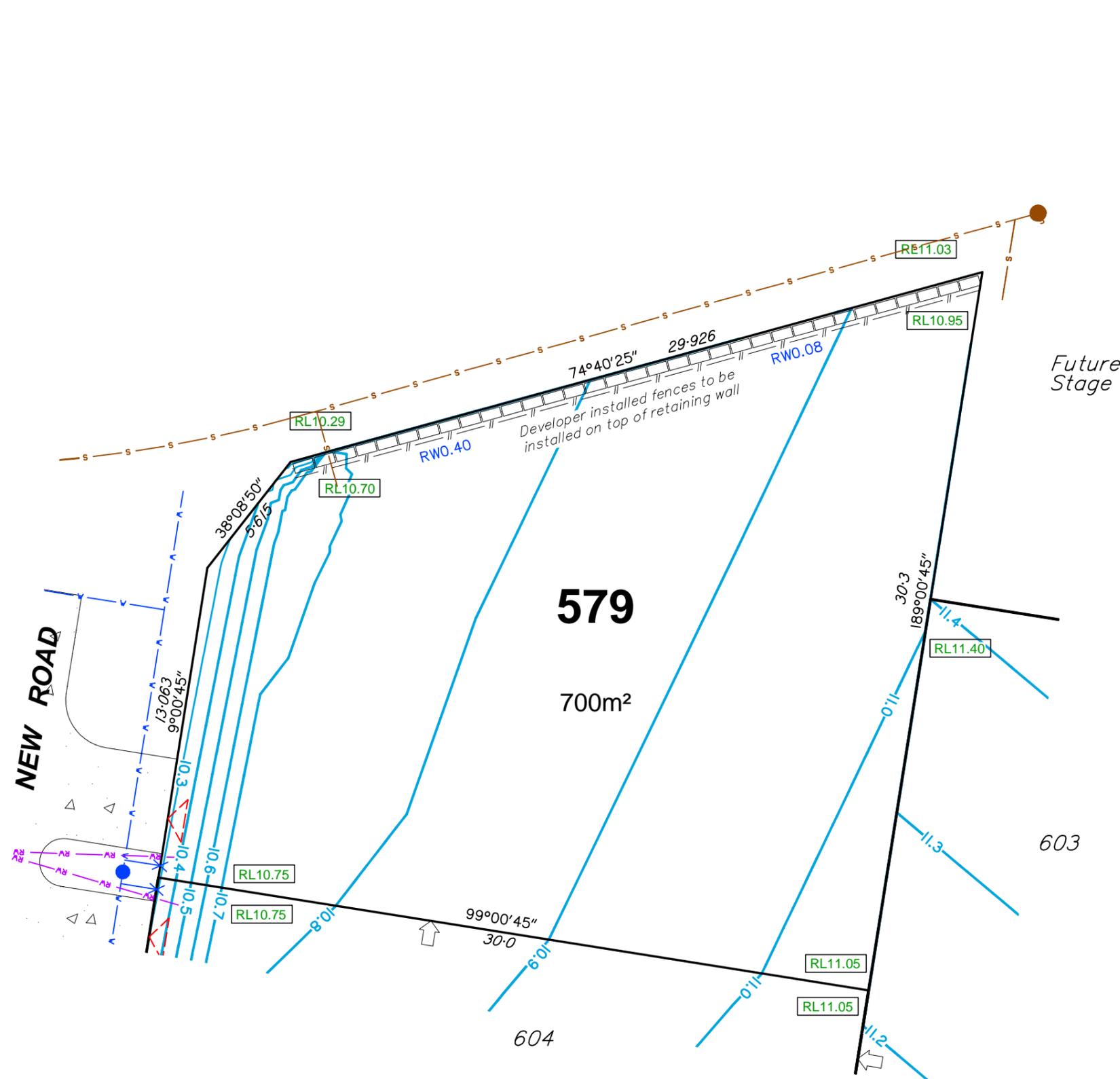
RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 10-02-2021 DRAWING NO. SB3594_11A-01-579 VERSION B



DISCLOSURE PLAN

For Proposed Lot 594
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sw — sw — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



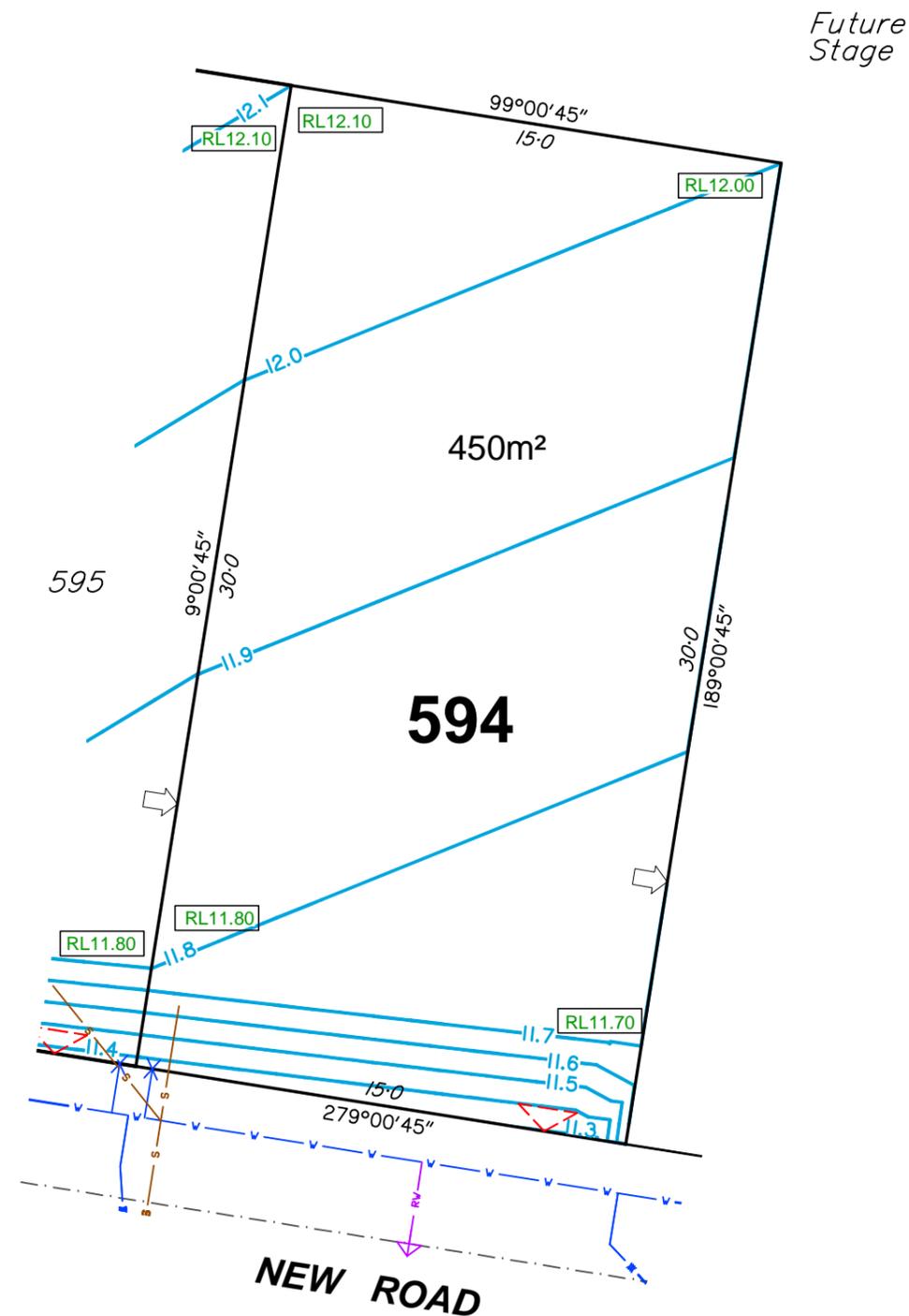
Planning
Urban Design
Landscape
Environment
Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-594 VERSION B

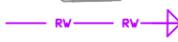
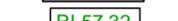
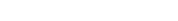


DISCLOSURE PLAN

For Proposed Lot 595
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

-  Finished Surface Contours (0.1m Interval)
-  Depth of Fill Contours (0.1m Interval)
-  Easement Boundary
-  Kerb Line
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Kerb Adapter
-  Water/Water Fitting
-  Water Meter
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Fence
(Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



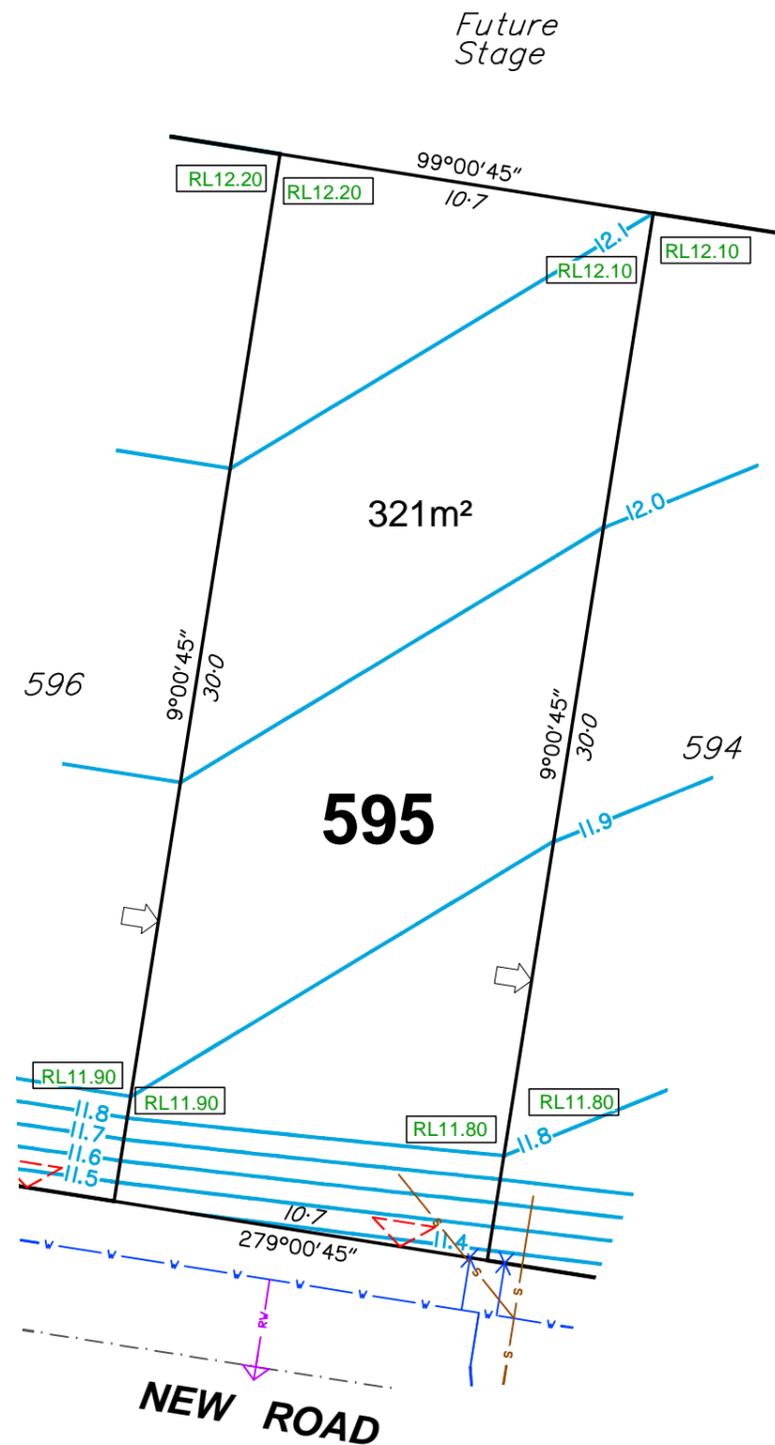
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-595 VERSION B

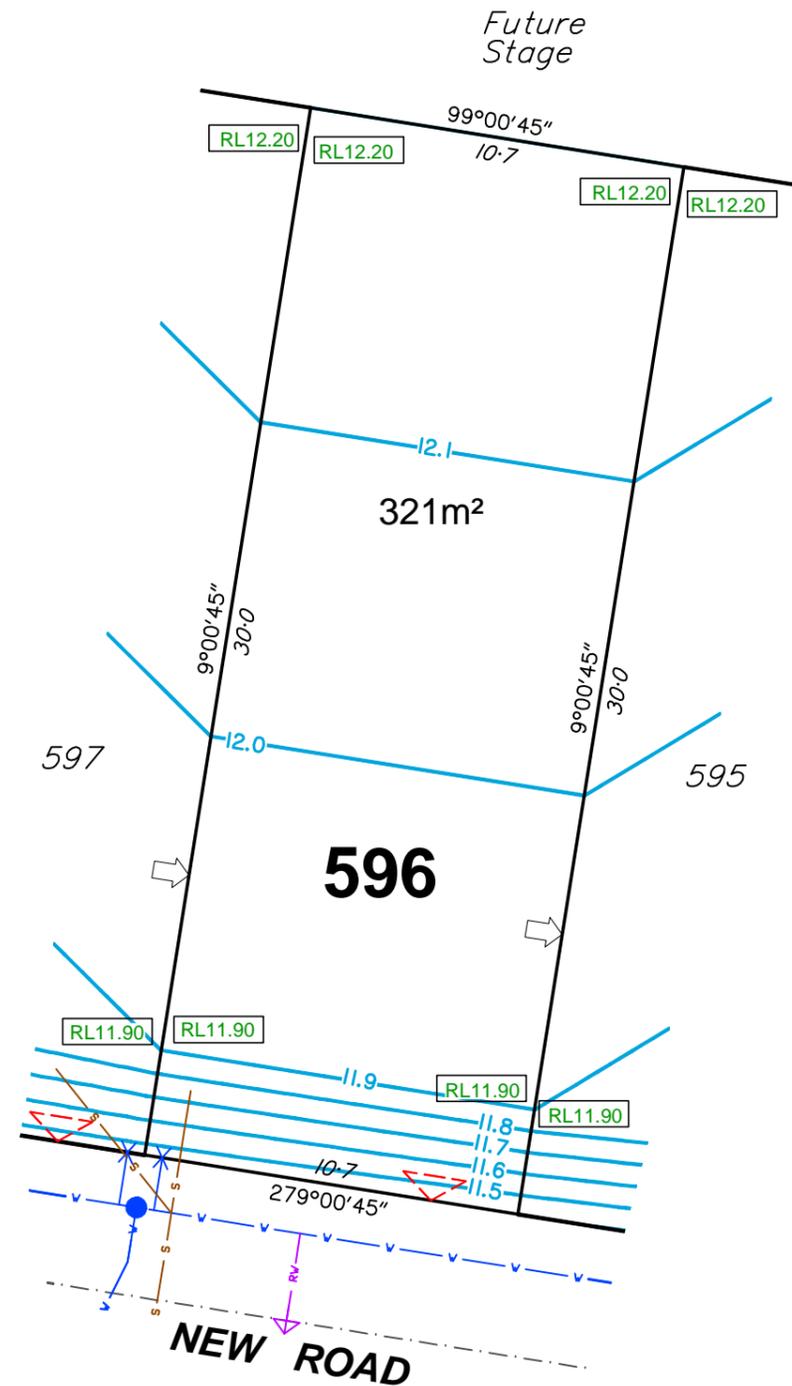


DISCLOSURE PLAN

For Proposed Lot 596
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - RL57.32 Area to be Filled
Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



📐 Planning
 🏡 Urban Design
 🌿 Landscape
 🌍 Environment
 📏 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

0 2 4
 Scale 1:200 @A3

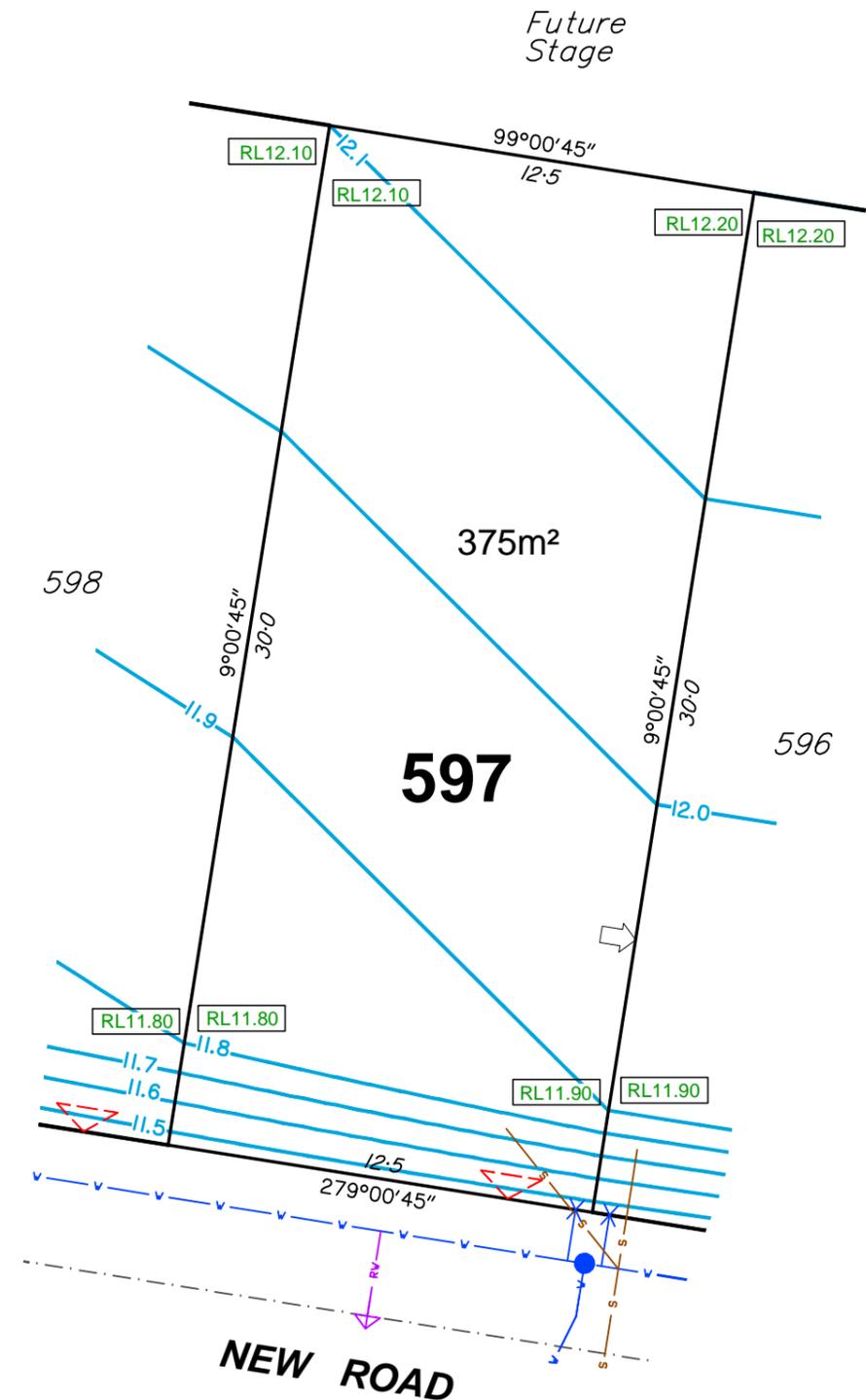
DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-596 VERSION B

DISCLOSURE PLAN

For Proposed Lot 597
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - RL57.32 Area to be Filled
Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 - // — // — 1.8m High Timber Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-597 VERSION B

DISCLOSURE PLAN

For Proposed Lot 598
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



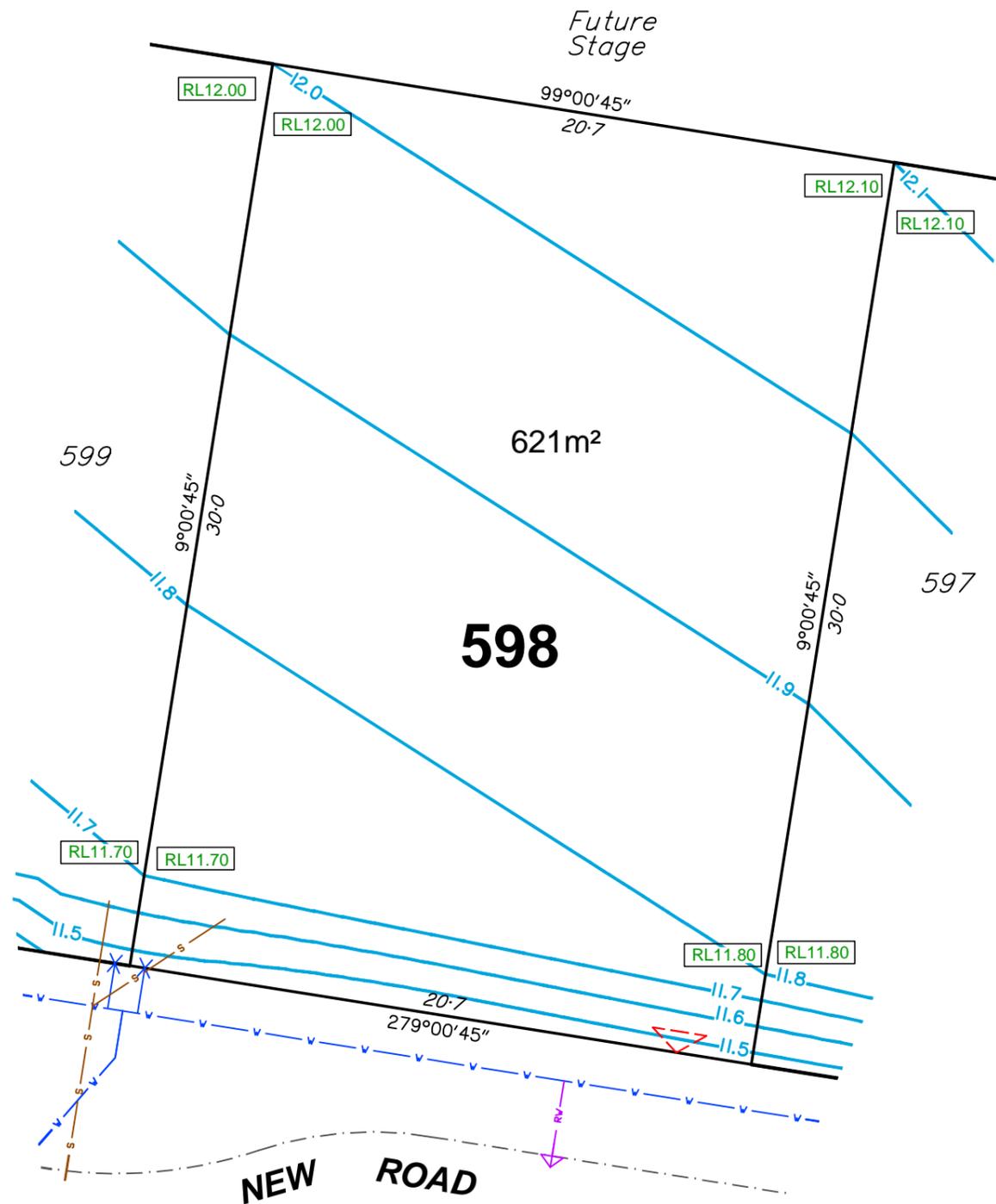
Planning
Urban Design
Landscape
Environment
Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-598 VERSION B

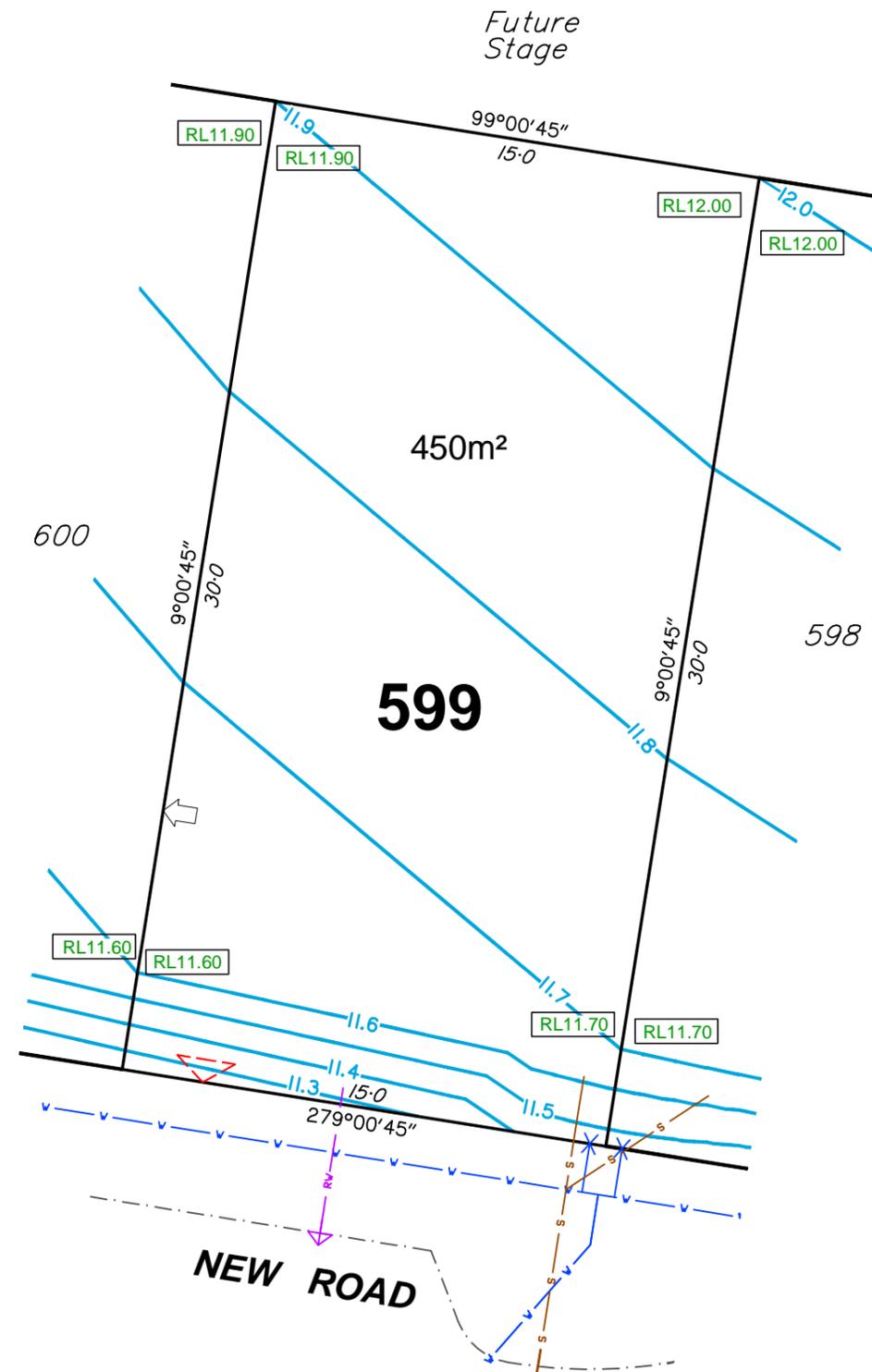


DISCLOSURE PLAN

For Proposed Lot 599
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.
Scale 1:200 @A3

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-599 VERSION B

DISCLOSURE PLAN

For Proposed Lot 600
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



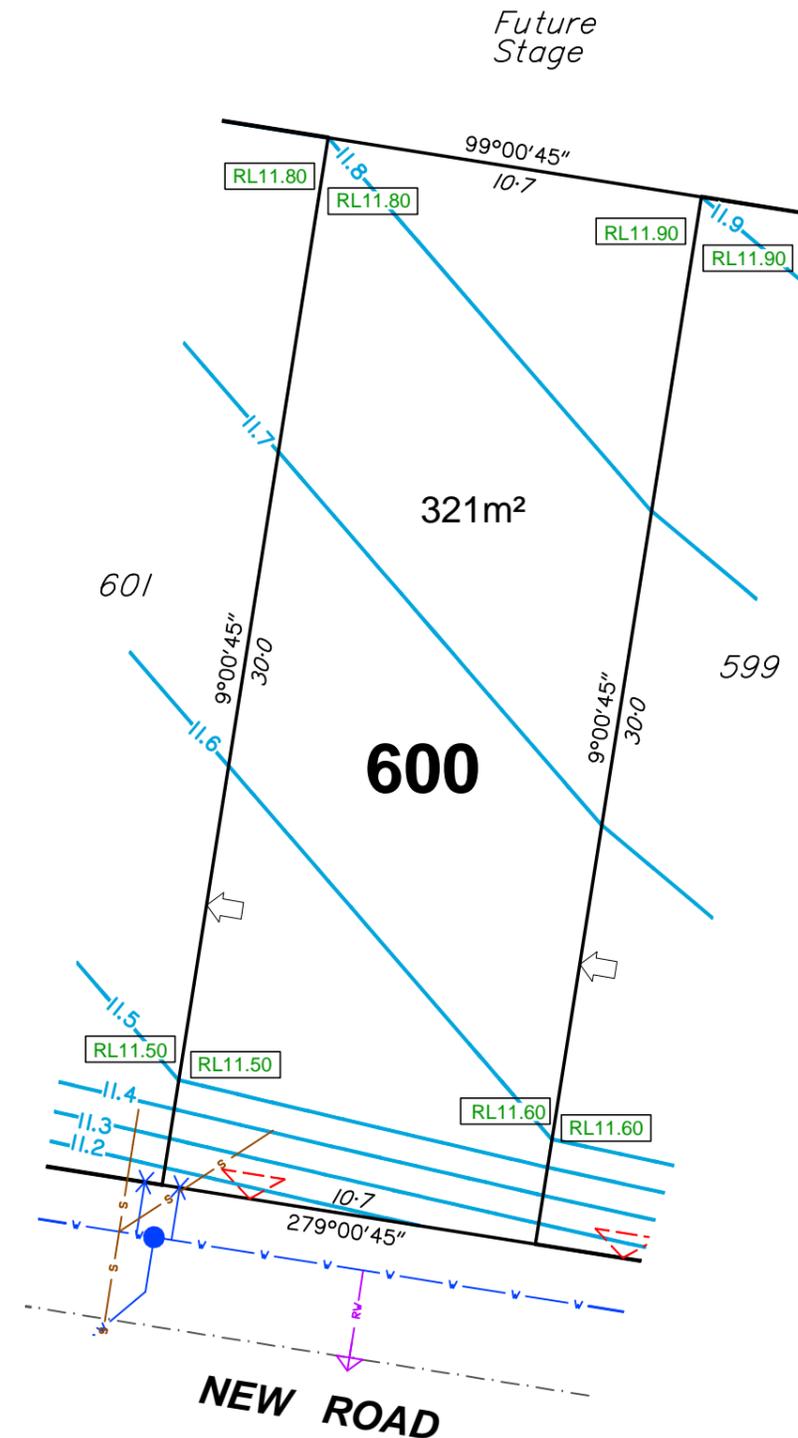
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

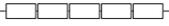
DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-600 VERSION B



DISCLOSURE PLAN

For Proposed Lot 601
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 - // — // — 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



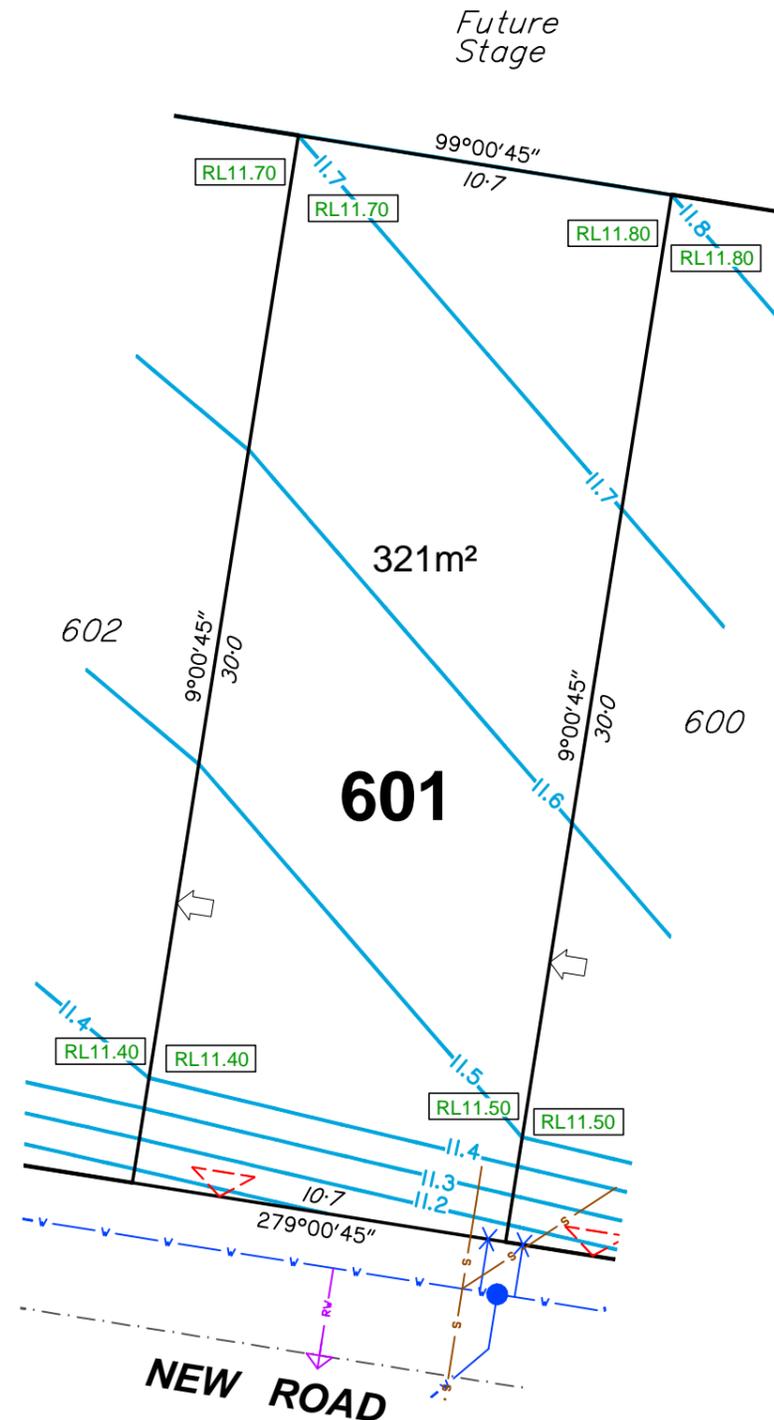
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.


 Scale 1:200 @A3

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-601 VERSION B

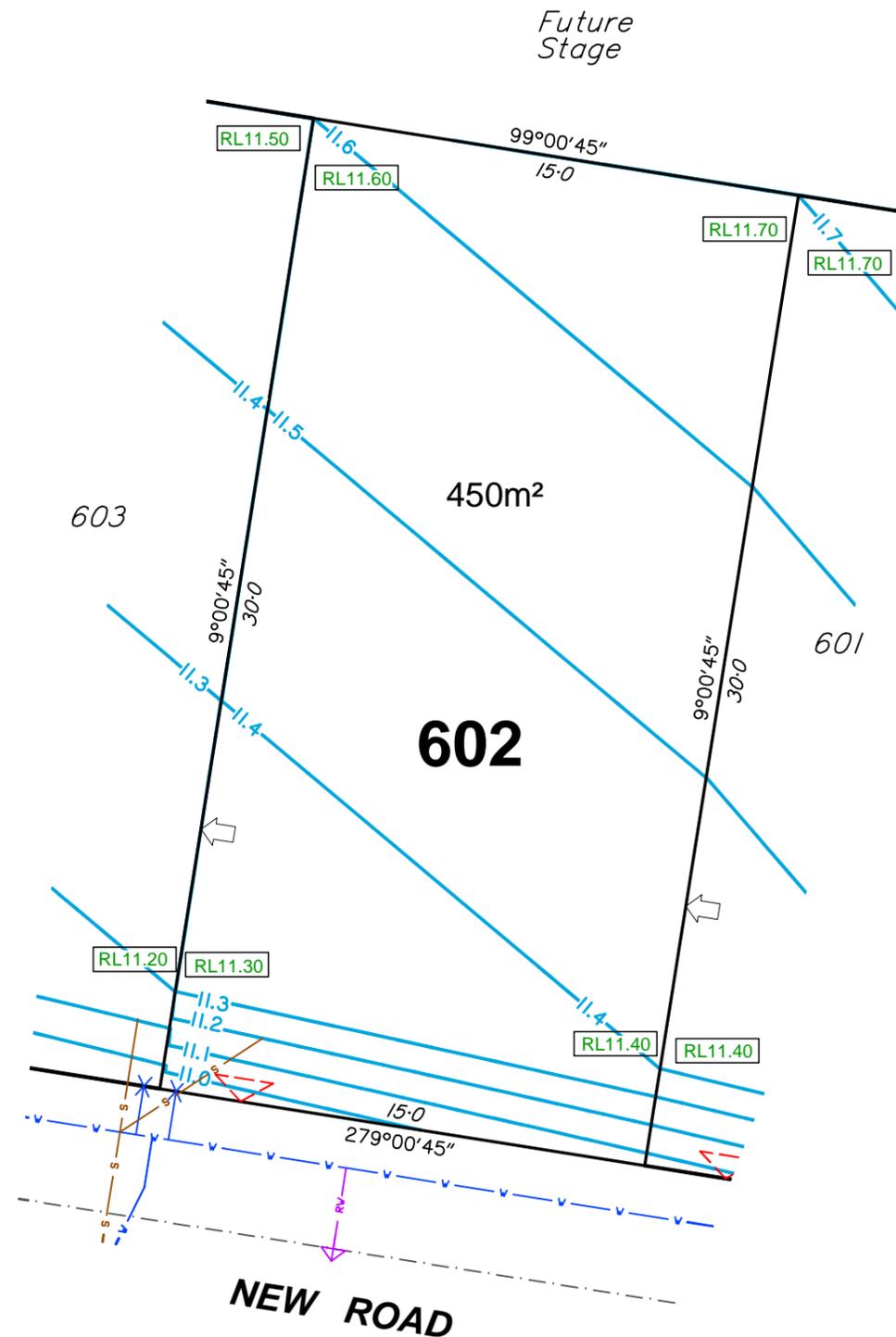


DISCLOSURE PLAN

For Proposed Lot 602
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

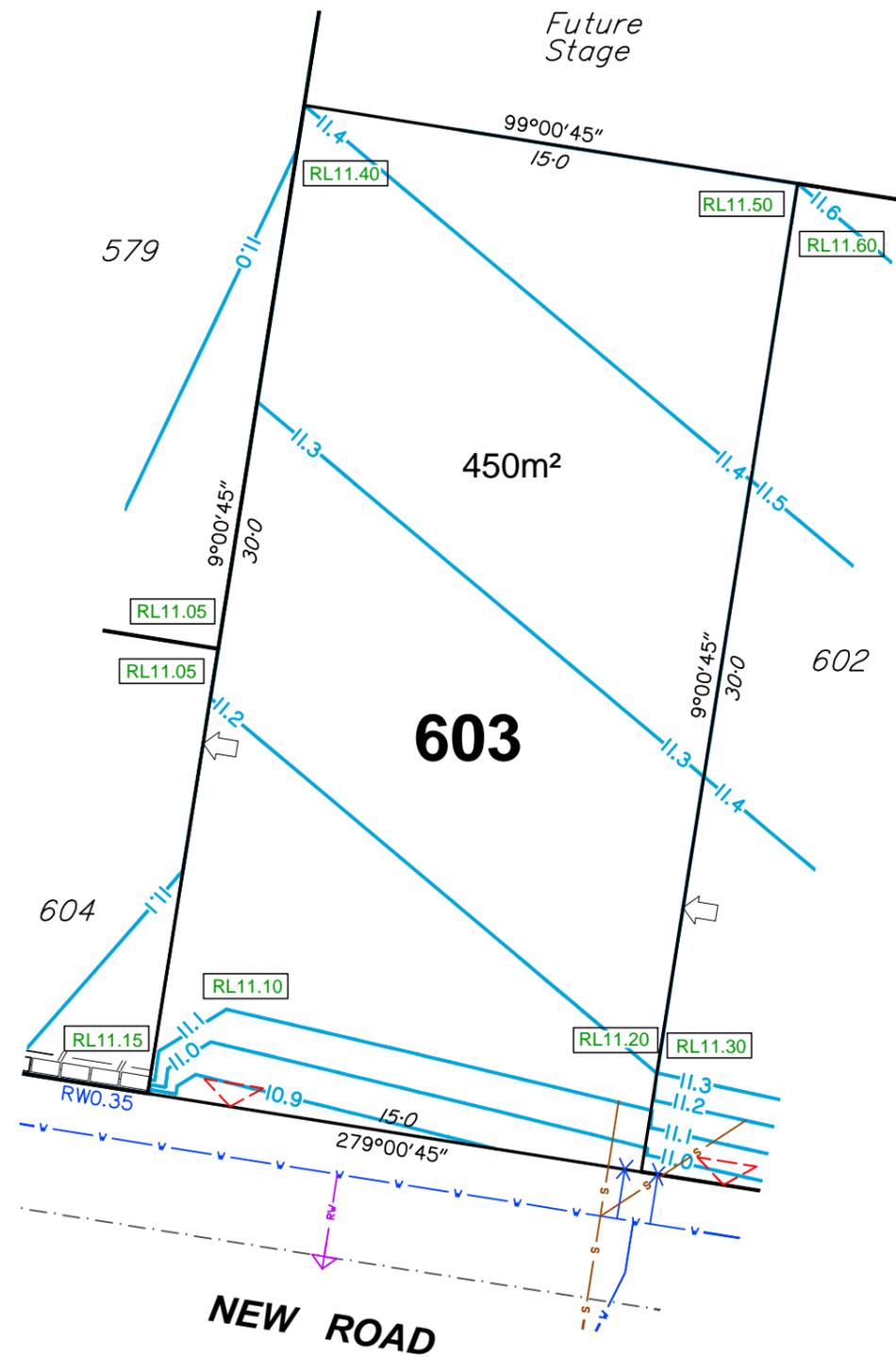
DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-602 VERSION B

DISCLOSURE PLAN

For Proposed Lot 603
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.
Scale 1:200 @A3

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-603 VERSION B

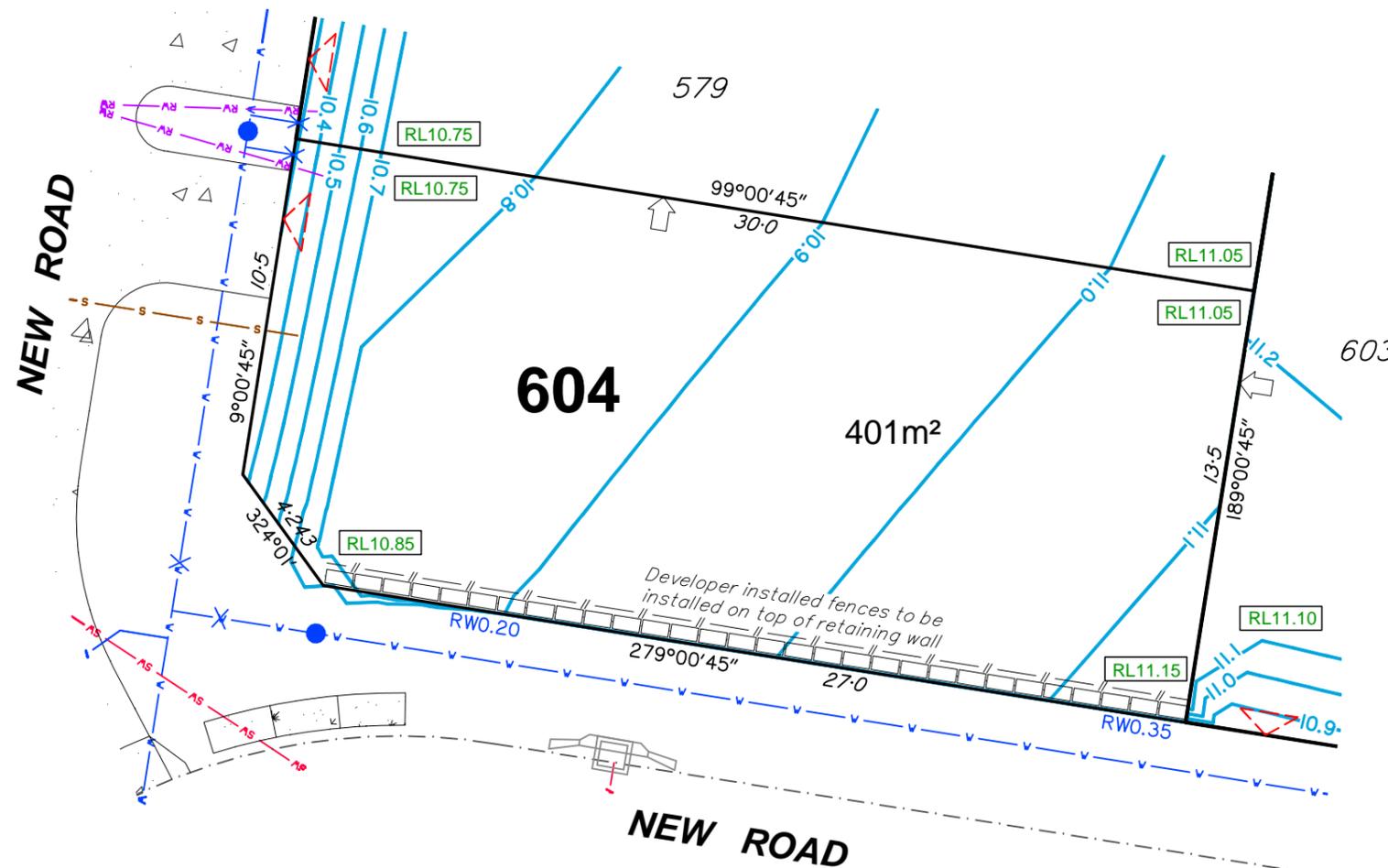
DISCLOSURE PLAN

For Proposed Lot 604
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sw — sw — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)



Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

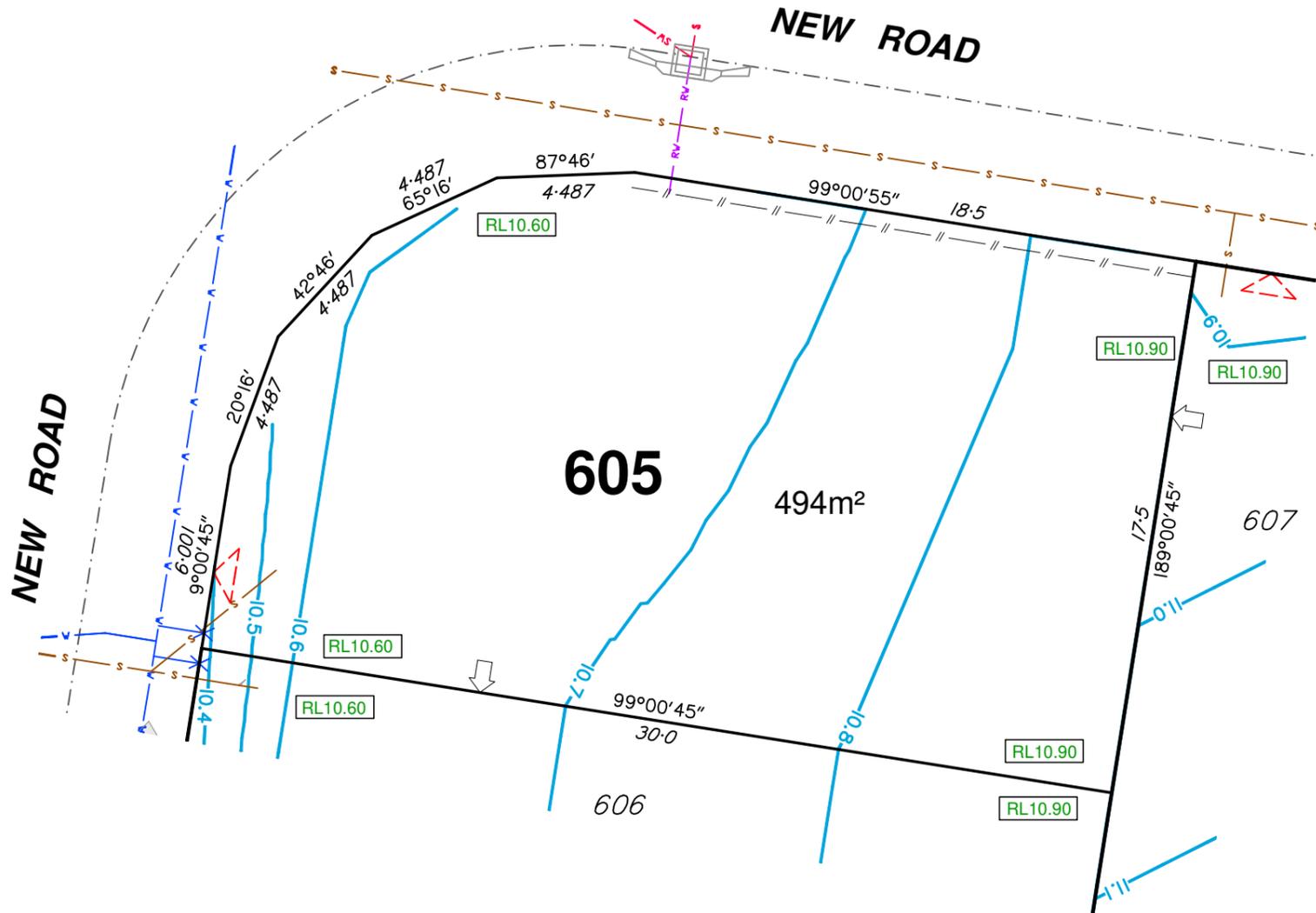
DATE DRAWN	DRAWING NO.	VERSION
10-02-2021	SB3594_11A-01-604	B

DISCLOSURE PLAN

For Proposed Lot 605
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.

Scale 1:200 @A3

DATE DRAWN 01-04-2021 DRAWING NO. SB3594_11A-01-605 VERSION C

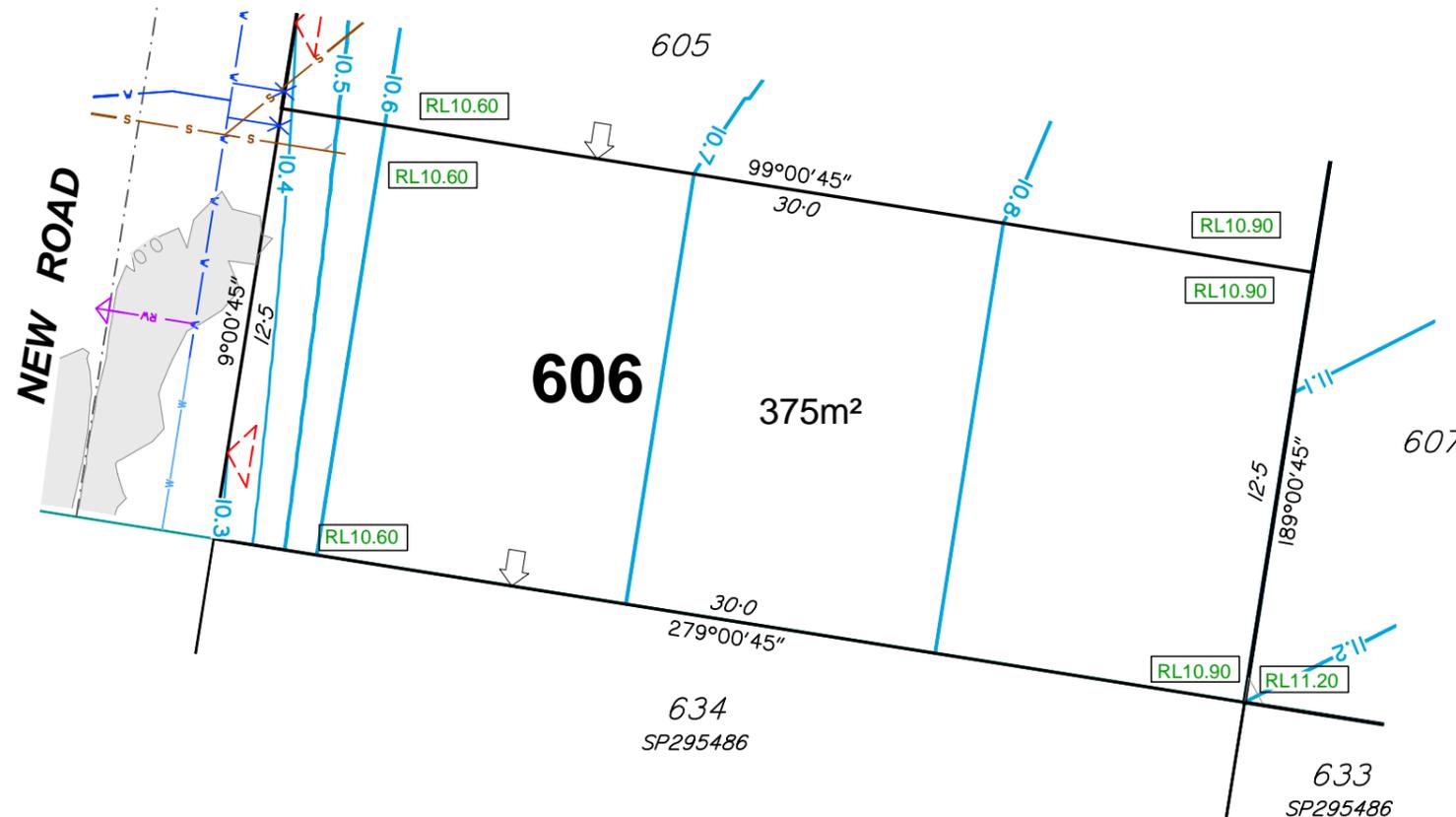
DISCLOSURE PLAN

For Proposed Lot 606
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sw — sw — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)



Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 24-02-2021 DRAWING NO. SB3594_11A-01-606 VERSION B

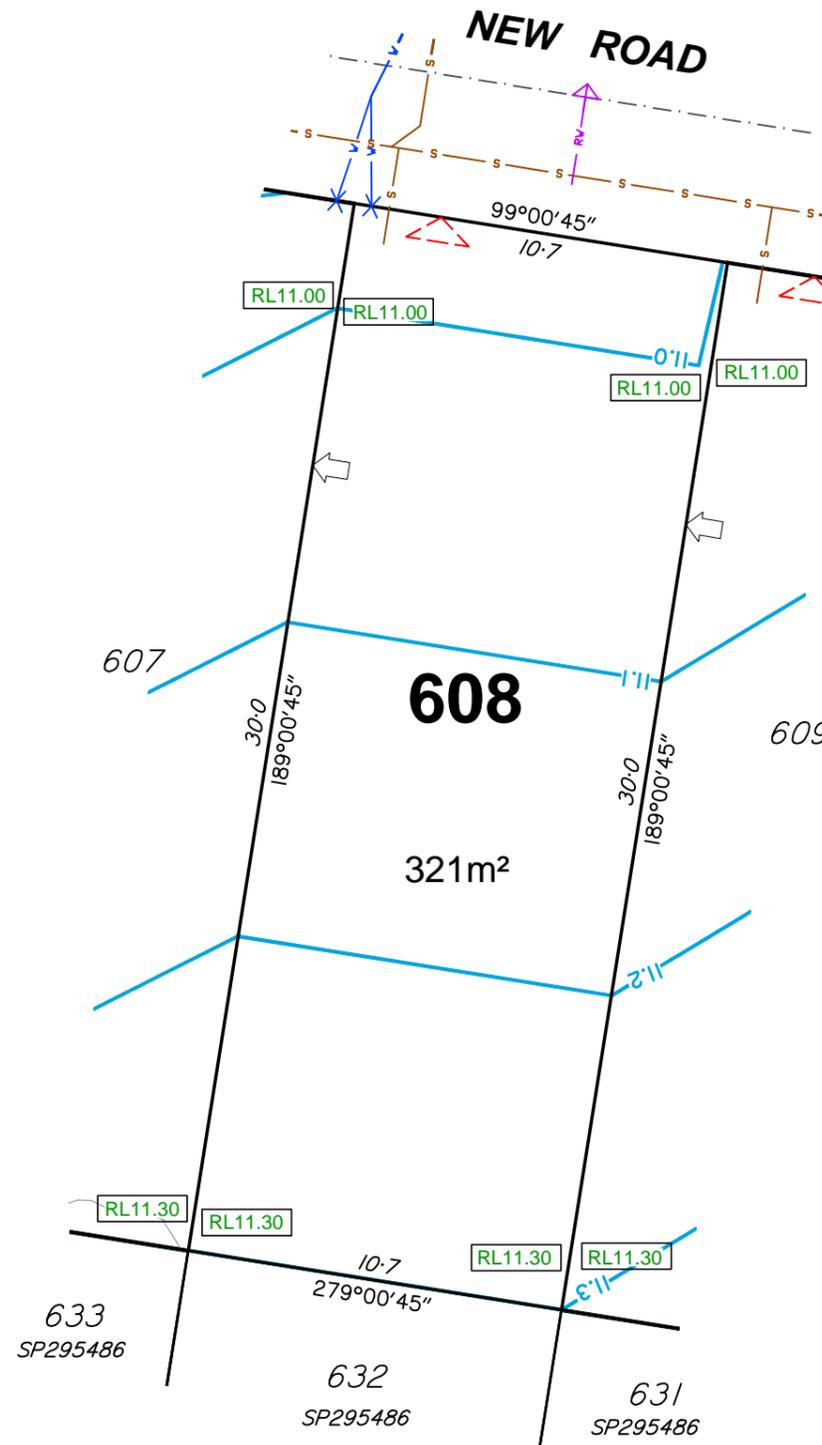
DISCLOSURE PLAN

For Proposed Lot 608
Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Kerb Adapter
		Water/Water Fitting
		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-608 VERSION A

DISCLOSURE PLAN

For Proposed Lot 609
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sw — sw — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



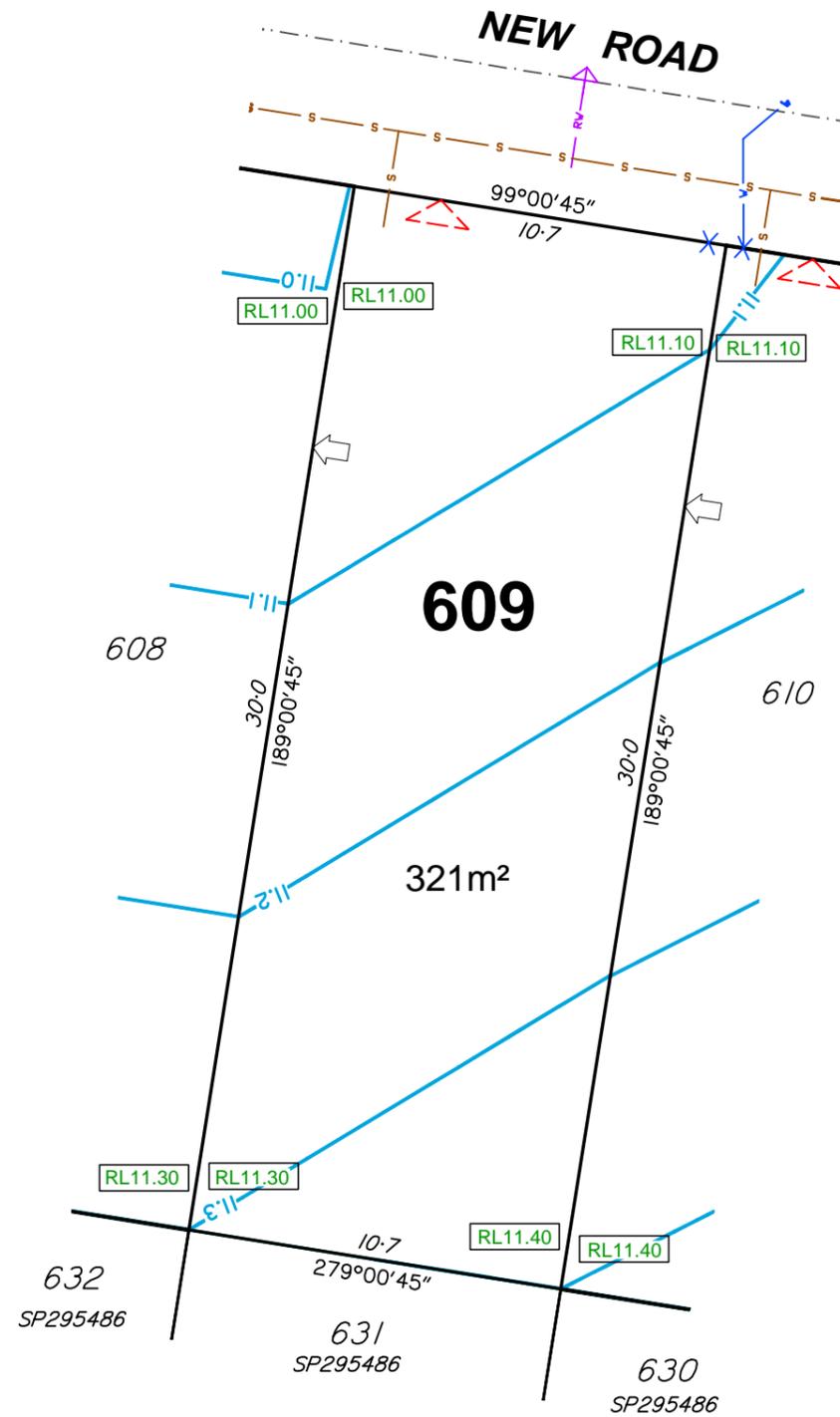
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-609 VERSION A



DISCLOSURE PLAN

For Proposed Lot 610
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sw — sw — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)

Notes:

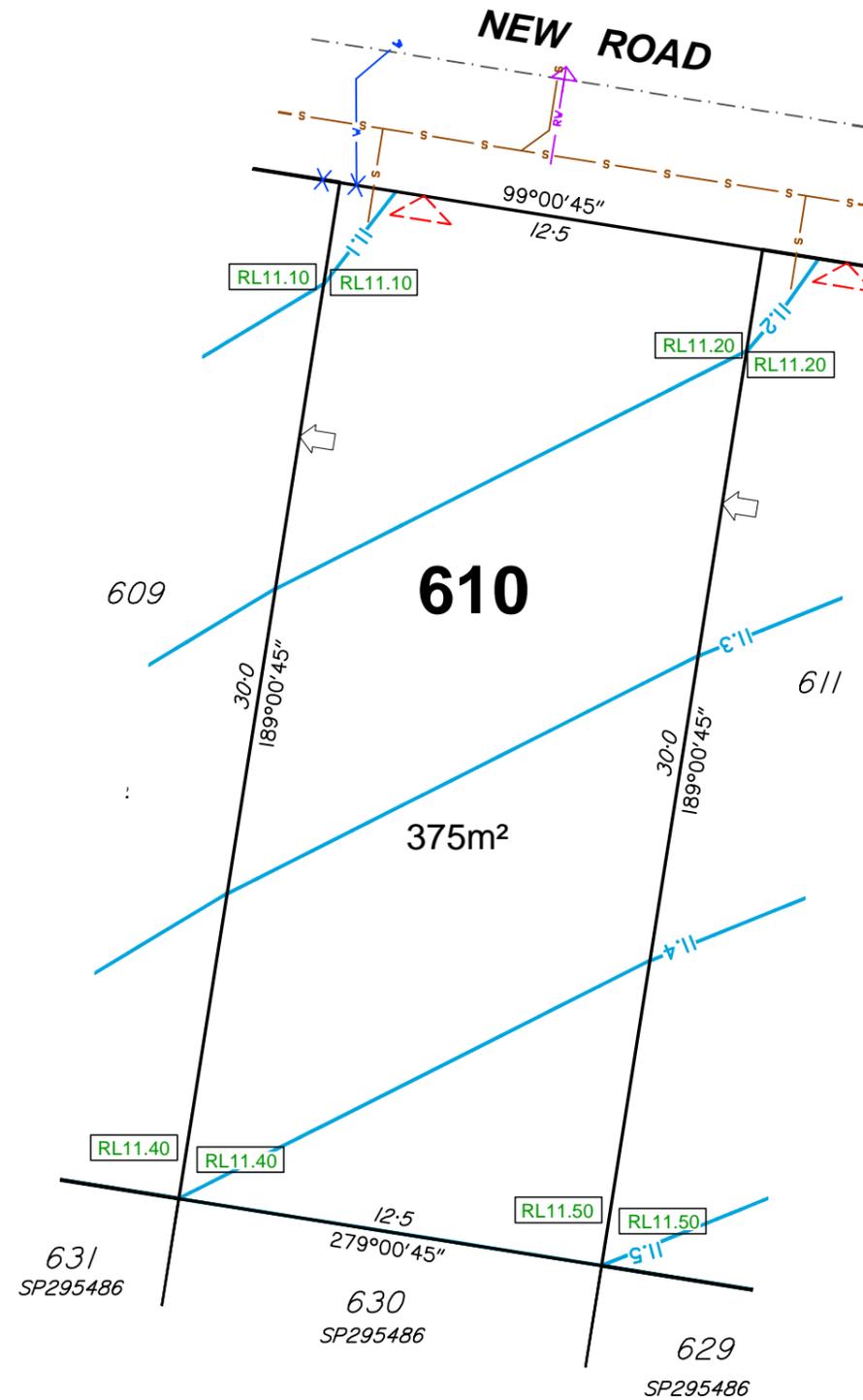
1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

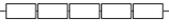
DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-610 VERSION A

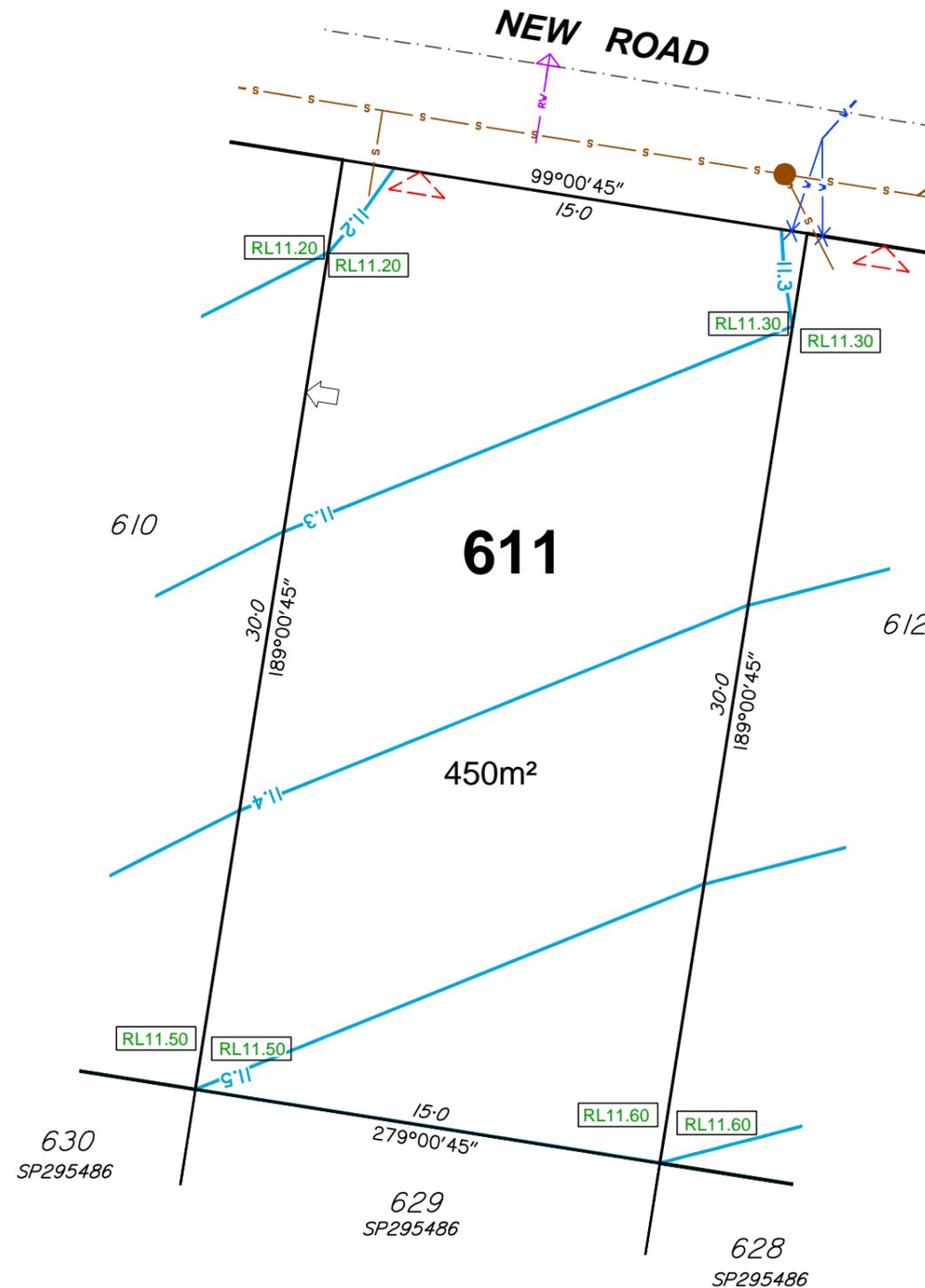


DISCLOSURE PLAN

For Proposed Lot 611
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 - // — // — 1.8m High Timber Fence
(Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN MGA
 Scale 1:200 @A3
 LEVEL DATUM AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-611 VERSION A

DISCLOSURE PLAN

For Proposed Lot 612
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

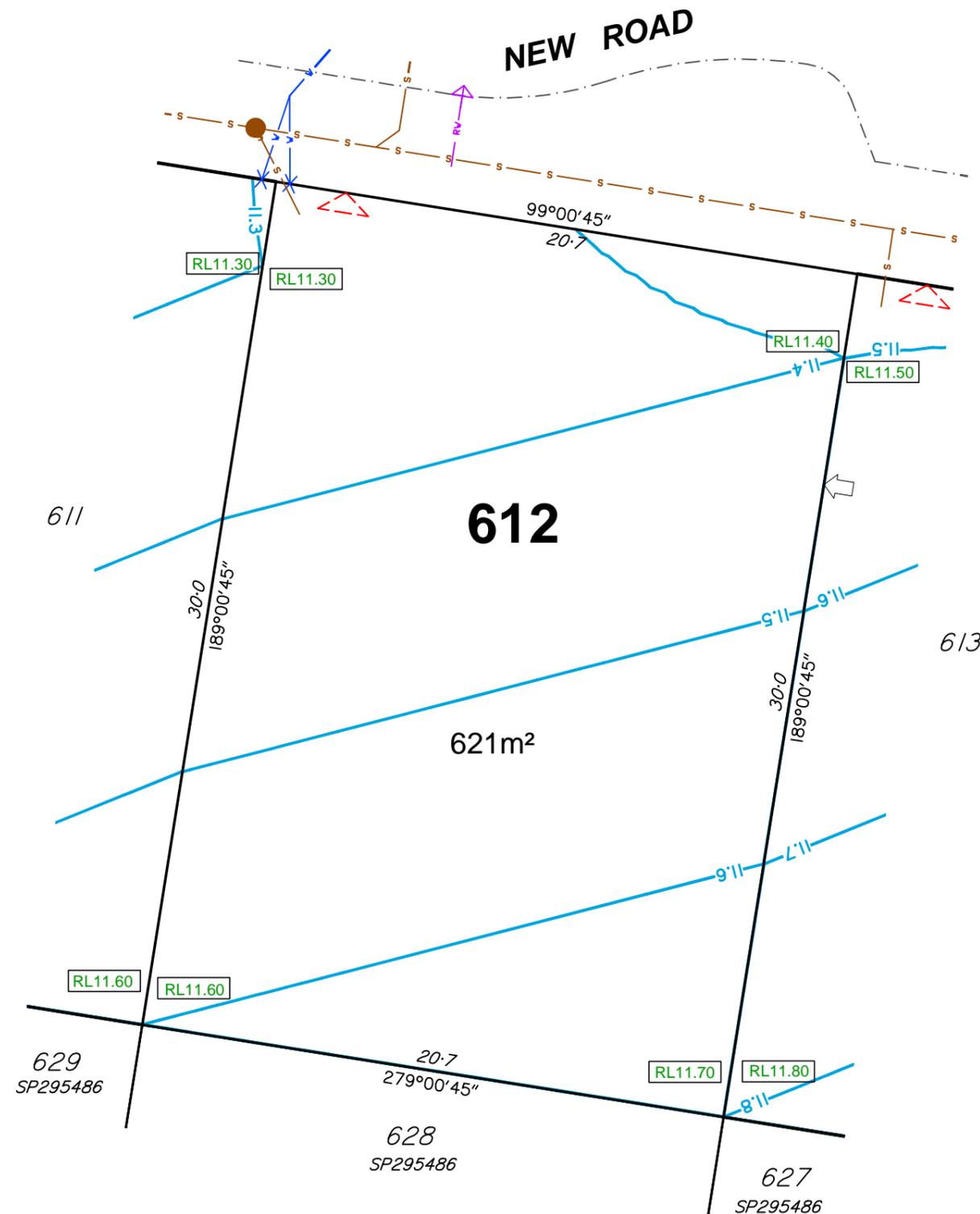


Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.

Scale 1:200 @A3

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-612 VERSION A



DISCLOSURE PLAN

For Proposed Lot 614
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.1m Interval)
- Easement Boundary
- Kerb Line
- s — s — Sewer/Sewer Manhole
- sw — sw — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Fence
(Installed by Developer)

Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



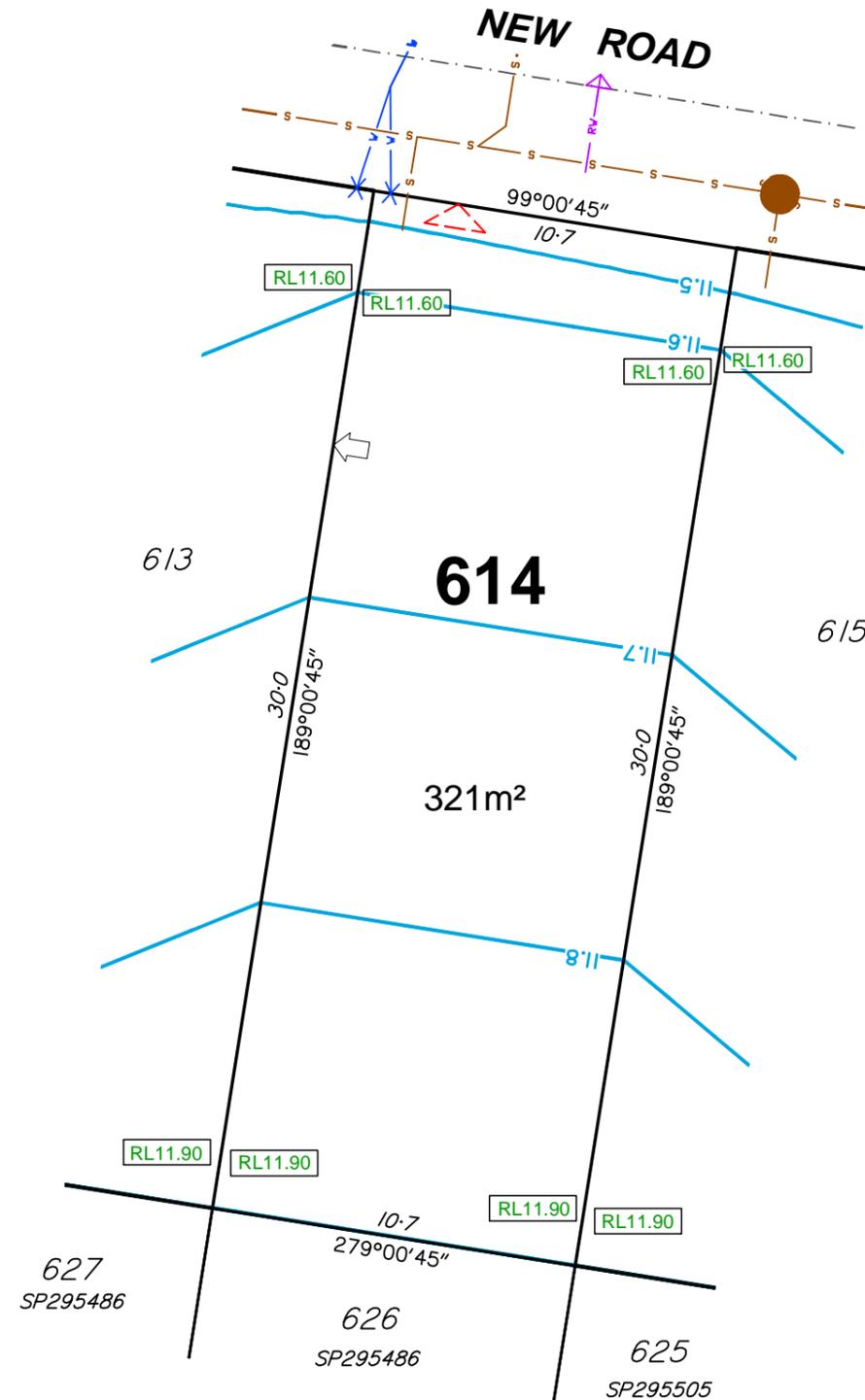
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-614 VERSION A



DISCLOSURE PLAN

For Proposed Lot 615
Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - s — s — Sewer/Sewer Manhole
 - sw — sw — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv — rv — Roofwater/Kerb Adapter
 - v — v — Water/Water Fitting
 - X Water Meter
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
(Retaining Wall Heights shown on the
underside of the wall)
 - ▾ Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



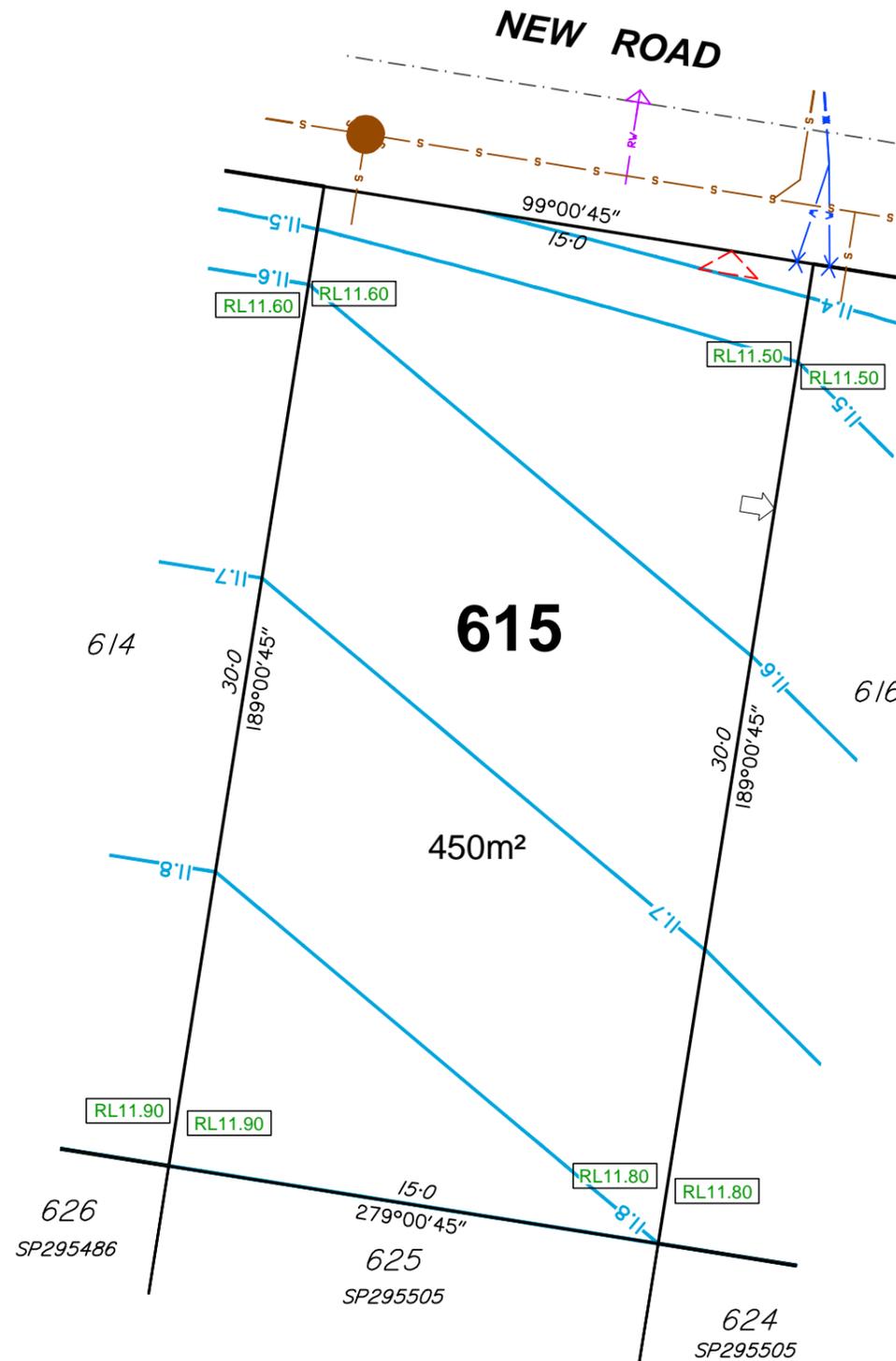
Planning
Urban Design
Landscape
Environment
Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

2 0 2 4
 Scale 1:200 @A3

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-615 VERSION A



DISCLOSURE PLAN

For Proposed Lot 616
Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Kerb Adapter
 - Water/Water Fitting
 - Water Meter
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

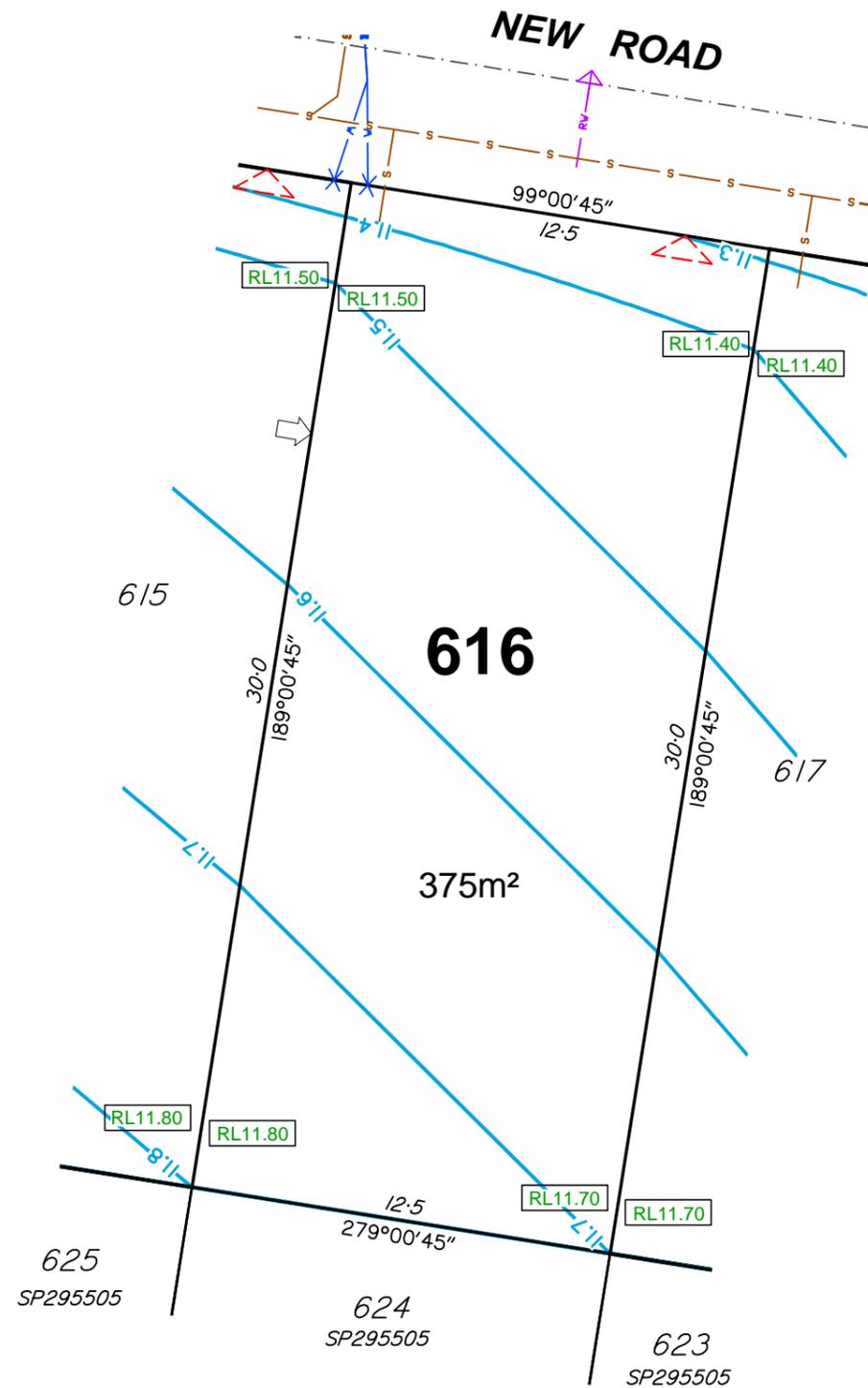


Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
LEVEL DATUM AHD.

Scale 1:200 @A3

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-616 VERSION A

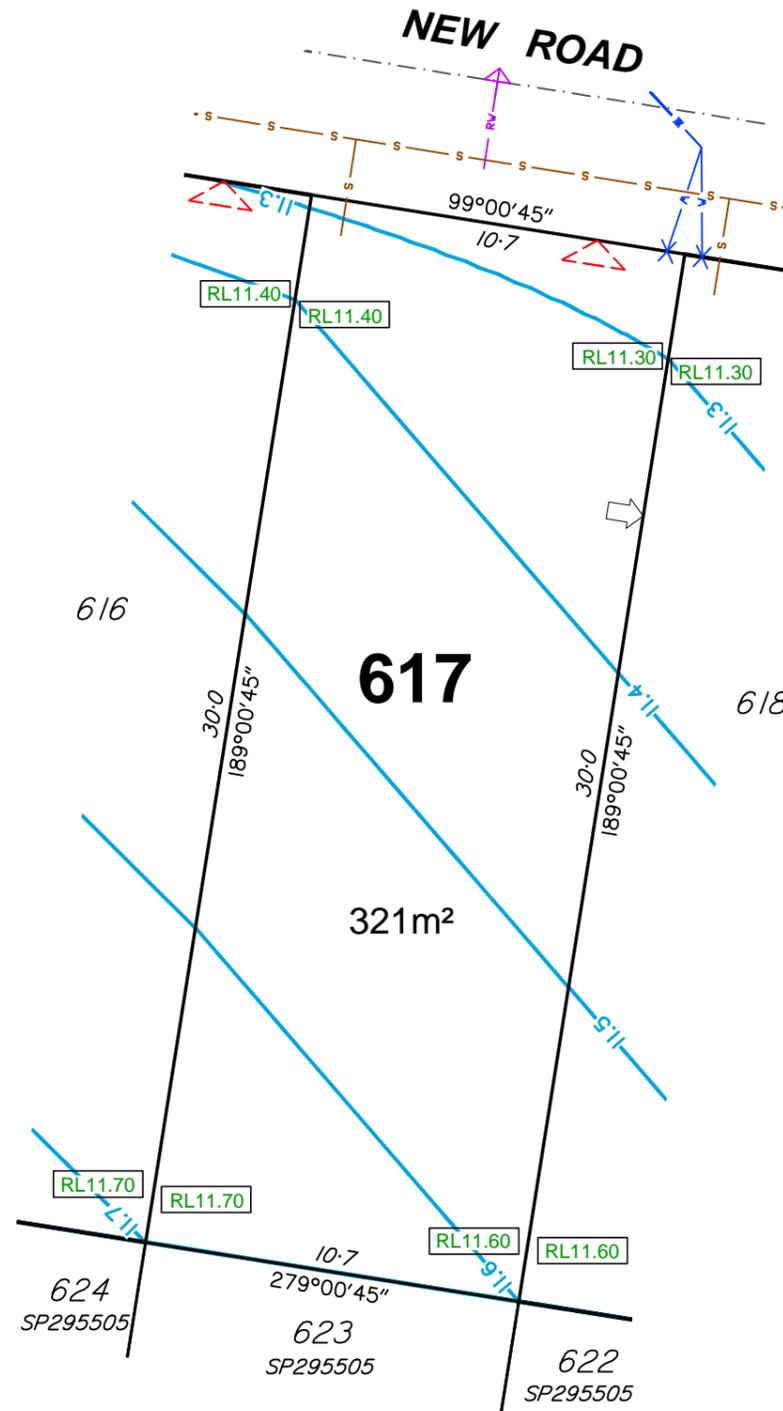


DISCLOSURE PLAN

For Proposed Lot 617
Riverbank - Stage 11A

Currently Described As Part of Lot 1023 on SP311564
RPD: Caboolture South
Locality: Caboolture South
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - 1.0 — Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - - - - - Kerb Line
 - s - s - Sewer/Sewer Manhole
 - sw sw Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - rv rv Roofwater/Kerb Adapter
 - v v Water/Water Fitting
 - X Water Meter
 - RL57.32 Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - || || 1.8m High Timber Fence (Installed by Developer)



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-617 VERSION A

DISCLOSURE PLAN

For Proposed Lot 618
Riverbank - Stage 11A

Currently Described As
RPD: Part of Lot 1023 on SP311564
Locality: Caboolture South
Local Authority: Moreton Bay Regional

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Kerb Adapter
		Water/Water Fitting
		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 11-12-2020.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 18-12-2020 DRAWING NO. SB3594_11A-01-618 VERSION A

