

For Proposed Lot 886 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. This plan has been prepared under the current legislation
- for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

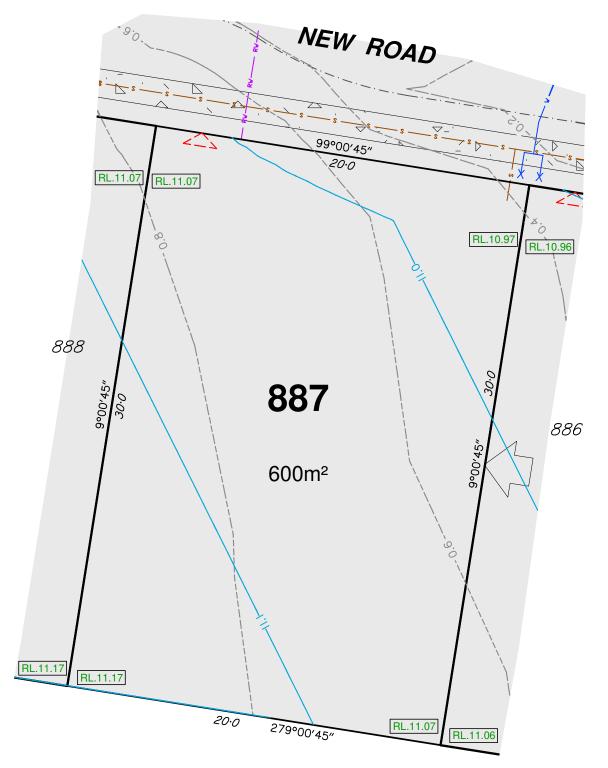


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD. DATE DRAWN DRAWING NO. **VERSION**

03-03-2020 SB3594-19B 01-886



Future Stage

For Proposed Lot 887 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

> Roofwater/Kerb Adapter Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

Proposed Driveway

1.8m High Timber Fence (Installed by Developer)

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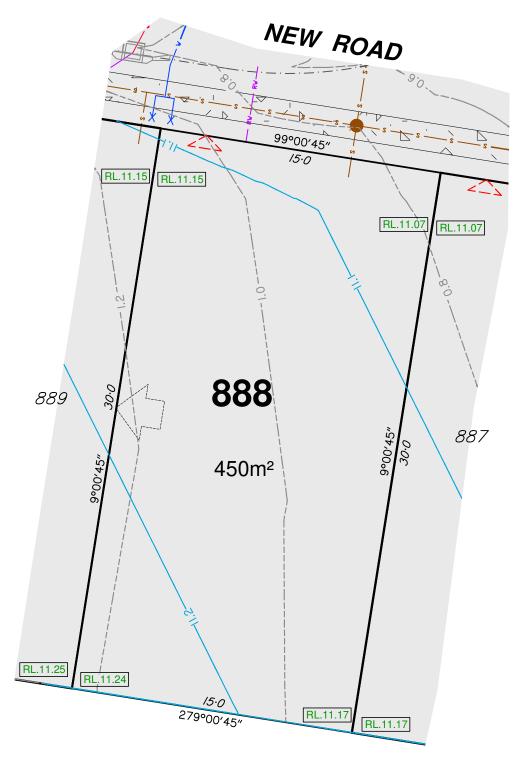




HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN DRAWING NO. 03-03-2020 SB3594-19B 01-887



Future Stage

For Proposed Lot 888 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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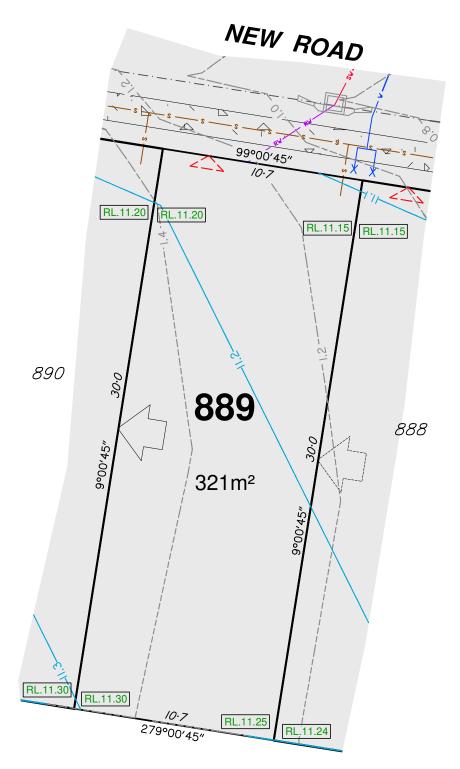


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-888

VERSION



Future Stage

For Proposed Lot 889 Riverbank - Stage 19B

Currently Described As RPD:

Locality: Local Authority:

Part of Lot 1017 on SP308276 Caboolture South Moreton Bay Regional

Legend:

N

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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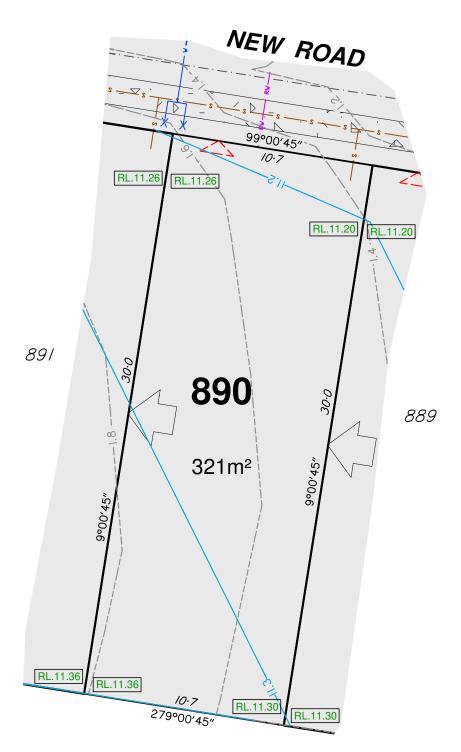
HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200

@A3 AHD.

VERSION

DATE DRAWN DRAWING NO. 03-03-2020

SB3594-19B 01-889



Future Stage

For Proposed Lot 890 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval)

—— | 0 — — — Depth of Fill Contours (0.2m Interval) - Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

(Installed by Developer)

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary 1.8m High Timber Fence

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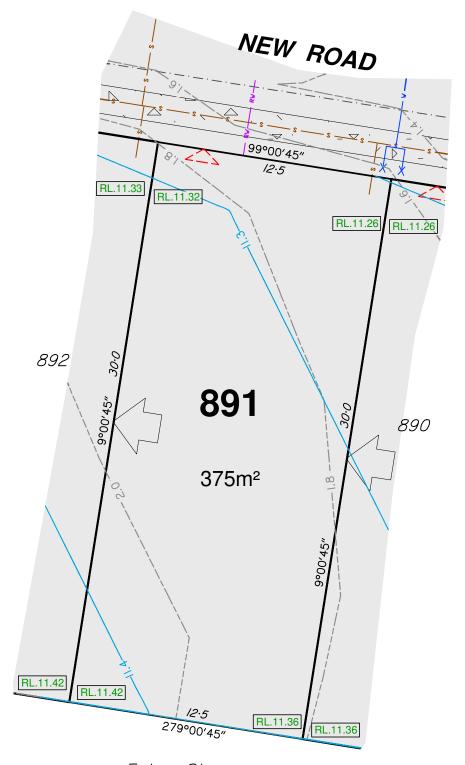


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DRAWING NO. **VERSION**

SB3594-19B 01-890

DATE DRAWN 03-03-2020



Future Stage

For Proposed Lot 891 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

Stormwater/Stormwater Manhole

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Proposed Driveway

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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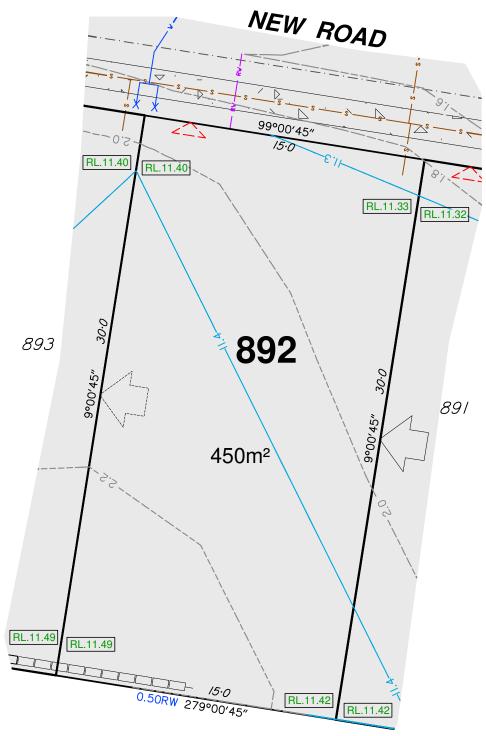


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-891

VERSION



Future Stage

For Proposed Lot 892 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater Gully Trap

Stormwater/Stormwater Manhole

Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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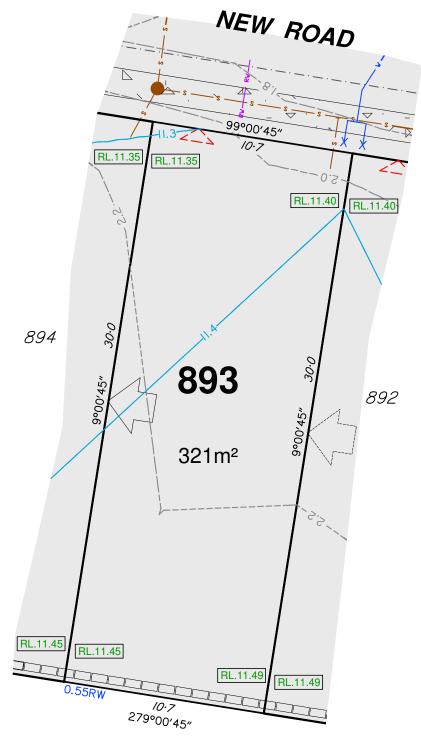


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-892 **VERSION**





Future Stage

For Proposed Lot 893 Riverbank - Stage 19B

Currently Described As

RPD: Part of Lot 1017 on SP308276 Locality: Caboolture South

Local Authority: Cabooliure South

Moreton Bay Regional

Legend:

N

— 46.0 — Finished Surface Contours (0.1m Interval)

— 1.0 — — Depth of Fill Contours (0.2m Interval)

Farmer Barrier

—— — Easement Boundary

____ Edge of Pad

____s ____ Sewer/Sewer Manhole

- sv ---- sv ----- Stormwater / Stormwater Manhole

Stormwater Gully Trap

RV RV Roofwater/Kerb Adapter

Water/Water Fitting

X Water Meter

Area to be Filled

RL57.32 Design Pad Level

- Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence

(Installed by Developer)

Notes:

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RIVERBANK





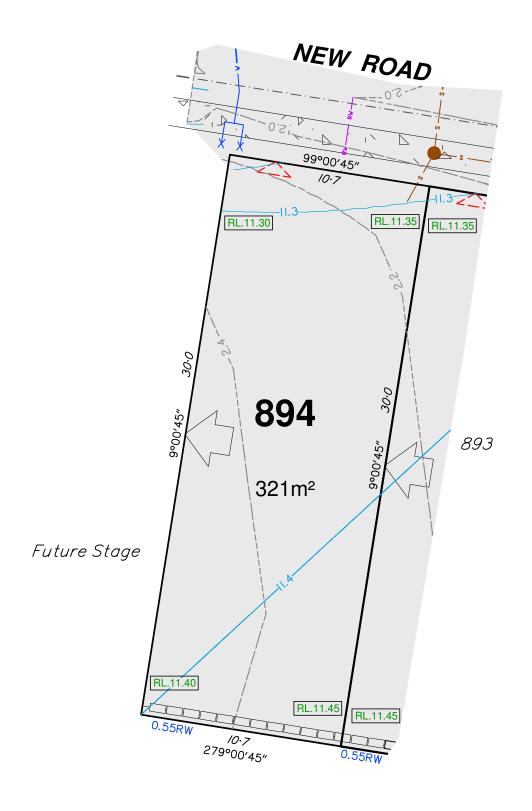
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-893

VERSION B



For Proposed Lot 894 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 RPD: Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval)

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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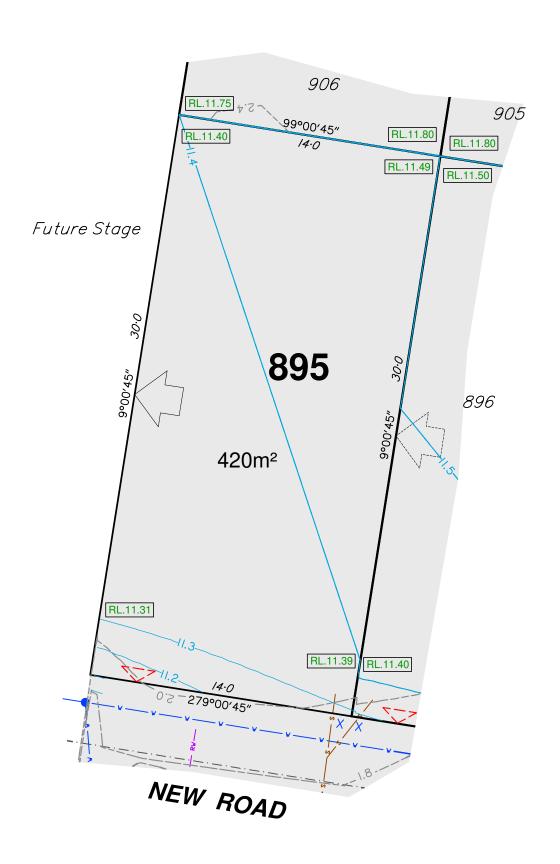


HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200

LEVEL DATUM @A3 AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-894



For Proposed Lot 895 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 RPD: Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

Notes:

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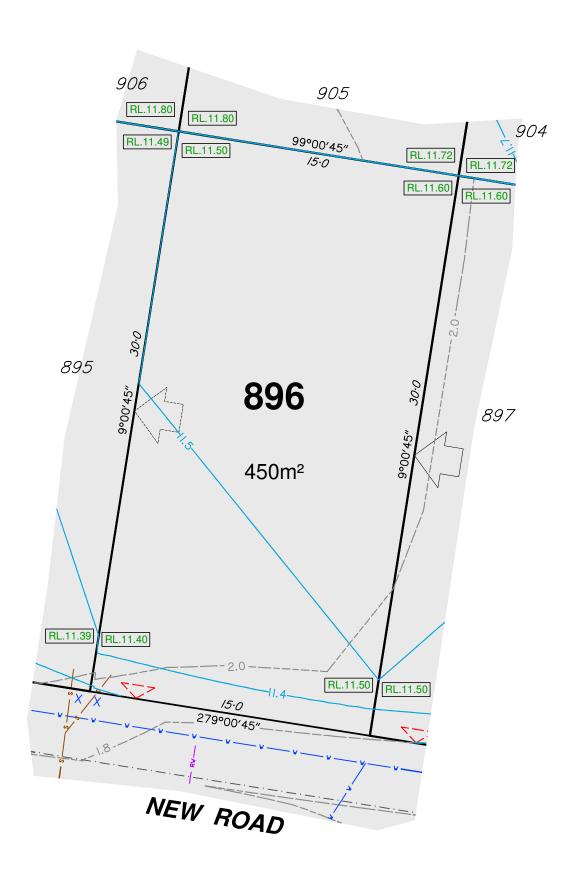




HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-895



For Proposed Lot 896 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 RPD: Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Edge of Pad

Water/Water Fitting

Stormwater/Stormwater Manhole

Sewer/Sewer Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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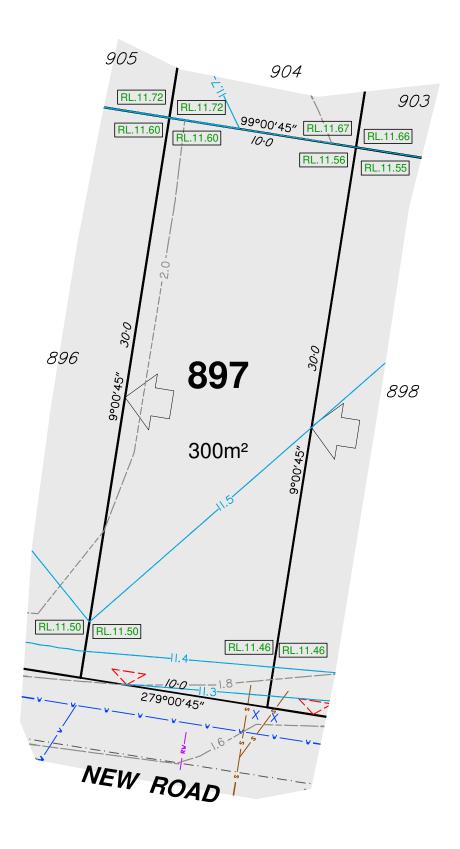
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-896



For Proposed Lot 897 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

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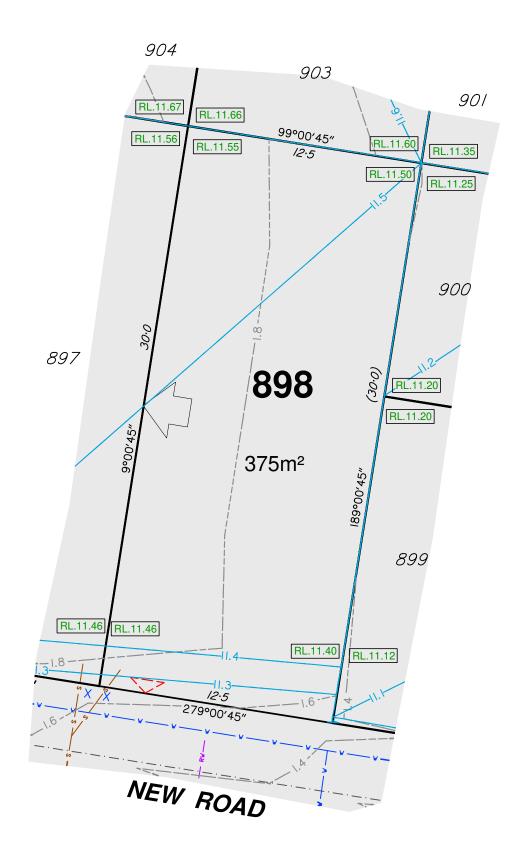


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-897



For Proposed Lot 898 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 RPD: Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval)

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

RW ARW

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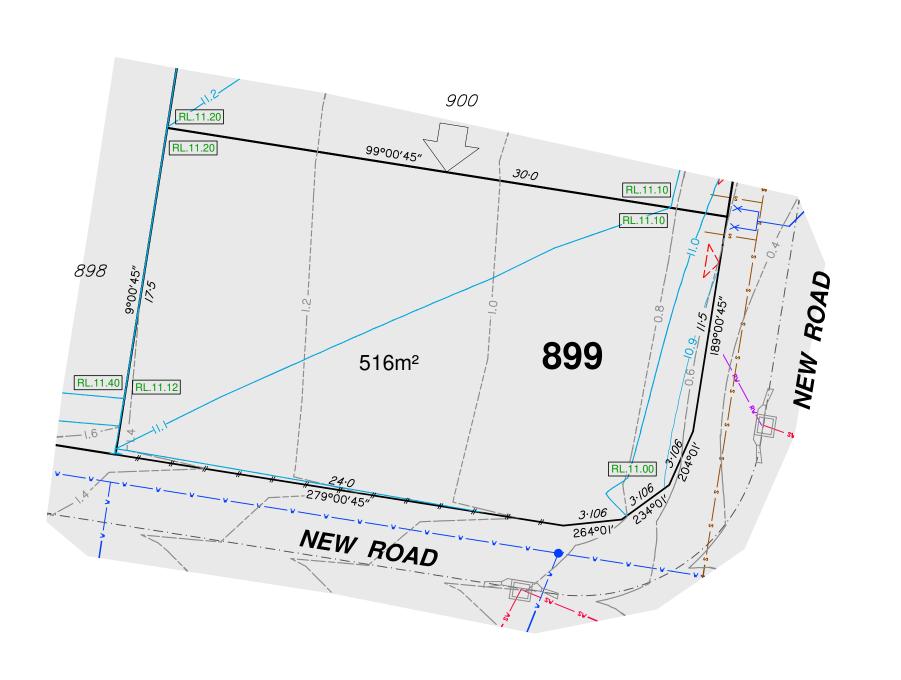


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-898



For Proposed Lot 899 Riverbank - Stage 19B

Currently Described As

RPD: Part of Lot 1017 on SP308276 Locality: Caboolture South

Moreton Bay Regional

Legend:

Local Authority:

N

— 46.0 — Finished Surface Contours (0.1m Interval)

— 1.0 — — Depth of Fill Contours (0.2m Interval)

_ ._ .

Easement Boundary

— · — Kerb Line

— -- Edge of Pad

__s ___s ____ Sewer/Sewer Manhole __sv ___sv ____ Stormwater/Stormwater Manhole

Stormwater Gully Trap

RV—RV—RV—RV—Roofwater/Kerb Adapter

Water/Water Fitting

X Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

 1.8m High Timber Fence (Installed by Developer)

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RIVERBANK



Planning 🗗 Urban Design 🍪 Landscape 💭 Environment 🗥 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

AHD.

VERSION

DATE DRAWN DRAWING NO. 09-03-2020 SB3594-19B_01-899



For Proposed Lot 900 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality: Caboolture South

Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

> Roofwater/Kerb Adapter Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

------Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

RW ARW

- 1. This note is an integral part of this plan.
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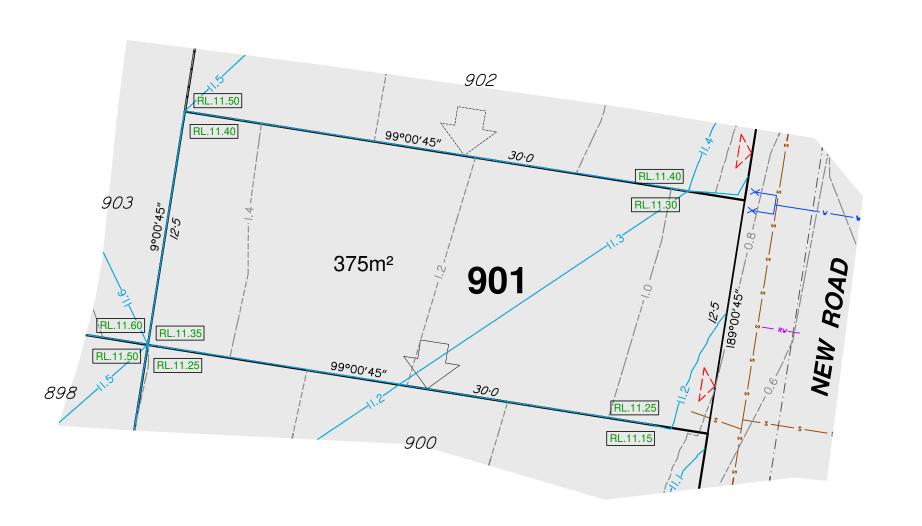




HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-900



For Proposed Lot 901 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32

Design Pad Level

------Retaining Wall RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

- 1. This note is an integral part of this plan.
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HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-901



For Proposed Lot 902 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Caboolture South Locality:

Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

> Roofwater/Kerb Adapter Water/Water Fitting

Water Meter

Area to be Filled RL57.32 Design Pad Level

------Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Zero Lot Line Boundary

Proposed Driveway

1.8m High Timber Fence (Installed by Developer)

Notes:

- 1. This note is an integral part of this plan.
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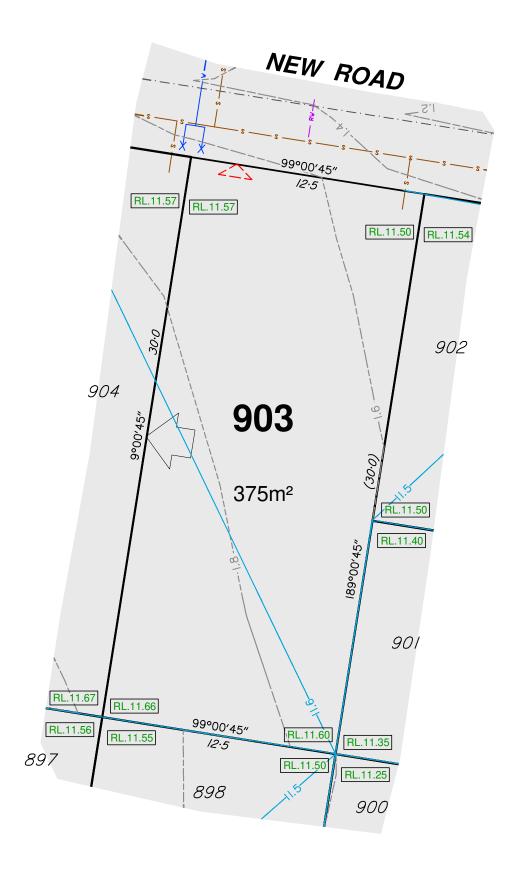


Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN DRAWING NO. **VERSION** 09-03-2020 SB3594-19B 01-902



For Proposed Lot 903 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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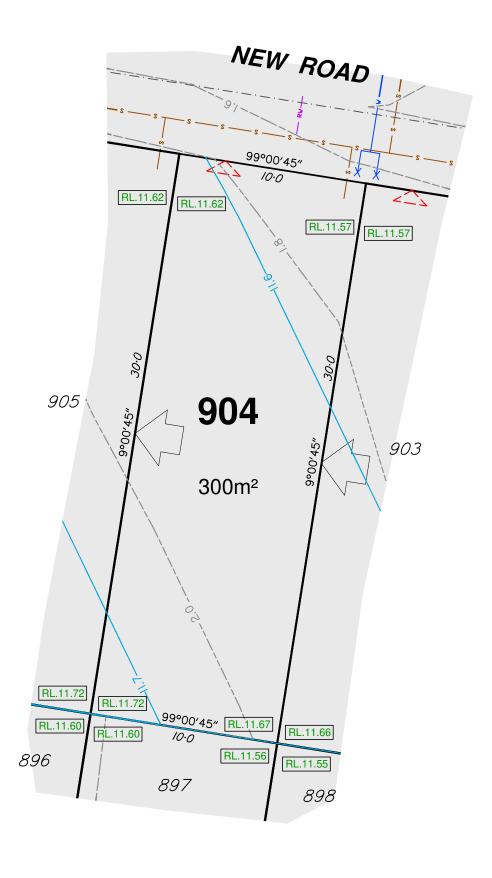




HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN DRAWING NO. **VERSION** 03-03-2020 SB3594-19B 01-903



For Proposed Lot 904 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality: Caboolture South

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

RW ARW

- 1. This note is an integral part of this plan.
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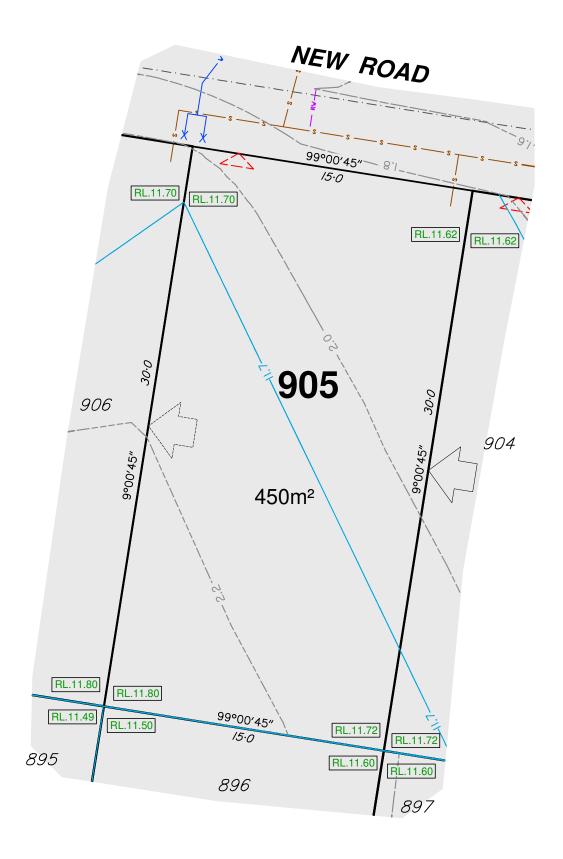
Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN DRAWING NO. 03-03-2020

SB3594-19B 01-904



For Proposed Lot 905 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Edge of Pad Sewer/Sewer Manhole

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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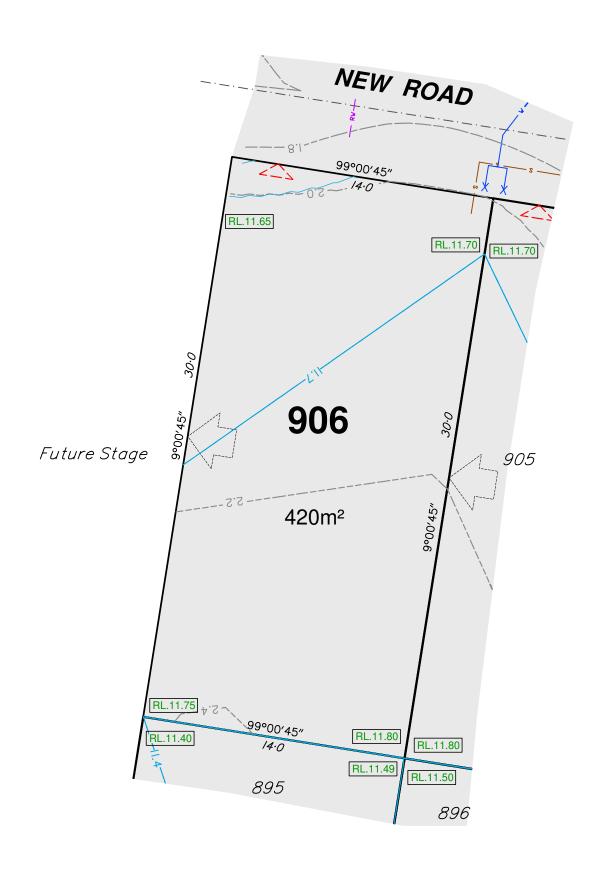




HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN DRAWING NO. **VERSION** 03-03-2020 SB3594-19B 01-905



For Proposed Lot 906 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality:

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary 1.8m High Timber Fence

(Installed by Developer)

Notes:

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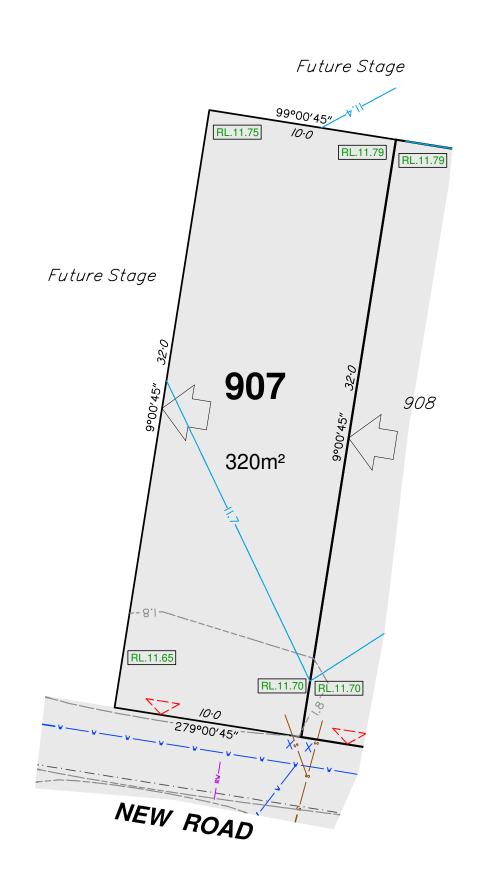


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-906

VERSION



For Proposed Lot 907 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Water/Water Fitting

Roofwater/Kerb Adapter

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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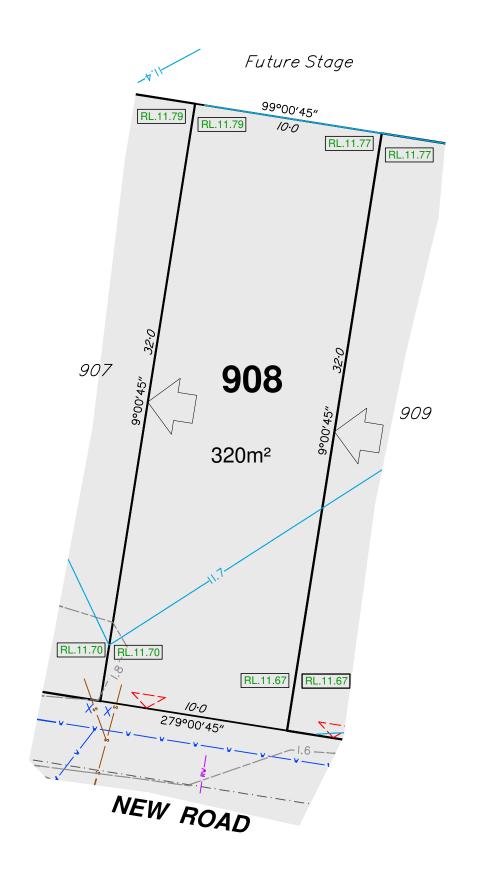


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

VERSION

DATE DRAWN DRAWING NO. 03-03-2020 SB3594-19B 01-907



For Proposed Lot 908 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 RPD: Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

RW ARW

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HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-908

99°00′45″ RL.11.77 RL.11.77 10.0 RL.11.74 RL.11.73 909 908 910 320m² RL.11.67 RL.11.67 RL.11.64 RL.11.64 NEW ROAD

Future Stage

DISCLOSURE PLAN

For Proposed Lot 909 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality: Caboolture South

Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Stormwater/Stormwater Manhole

Water/Water Fitting

Water Meter

Area to be Filled RL57.32

Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

RW ARW

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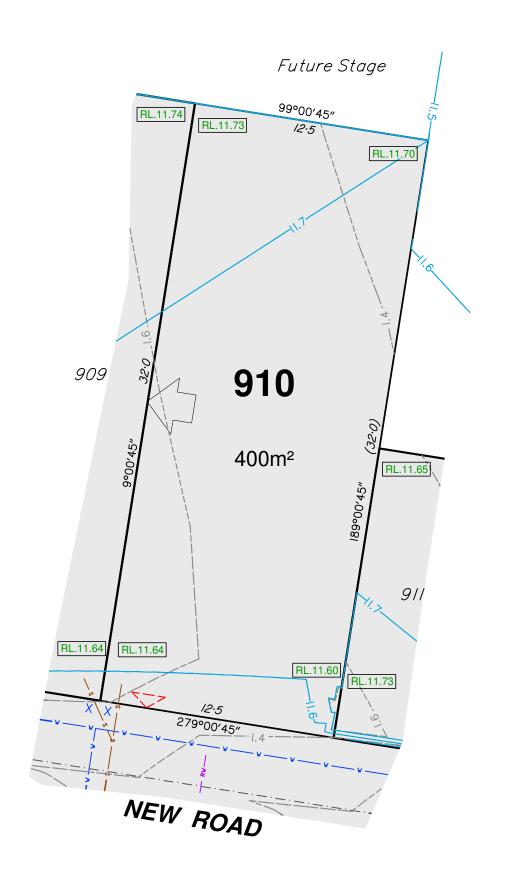




HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-909



For Proposed Lot 910 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 RPD: Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

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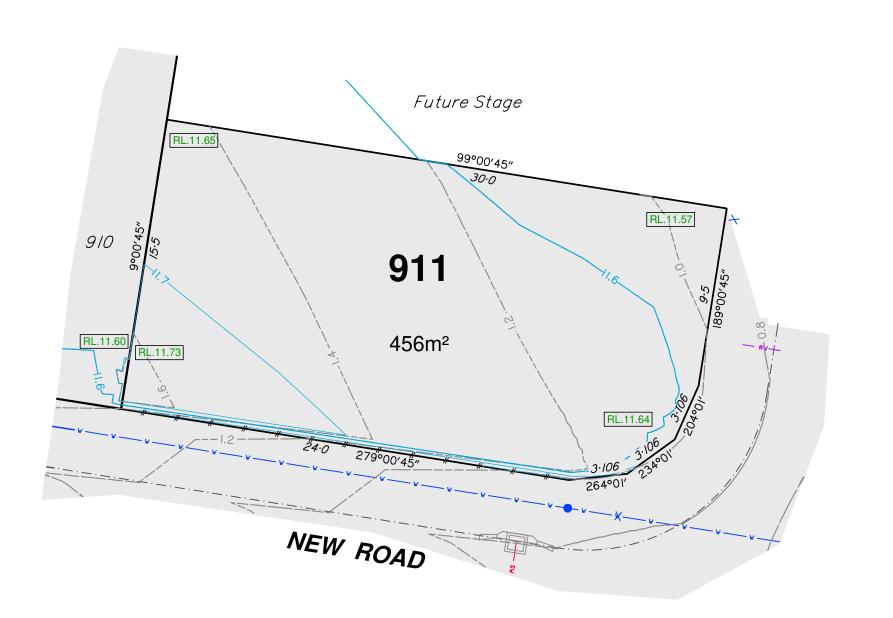


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-910



For Proposed Lot 911 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Locality:

N

Finished Surface Contours (0.1m Interval)

Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

(Installed by Developer)

Proposed Driveway

Zero Lot Line Boundary 1.8m High Timber Fence

Notes:

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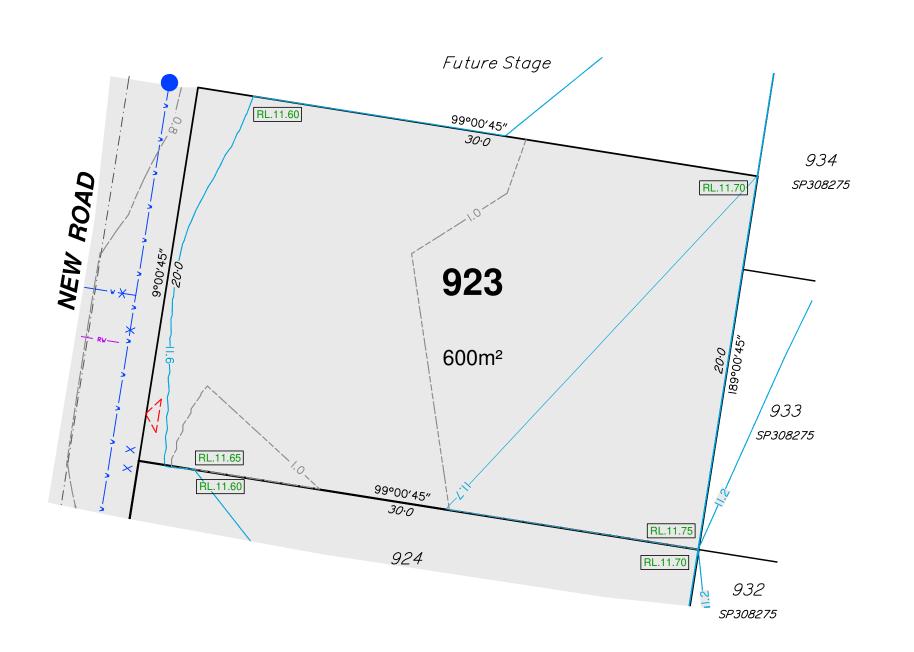


Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 09-03-2020

DRAWING NO. SB3594-19B 01-911 **VERSION**



For Proposed Lot 923 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter Water/Water Fitting

Water Meter Area to be Filled

RL57.32 Design Pad Level

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

Retaining Wall

Notes:

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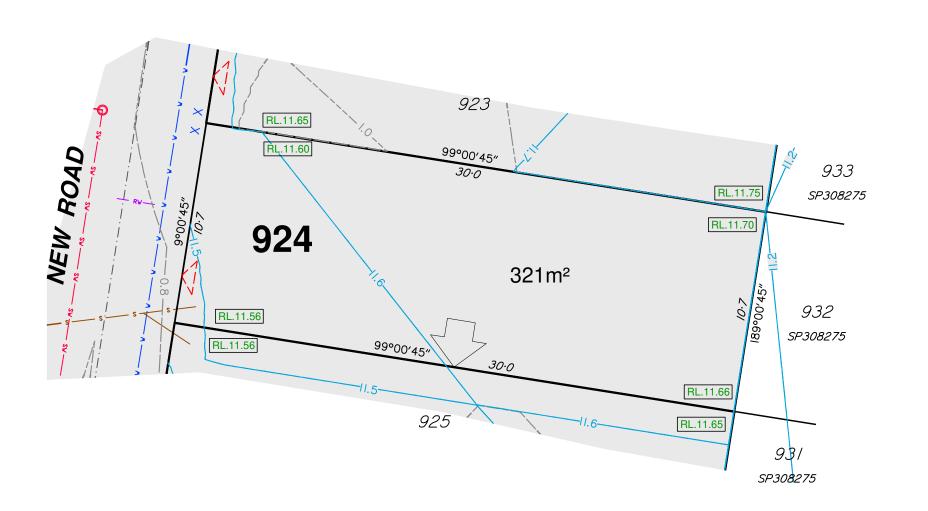
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HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-923

VERSION



For Proposed Lot 924 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

Locality:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

> Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway Zero Lot Line Boundary

> 1.8m High Timber Fence (Installed by Developer)

Notes:

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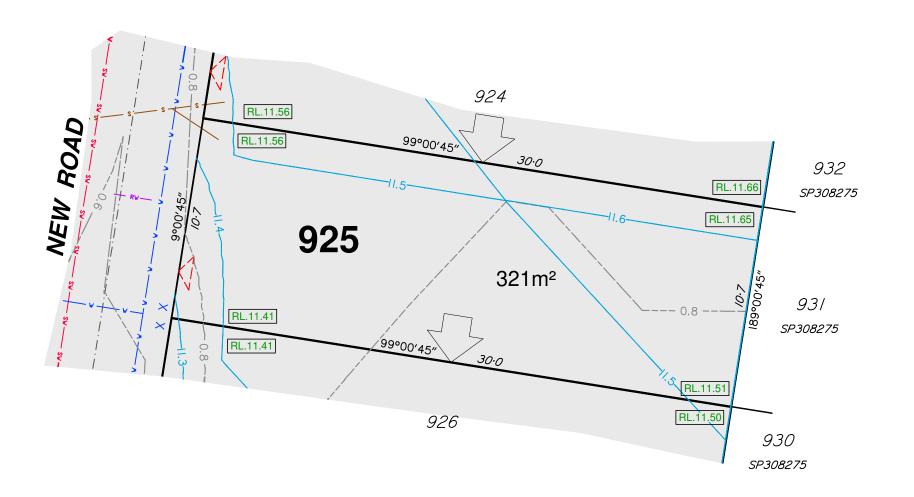


Planning Urban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-924



For Proposed Lot 925 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality:

Caboolture South Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Stormwater Gully Trap Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

RW ARW

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

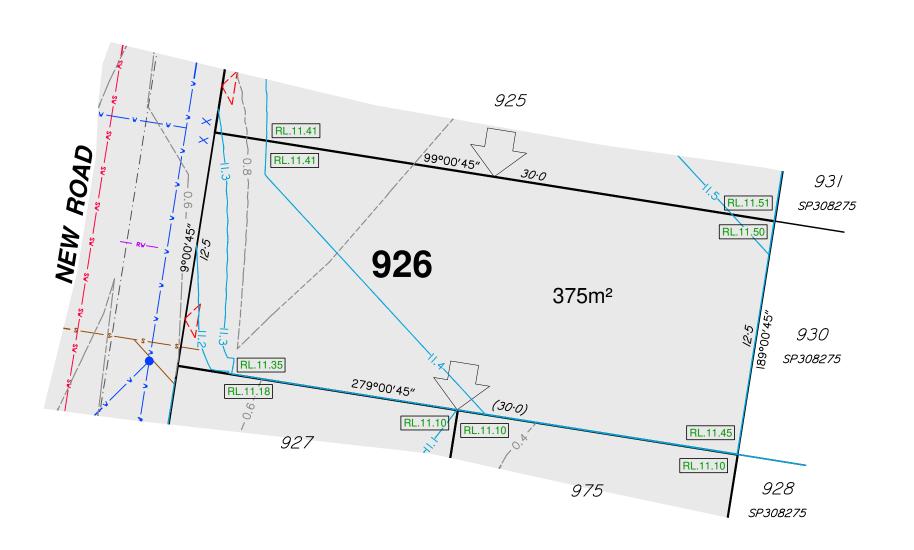




HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN DRAWING NO.

03-03-2020 SB3594-19B 01-925



For Proposed Lot 926 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval)

- Easement Boundary

—— | 0 — — — Depth of Fill Contours (0.2m Interval)

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting Water Meter

Area to be Filled

RL57.32 Design Pad Level

------Retaining Wall

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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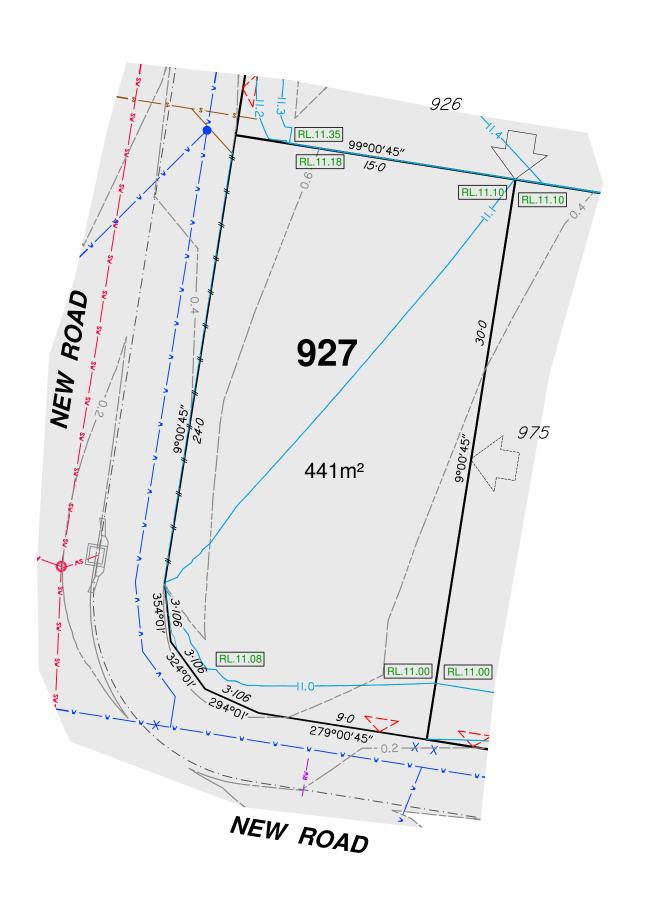


HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-926



For Proposed Lot 927 Riverbank - Stage 19B

Currently Described As

Part of Lot 1017 on SP308276 Locality:

Caboolture South Local Authority: Moreton Bay Regional

Legend:

N

Finished Surface Contours (0.1m Interval) — — | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Stormwater/Stormwater Manhole

Sewer/Sewer Manhole

Stormwater Gully Trap

Roofwater/Kerb Adapter

Water Meter

Area to be Filled

Water/Water Fitting

RL57.32 Design Pad Level

Retaining Wall

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. This plan has been prepared under the current legislation
- for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

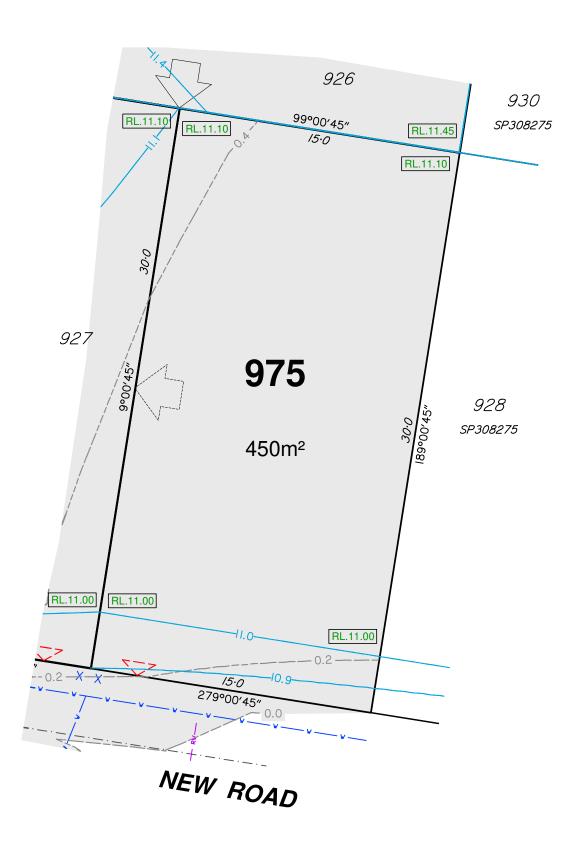
> LEVEL DATUM AHD.

DATE DRAWN 09-03-2020

Scale 1:200

DRAWING NO. SB3594-19B 01-927

@A3



For Proposed Lot 975 Riverbank - Stage 19B

Currently Described As RPD:

Part of Lot 1017 on SP308276 Locality: Caboolture South

Moreton Bay Regional

Legend:

Local Authority:

N

Finished Surface Contours (0.1m Interval) —— | 0 — — — Depth of Fill Contours (0.2m Interval)

- Easement Boundary

Edge of Pad

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Stormwater Gully Trap

Roofwater/Kerb Adapter

Water/Water Fitting

Water Meter

Area to be Filled

RL57.32 Design Pad Level

Retaining Wall

RW ARW

Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)

Proposed Driveway

Zero Lot Line Boundary

1.8m High Timber Fence (Installed by Developer)

Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN 03-03-2020

DRAWING NO. SB3594-19B 01-975