

# DISCLOSURE PLAN

For Proposed Lot 886  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



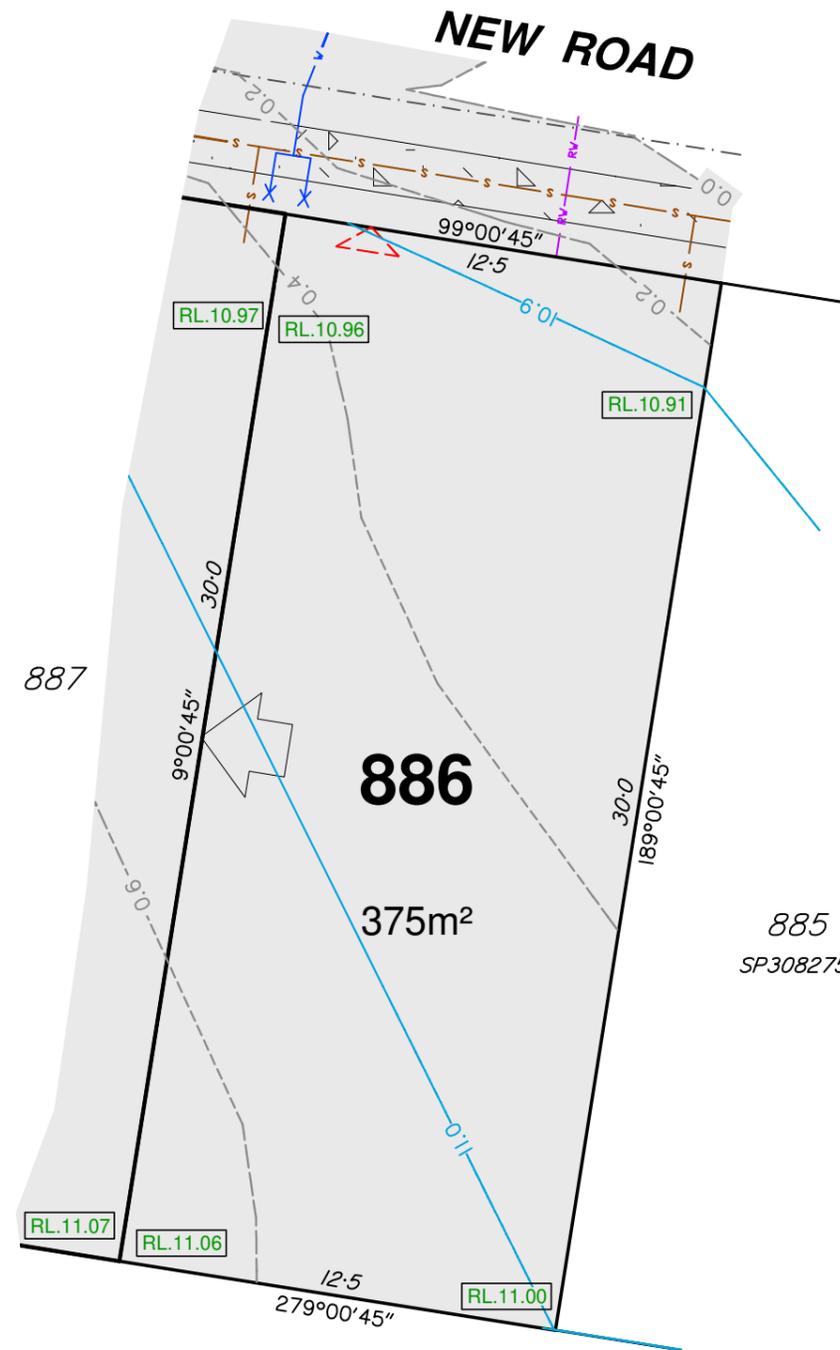
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-886 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 887  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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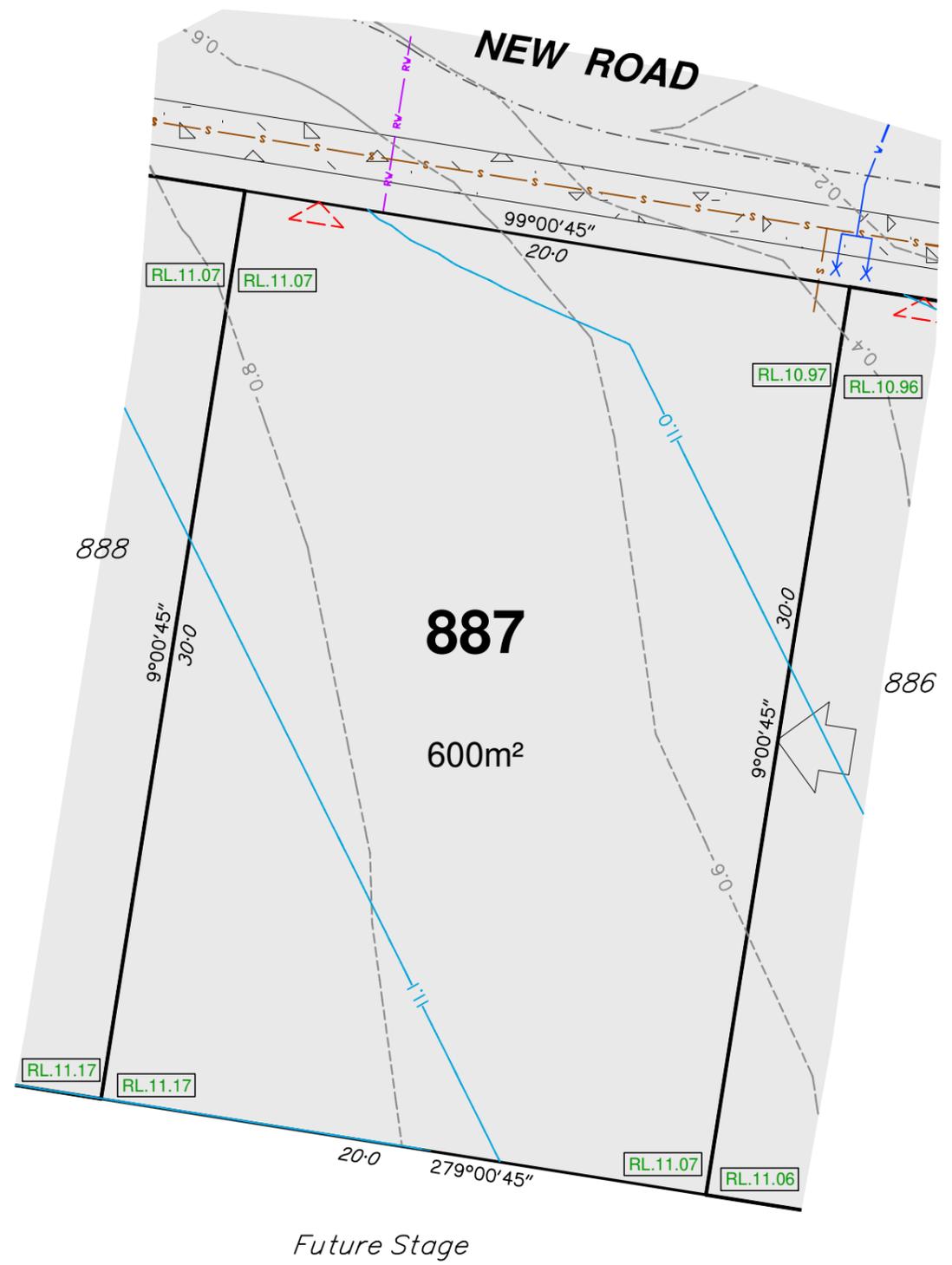
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-887 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 888  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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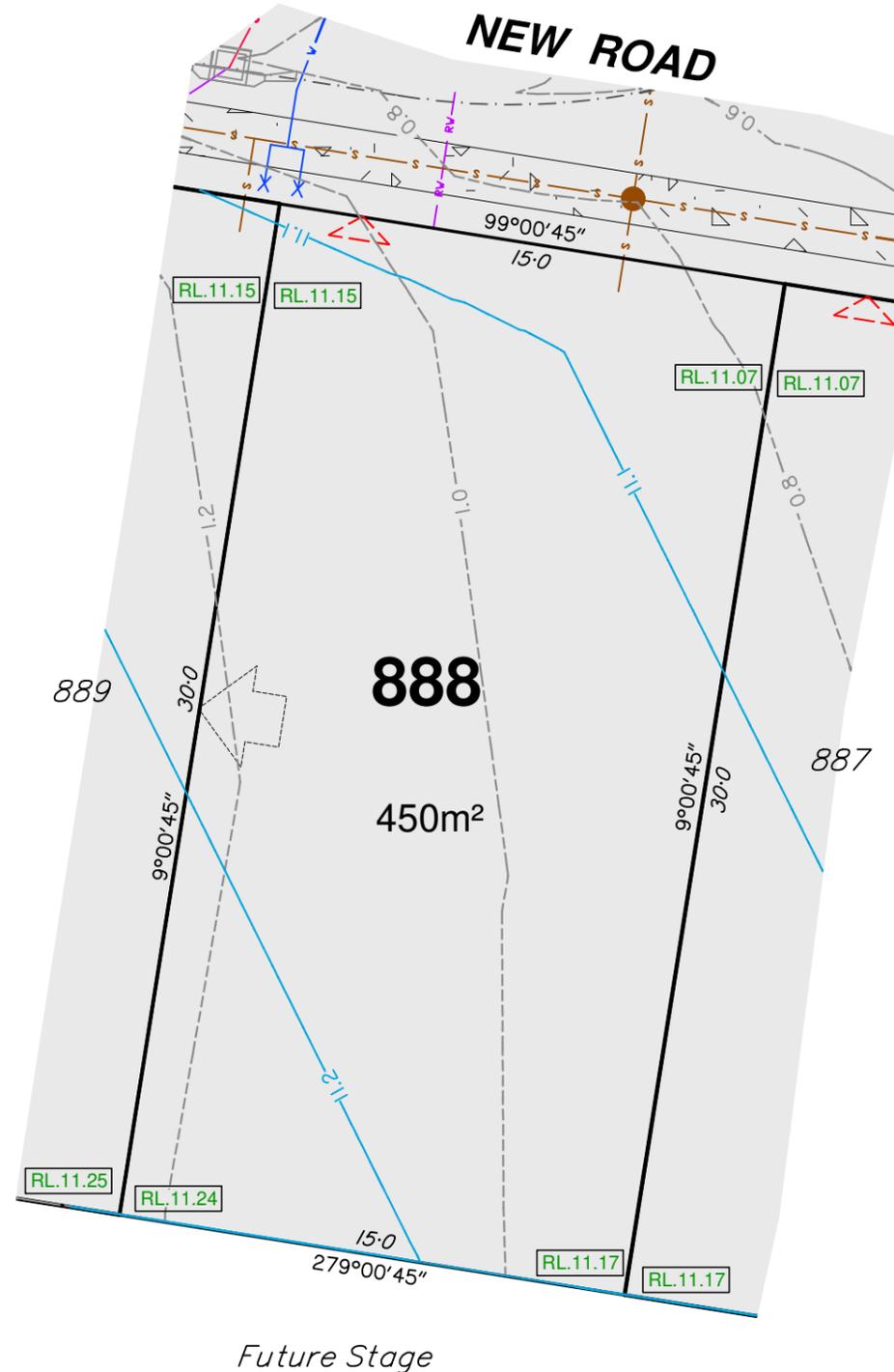
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-888 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 889  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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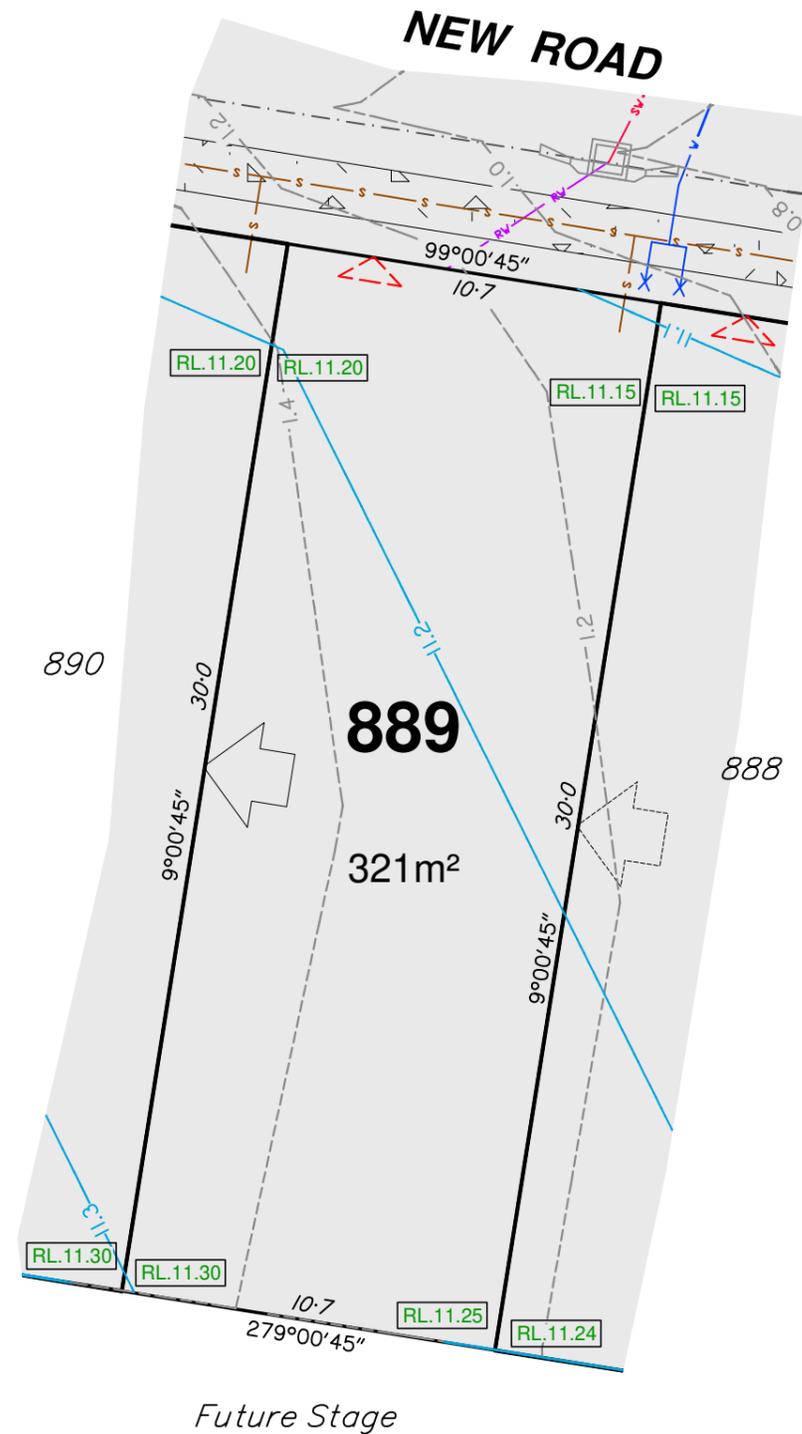
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-889 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 890  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s	Sewer/Sewer Manhole
	sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv	Roofwater/Kerb Adapter
	v	Water/Water Fitting
	X	Water Meter
		Area to be Filled
	RL.57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)

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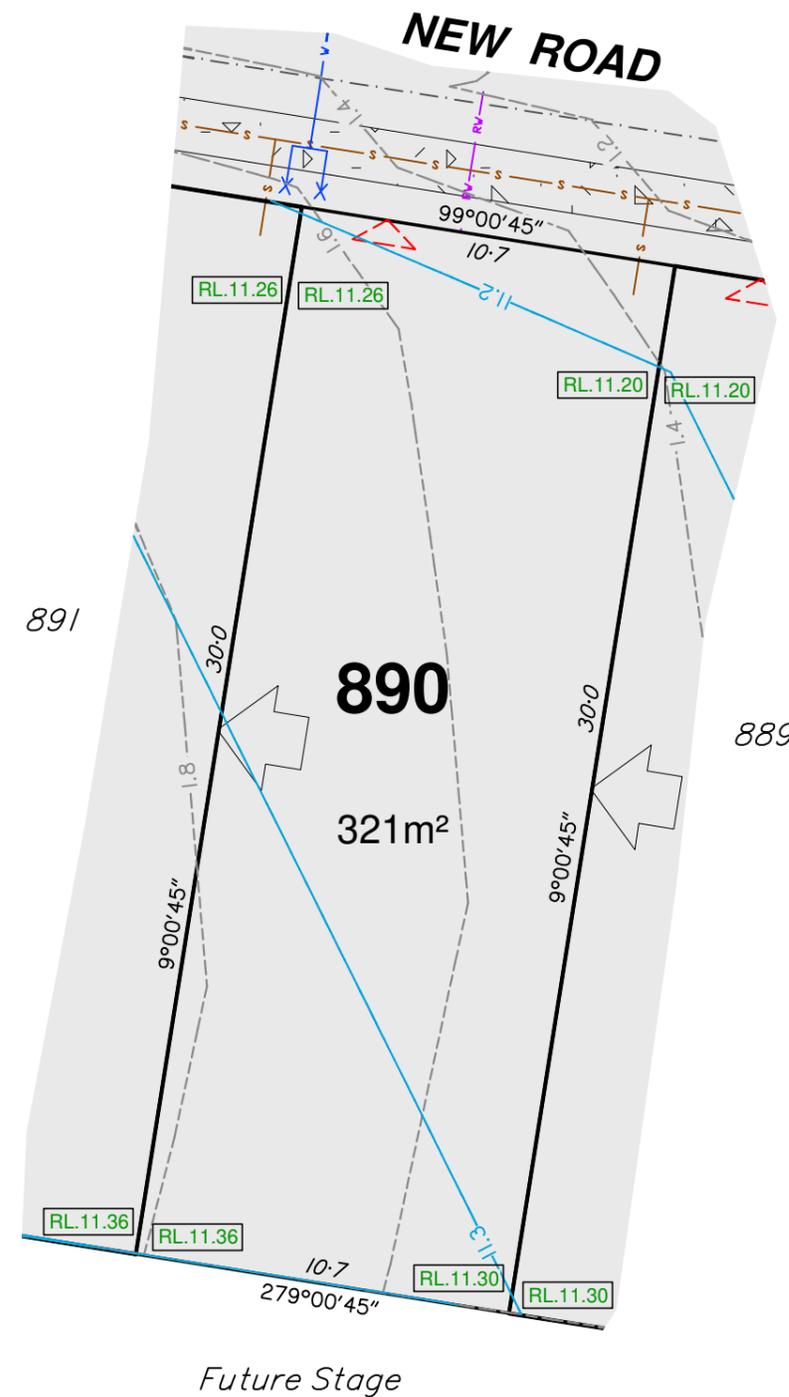
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-890 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 891  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s	Sewer/Sewer Manhole
	sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rw	Roofwater/Kerb Adapter
	v	Water/Water Fitting
	X	Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)

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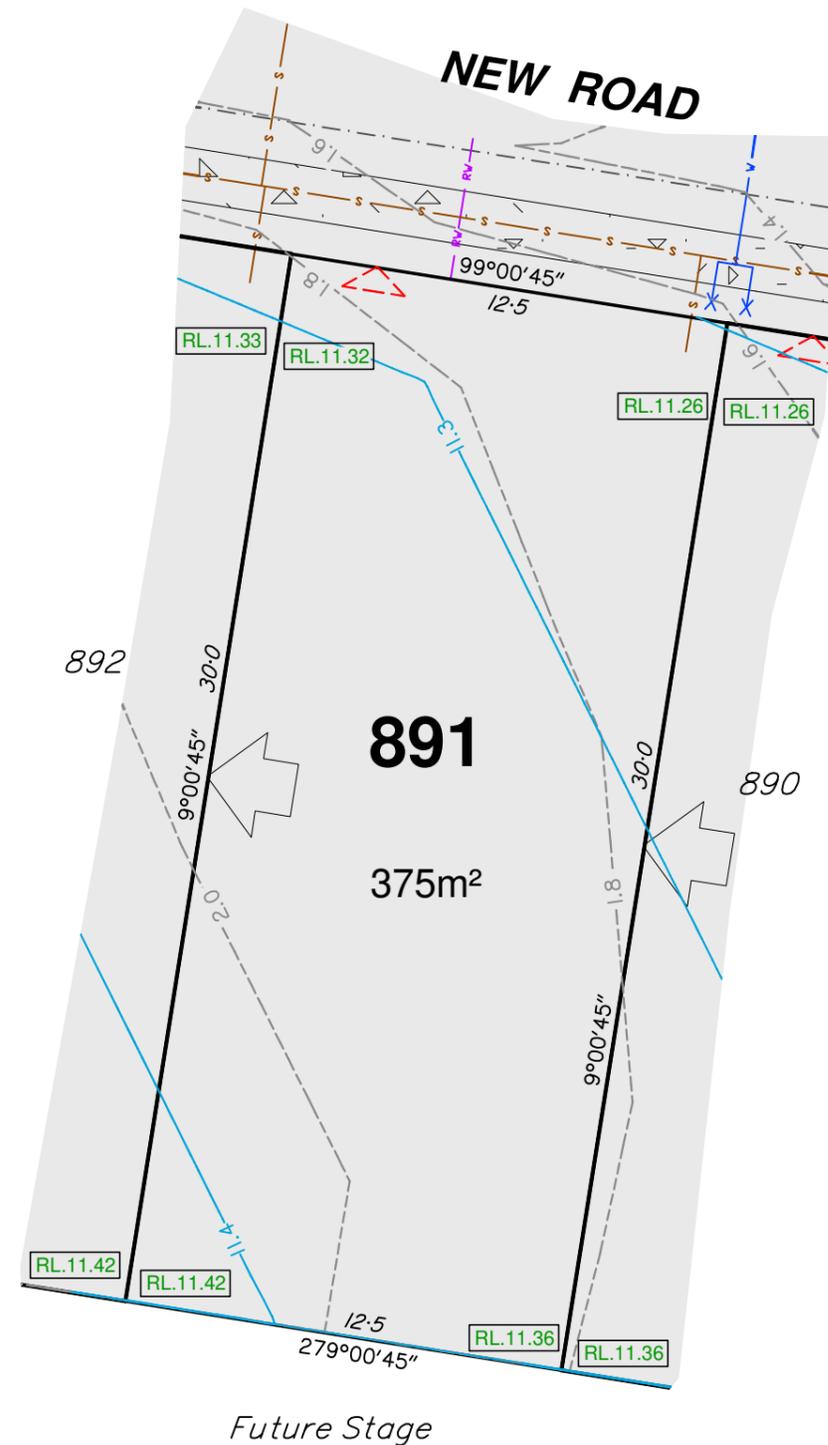
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-891 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 892  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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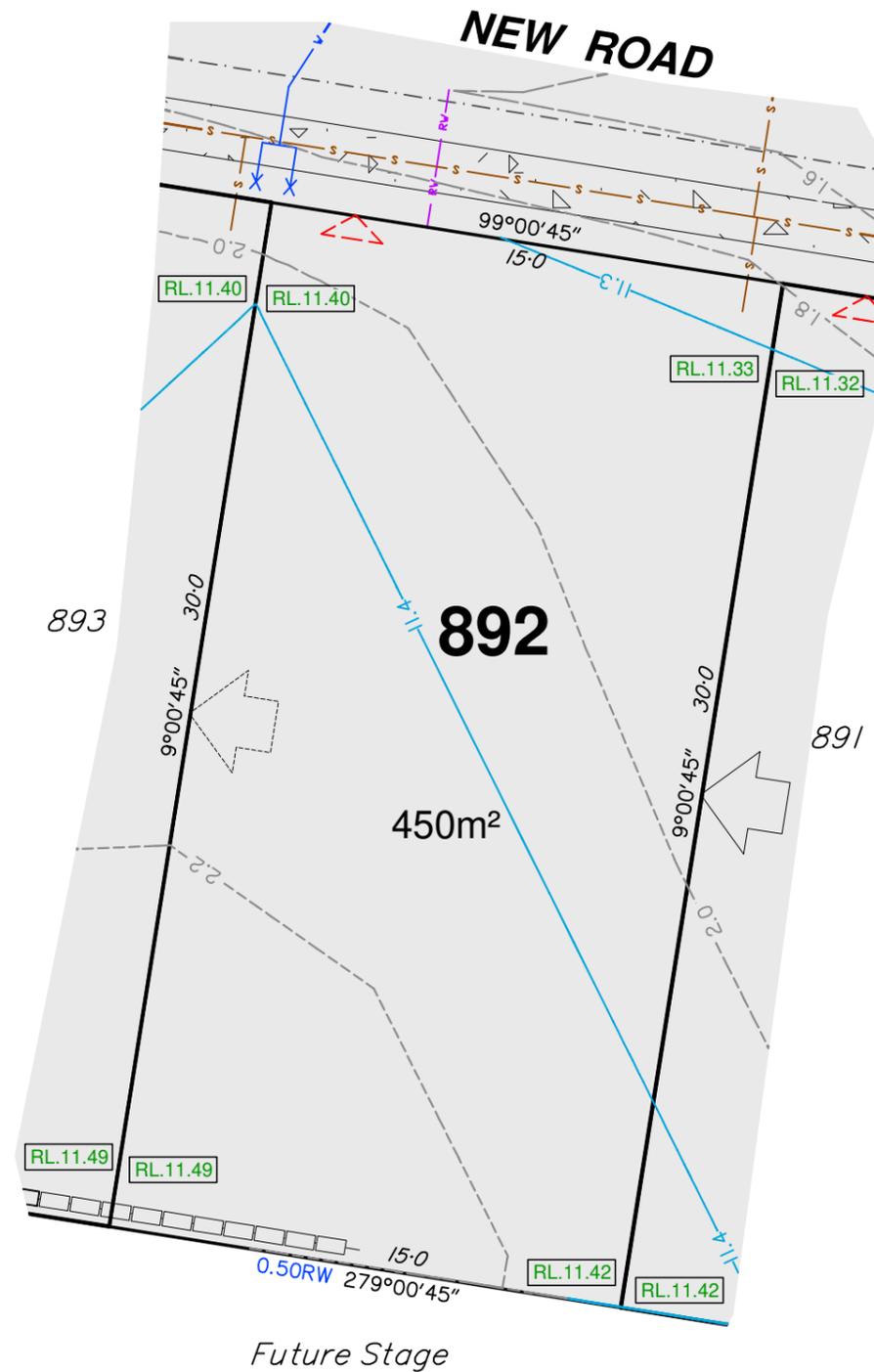
# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-892 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 893  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Kerb Adapter
		Water/Water Fitting
		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
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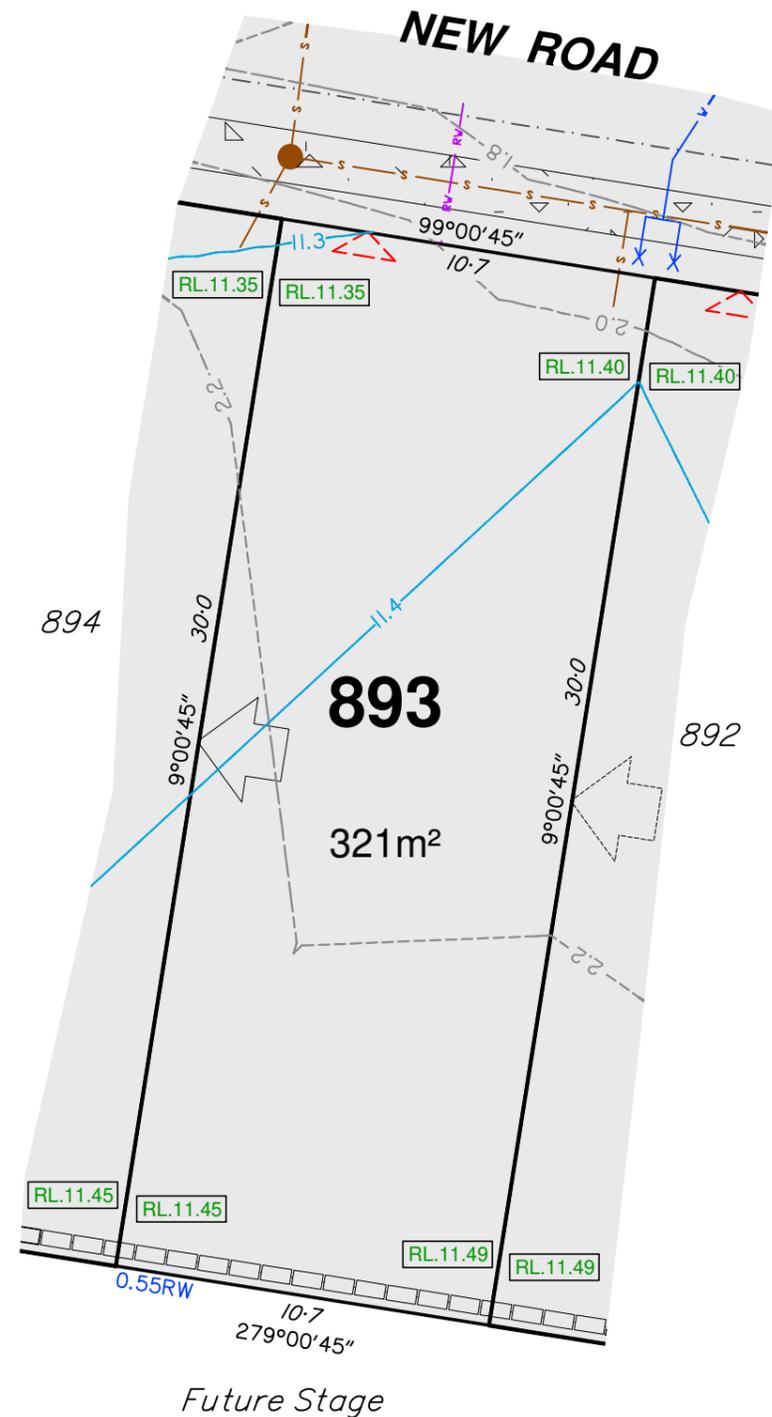
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-893 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 894  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
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		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)

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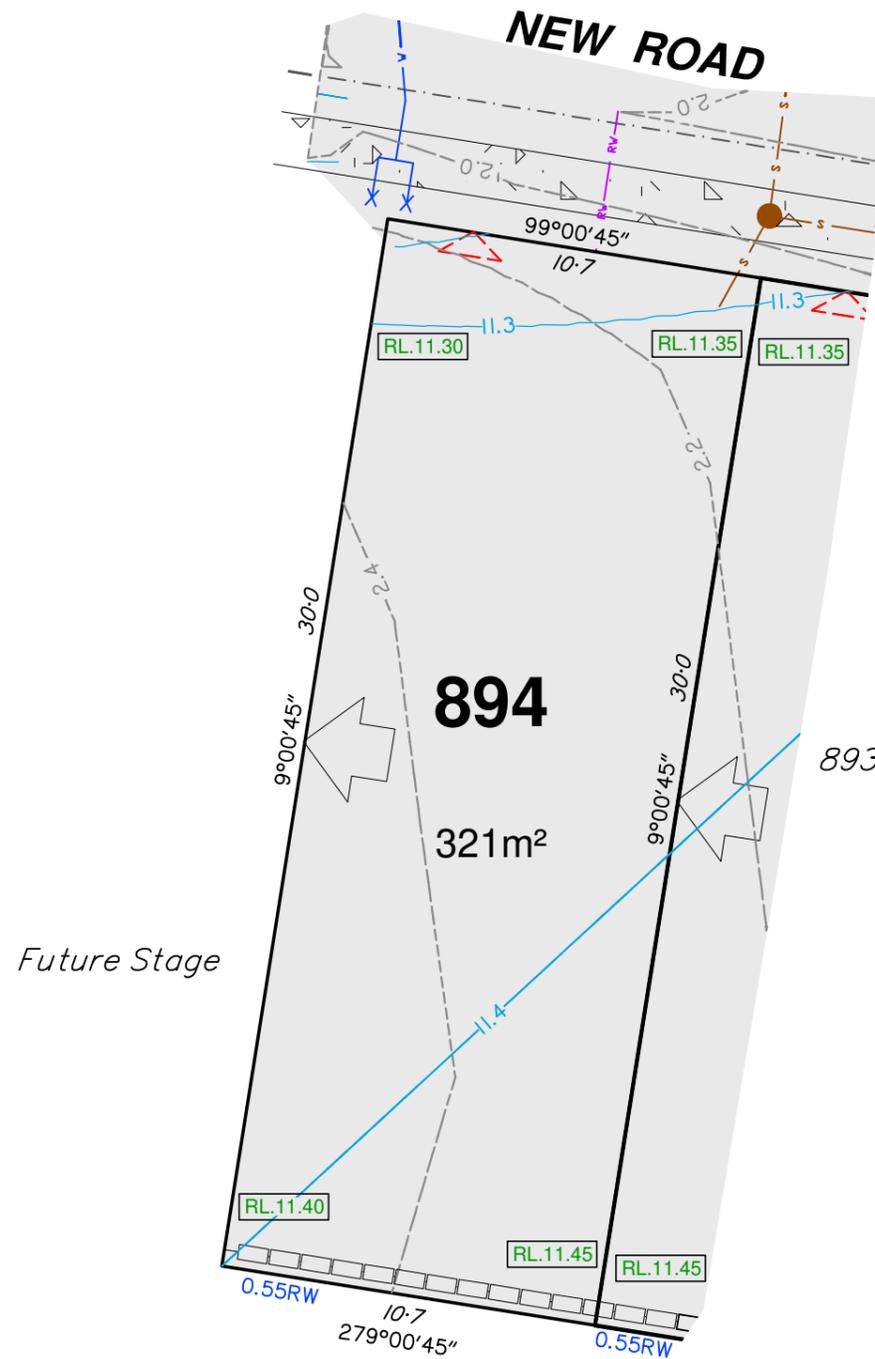
# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-894 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 895  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
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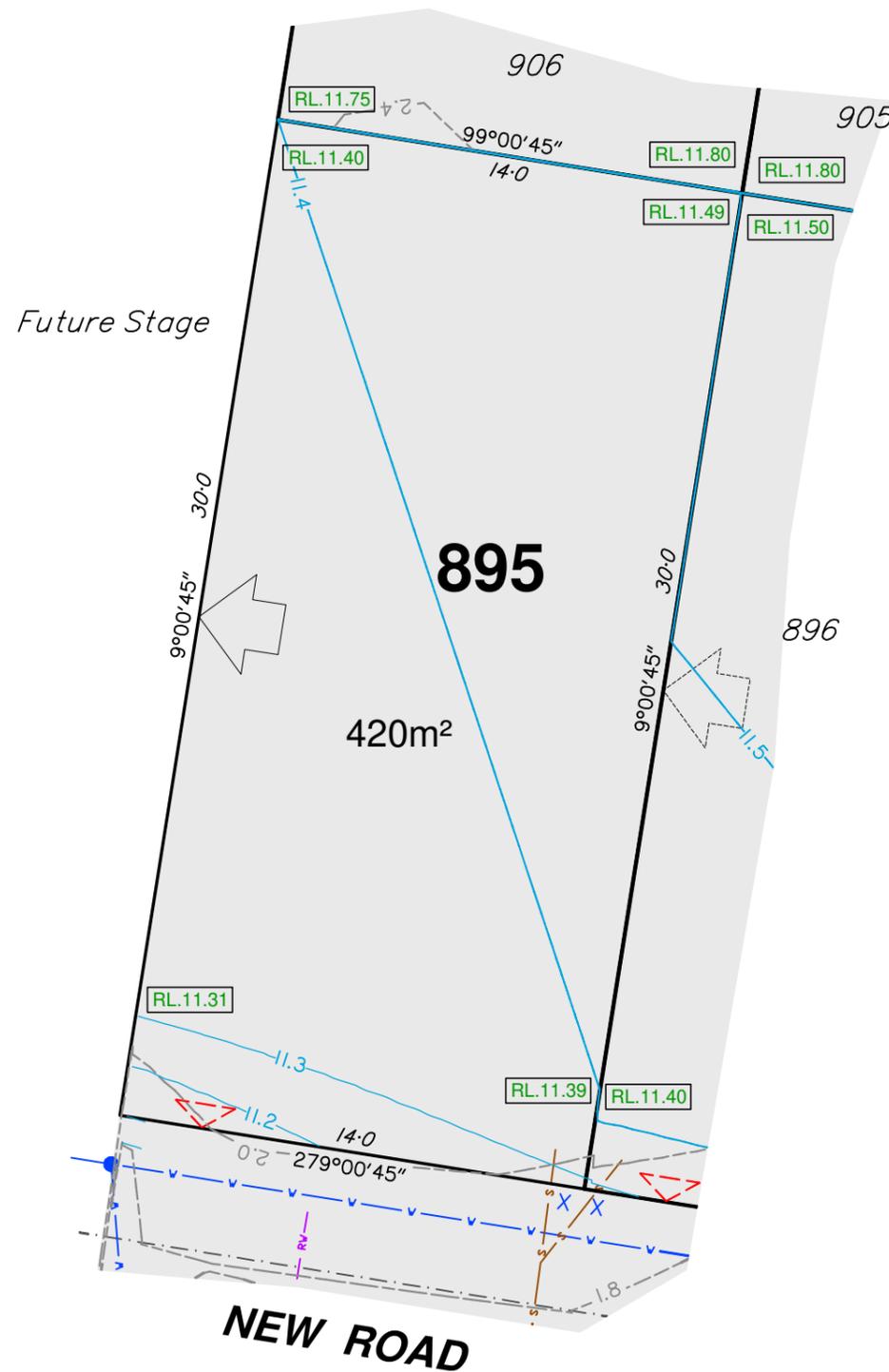
Planning
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HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-895 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 896  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

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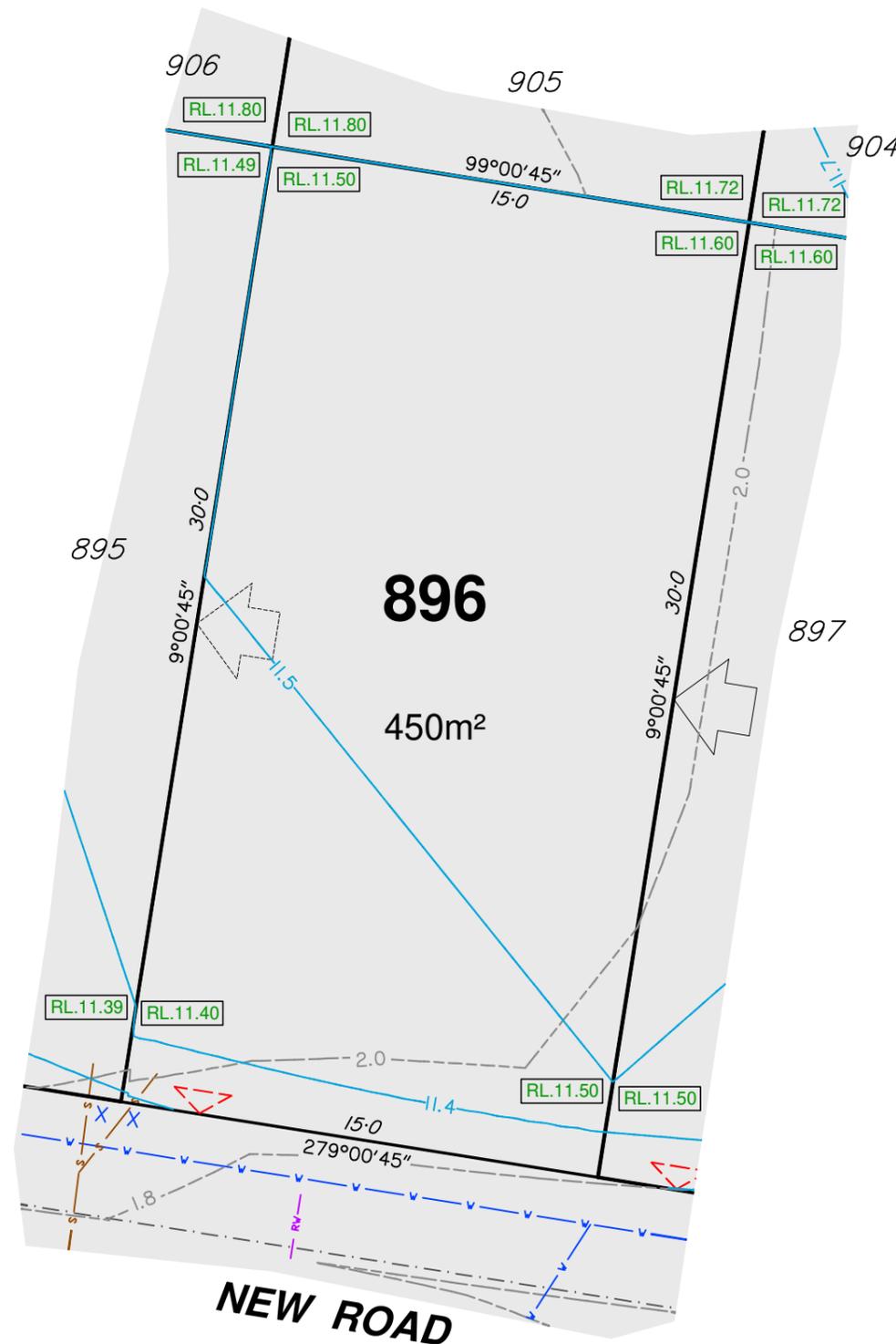


Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN MGA  
LEVEL DATUM AHD.

Scale 1:200 @A3

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-896 VERSION B



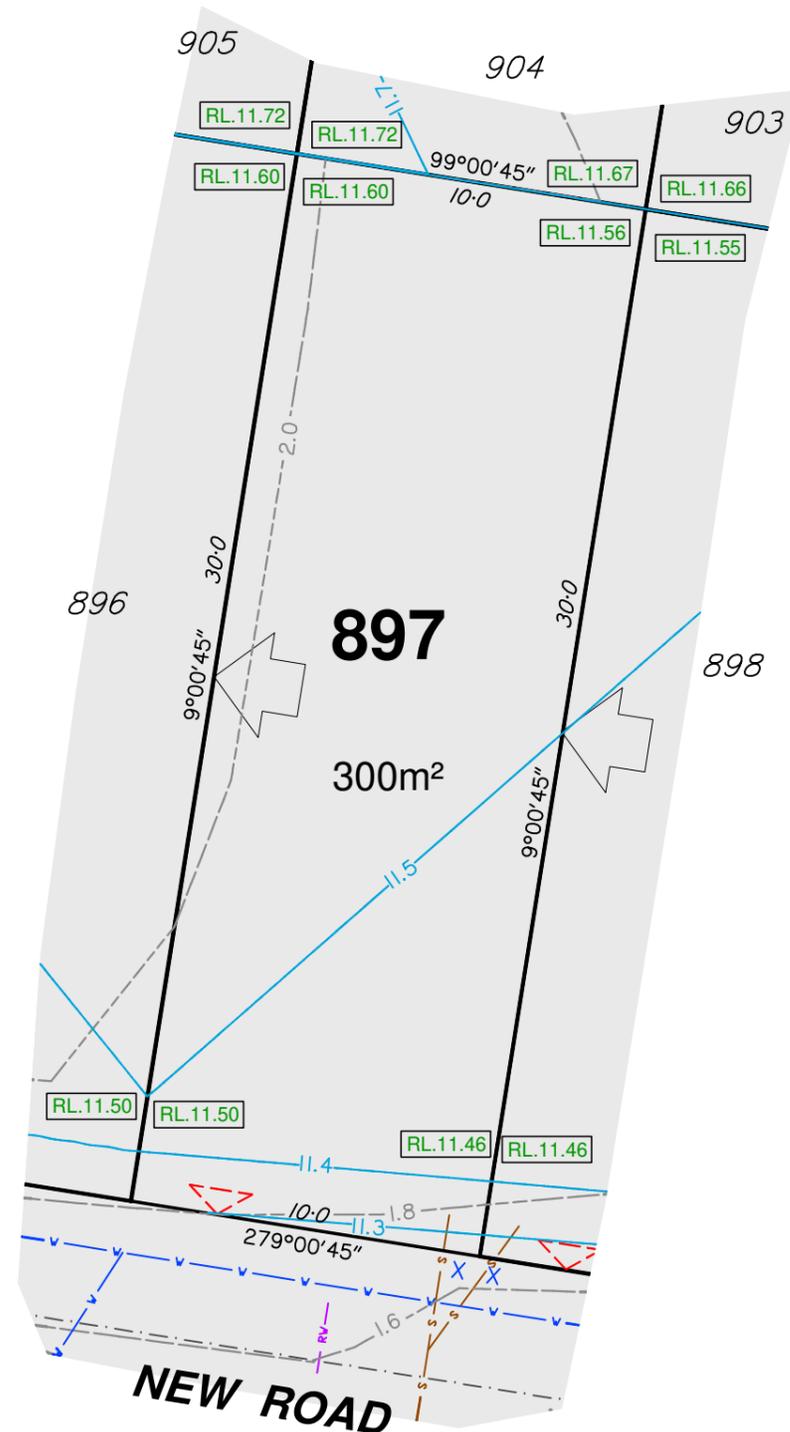
# DISCLOSURE PLAN

For Proposed Lot 897  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



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Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-897 VERSION B

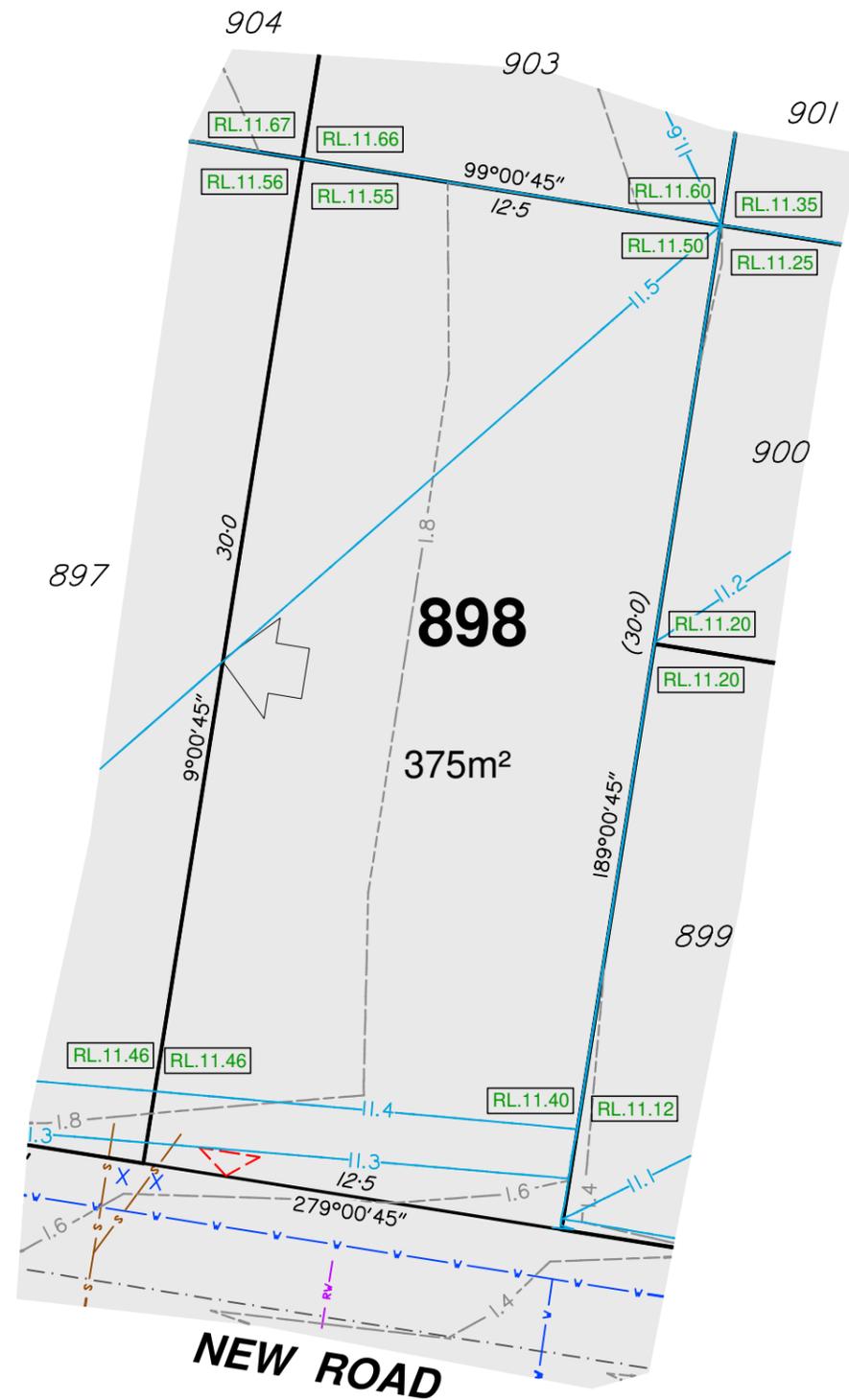
# DISCLOSURE PLAN

For Proposed Lot 898  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s	Sewer/Sewer Manhole
	sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	rv	Roofwater/Kerb Adapter
	v	Water/Water Fitting
	X	Water Meter
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-898 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 899  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RW — RW — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL57.32 Design Pad Level
  -  Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary
  - // // 1.8m High Timber Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

Scale 1:200 @A3

DATE DRAWN 09-03-2020      DRAWING NO. SB3594-19B\_01-899      VERSION C



# DISCLOSURE PLAN

For Proposed Lot 900  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Kerb Adapter
		Water/Water Fitting
		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-900 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 901  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- - - - - Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- RV — RV — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL.57.32 Design Pad Level
-  Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
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6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

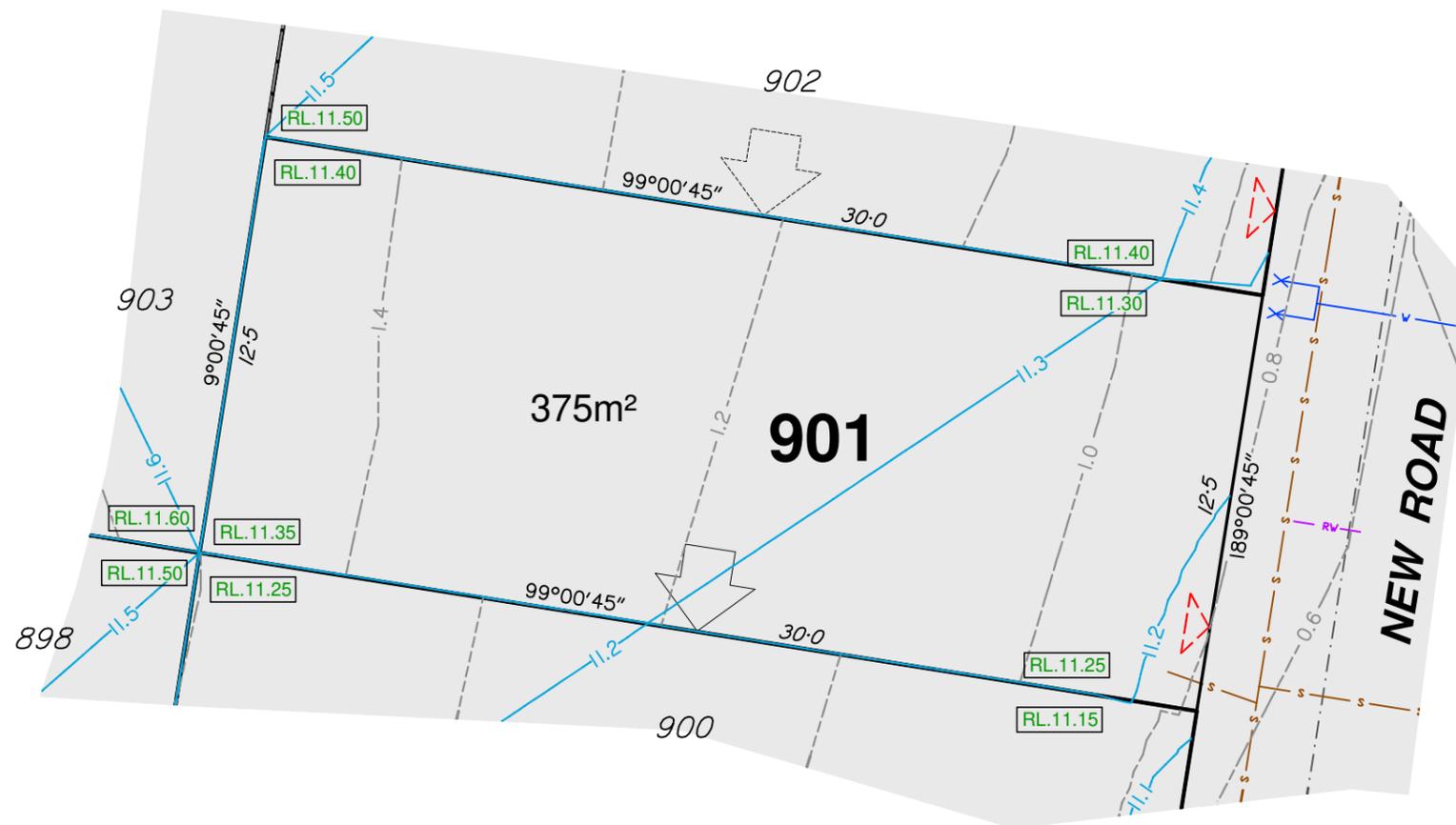


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020      DRAWING NO. SB3594-19B\_01-901      VERSION B



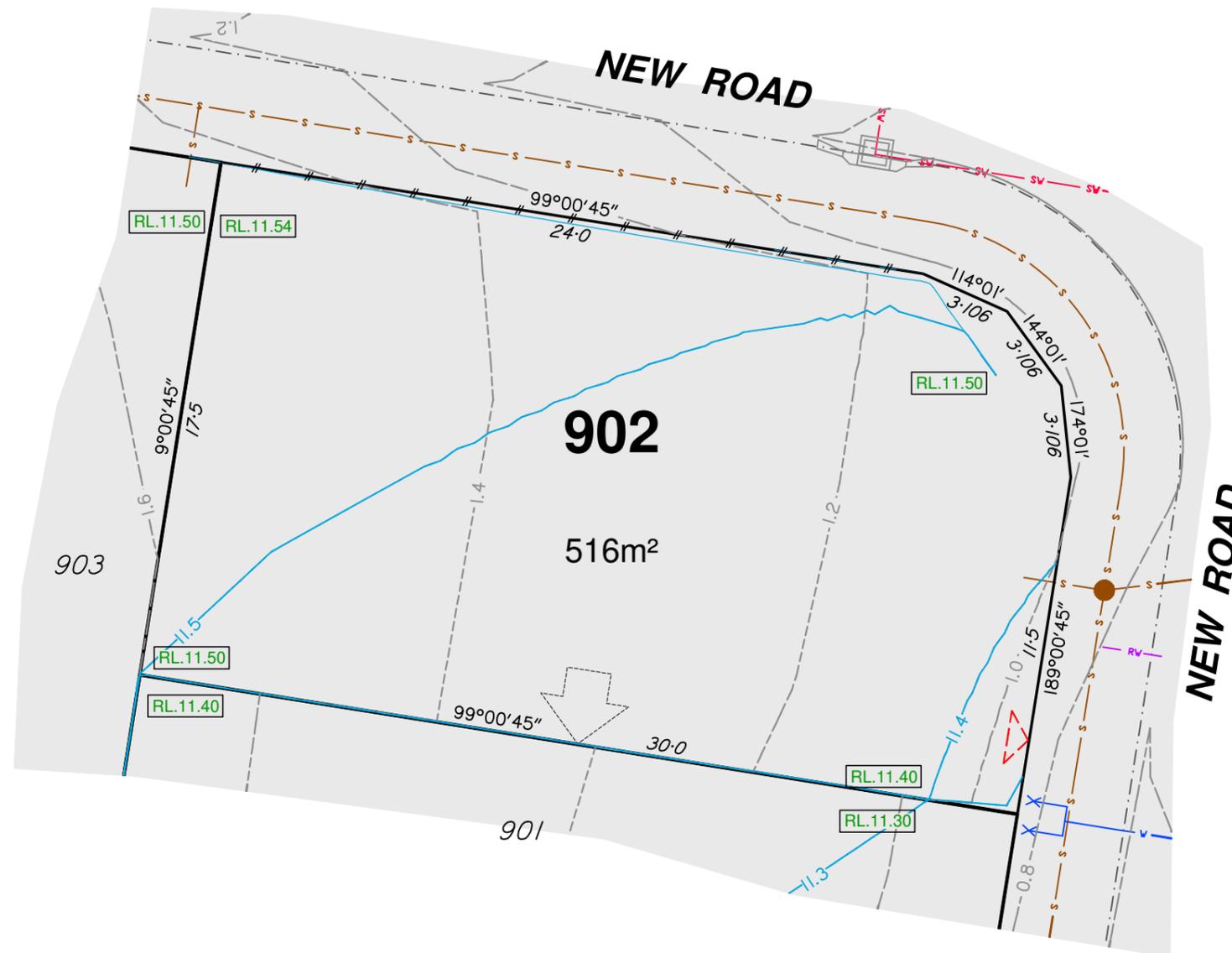
# DISCLOSURE PLAN

For Proposed Lot 902  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
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  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA  
LEVEL DATUM AHD.  
Scale 1:200 @A3

DATE DRAWN 09-03-2020 DRAWING NO. SB3594-19B\_01-902 VERSION C

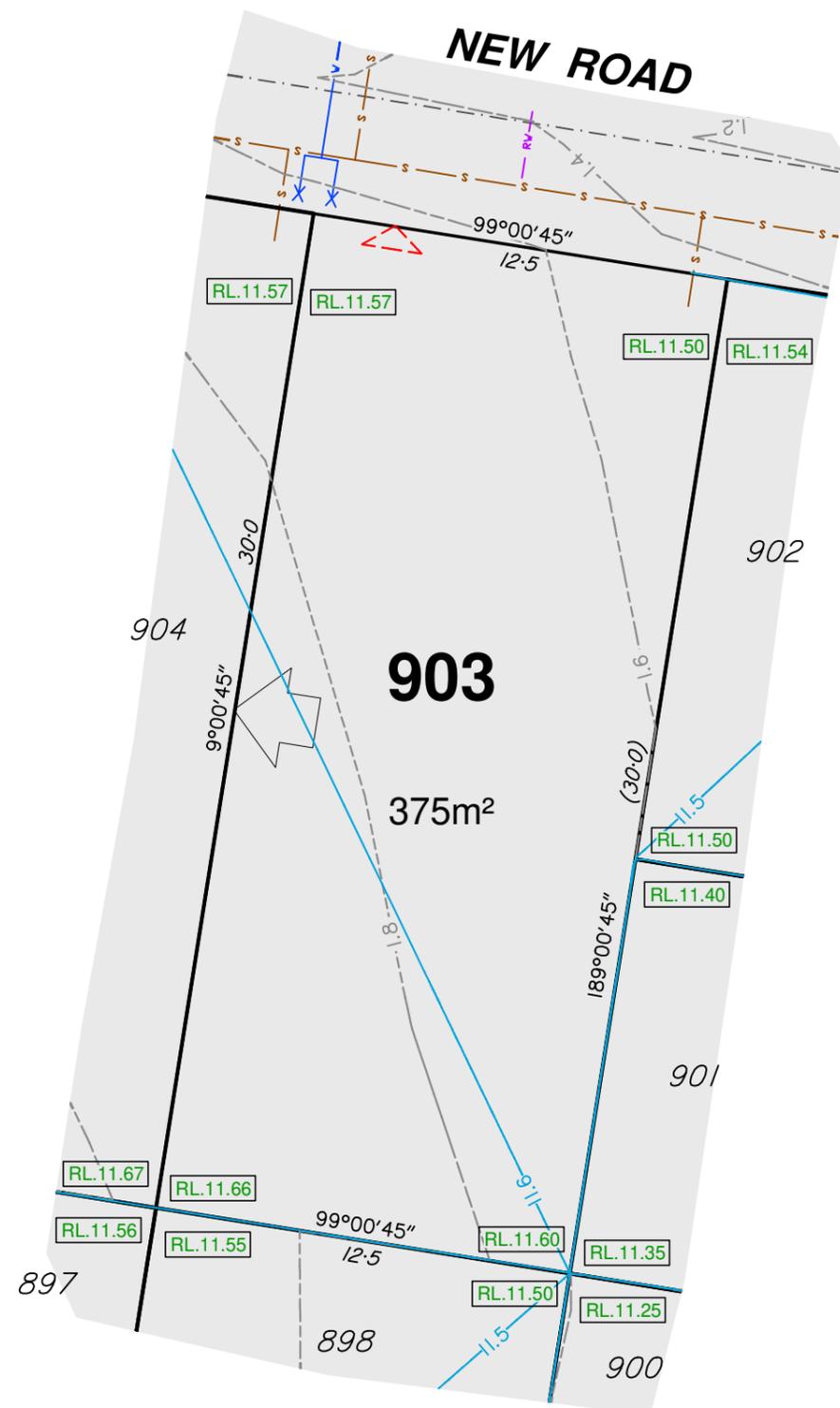
# DISCLOSURE PLAN

For Proposed Lot 903  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
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# RIVERBANK



Planning
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HORIZONTAL MERIDIAN MGA  
 Scale 1:200 @A3  
 LEVEL DATUM AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-903 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 904  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
 RPD: Caboolture South  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
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# RIVERBANK



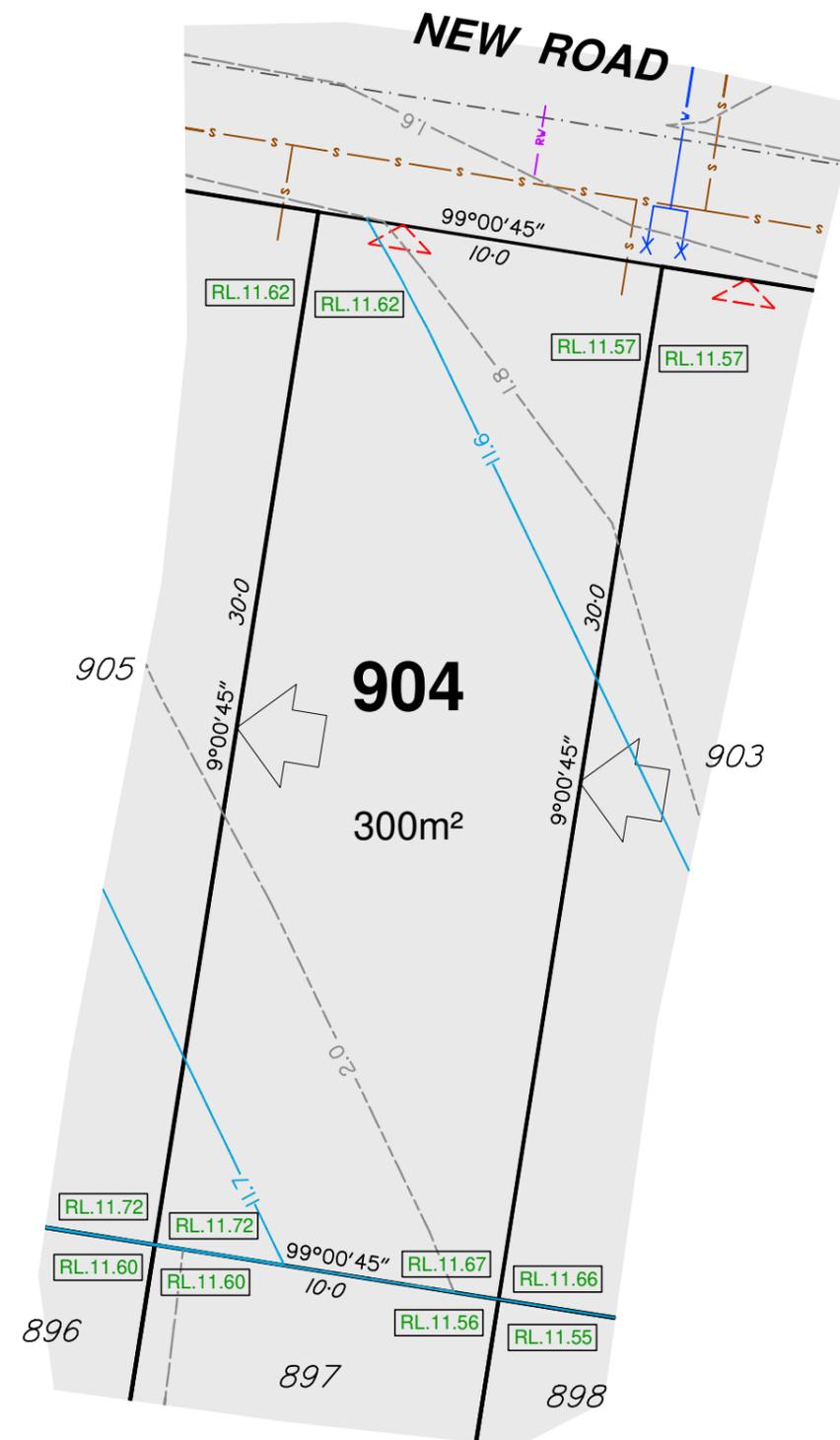
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-904 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 905  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Kerb Adapter
		Water/Water Fitting
		Water Meter
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
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# RIVERBANK



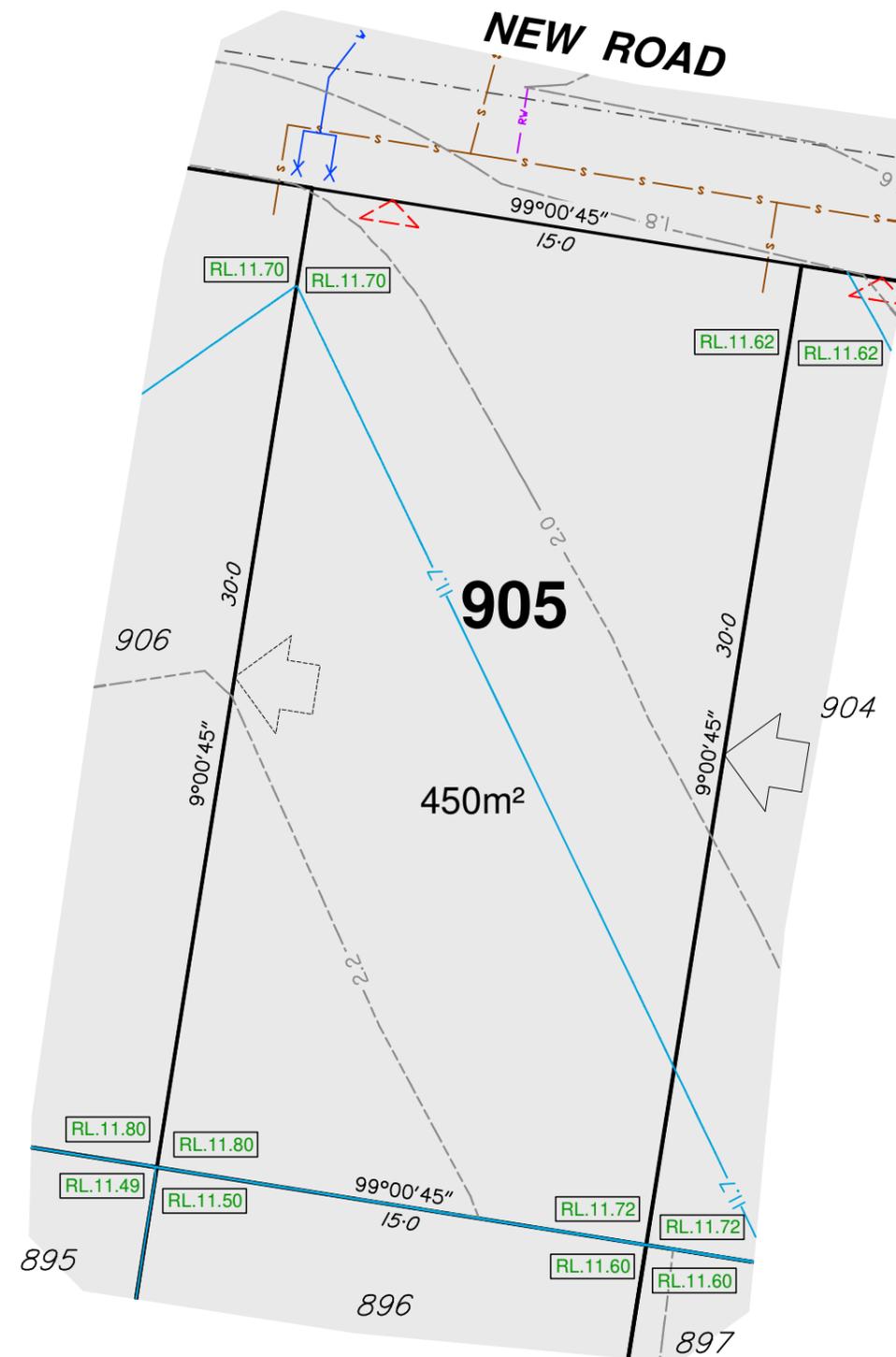
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-905 VERSION B



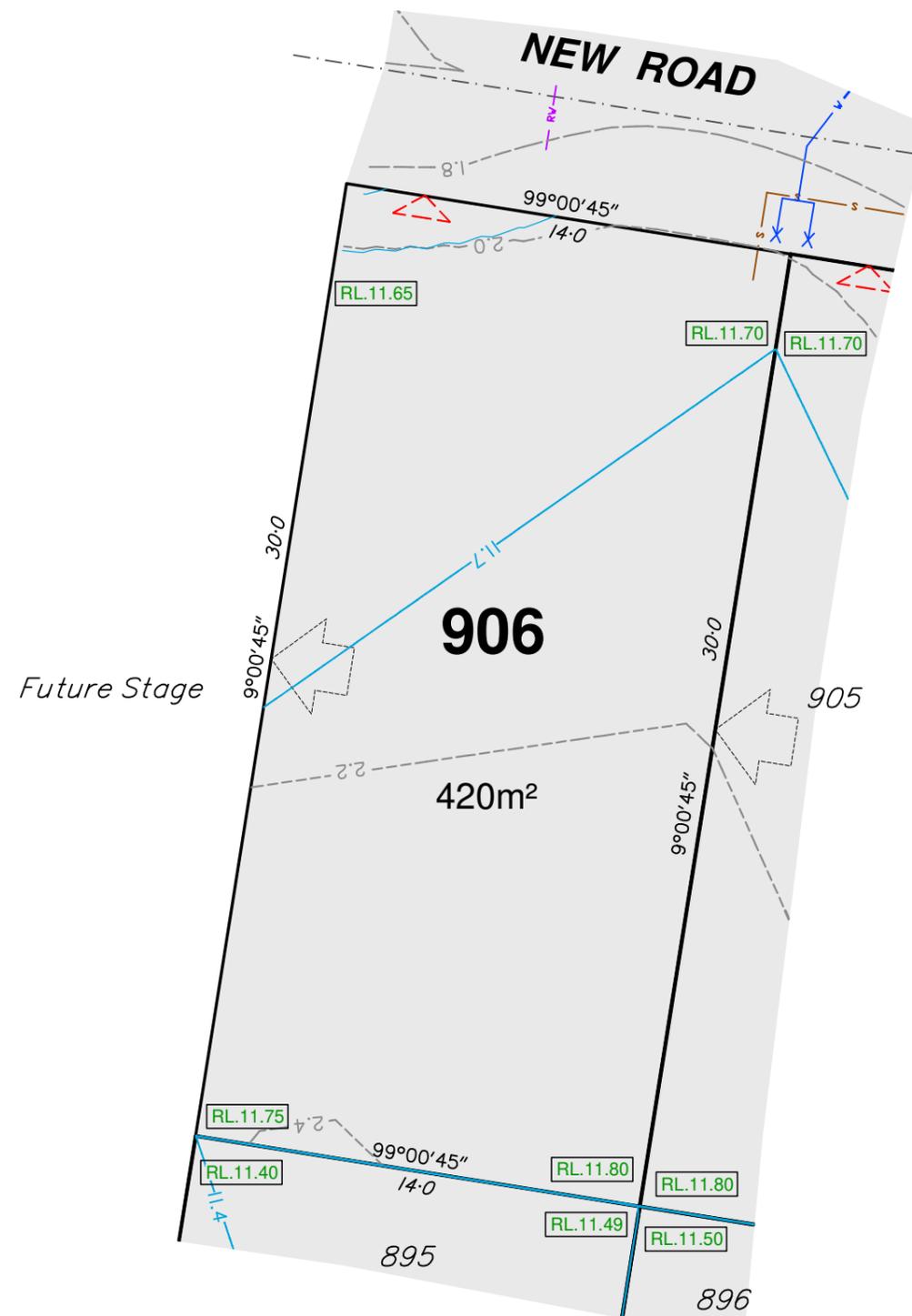
# DISCLOSURE PLAN

For Proposed Lot 906  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN MGA  
LEVEL DATUM AHD.  
Scale 1:200 @A3

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-906 VERSION B

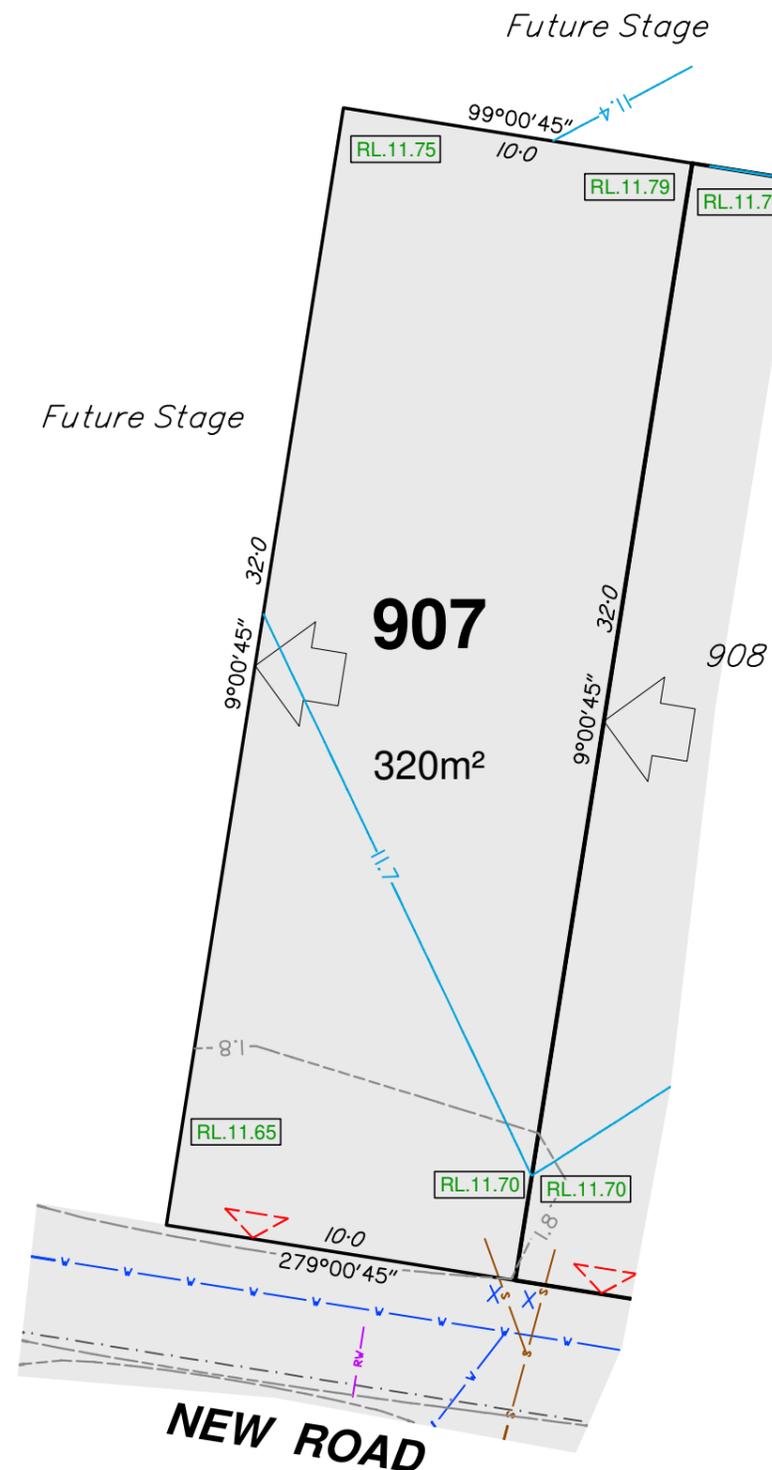
# DISCLOSURE PLAN

For Proposed Lot 907  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s	Sewer/Sewer Manhole
	sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	RW	Roofwater/Kerb Adapter
	v	Water/Water Fitting
	X	Water Meter
		Area to be Filled
	RL.57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)



- Notes:**
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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

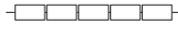
DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-907 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 908  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- - - - - Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- RW — RW — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
-  Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
underside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Fence  
(Installed by Developer)

### Notes:

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# RIVERBANK



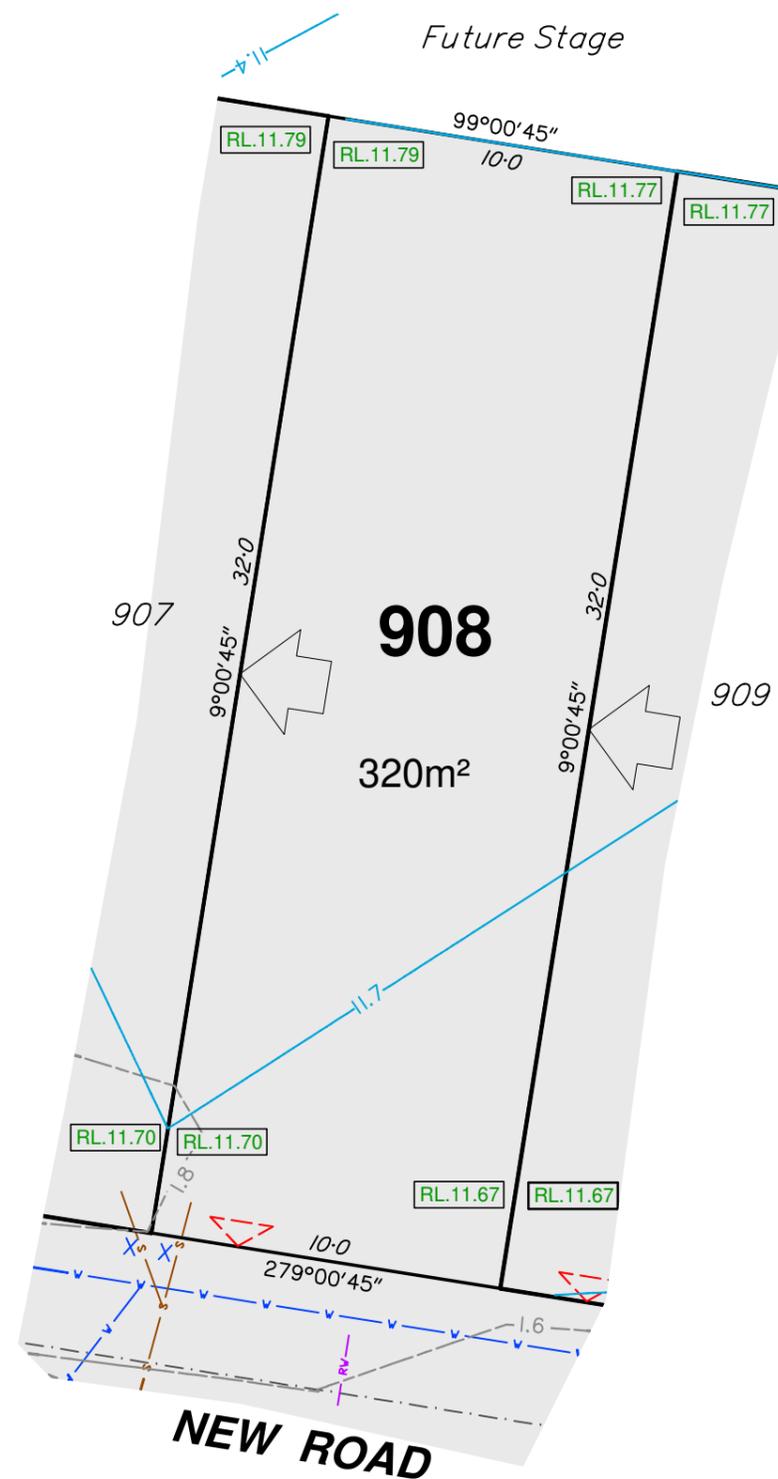
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020      DRAWING NO. SB3594-19B\_01-908      VERSION B

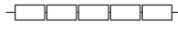


# DISCLOSURE PLAN

For Proposed Lot 909  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- - - - - Edge of Pad
- s — s Sewer/Sewer Manhole
- sv — sv Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- RV — RV Roofwater/Kerb Adapter
- v — v Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL57.32 Design Pad Level
-  Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Fence  
(Installed by Developer)

### Notes:

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# RIVERBANK



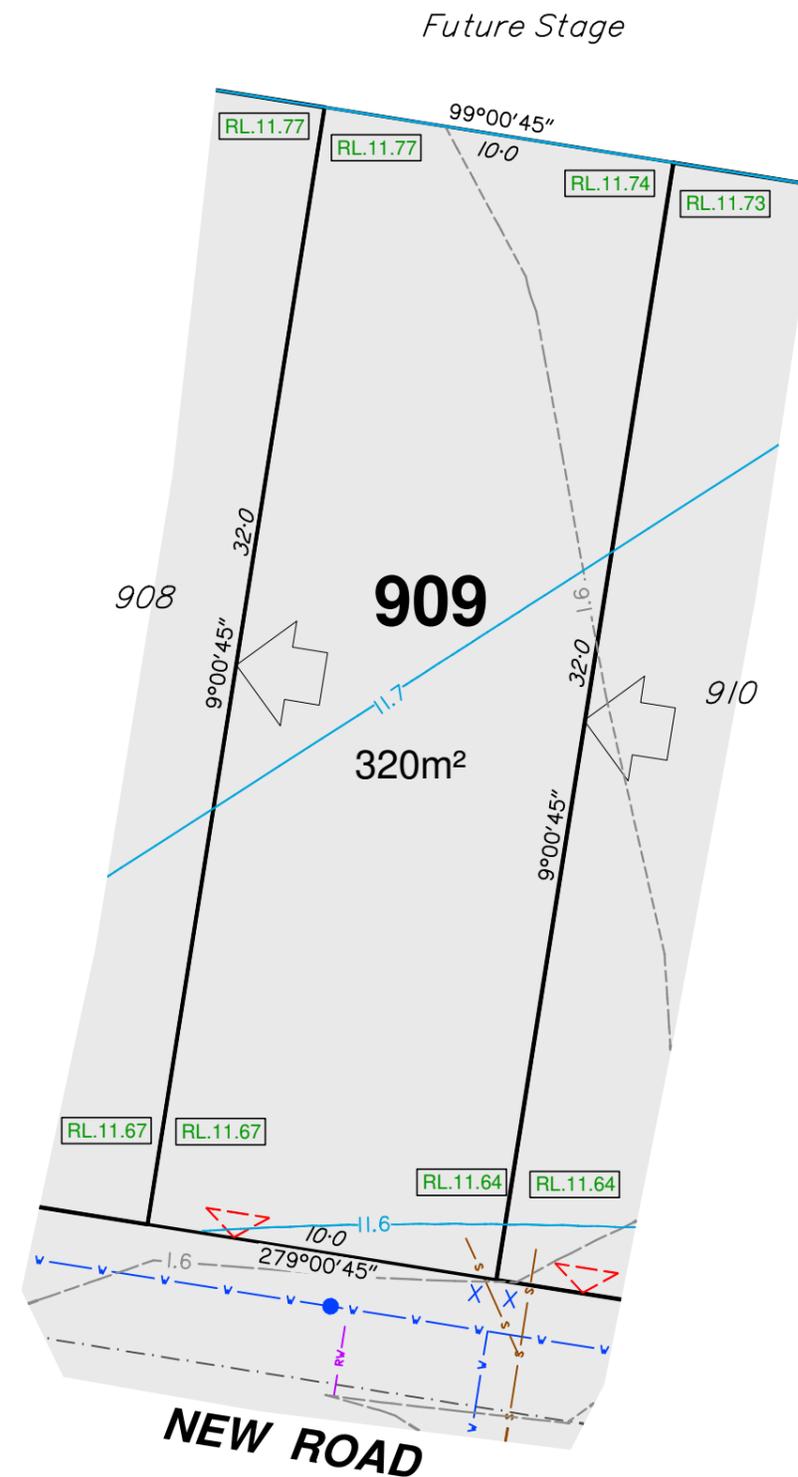
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

  
 Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020      DRAWING NO. SB3594-19B\_01-909      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 910  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
 RPD: Caboolture South  
 Locality: Caboolture South  
 Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the underside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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  - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

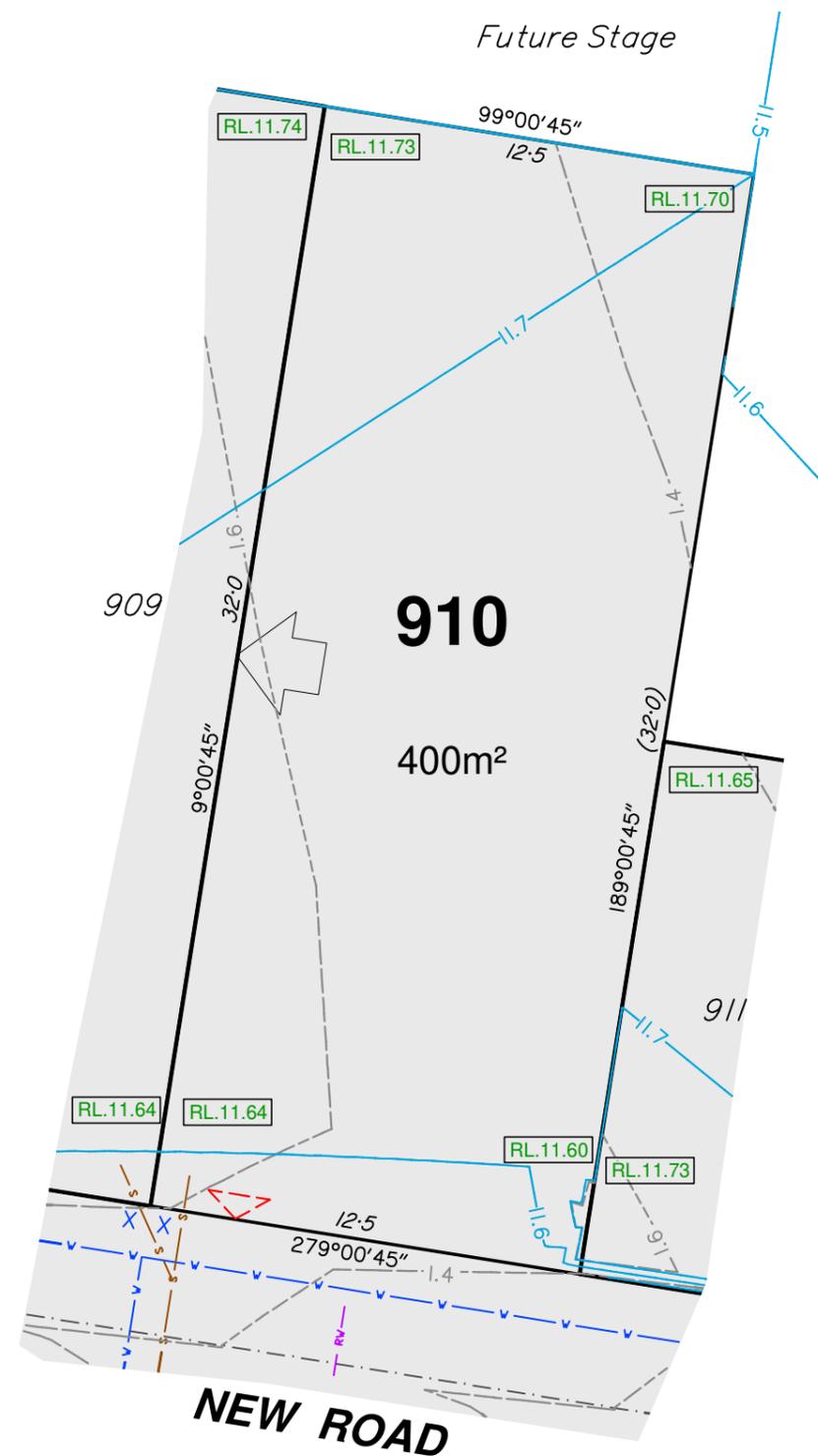
# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
 Scale 1:200 @A3  
 LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-910 VERSION B



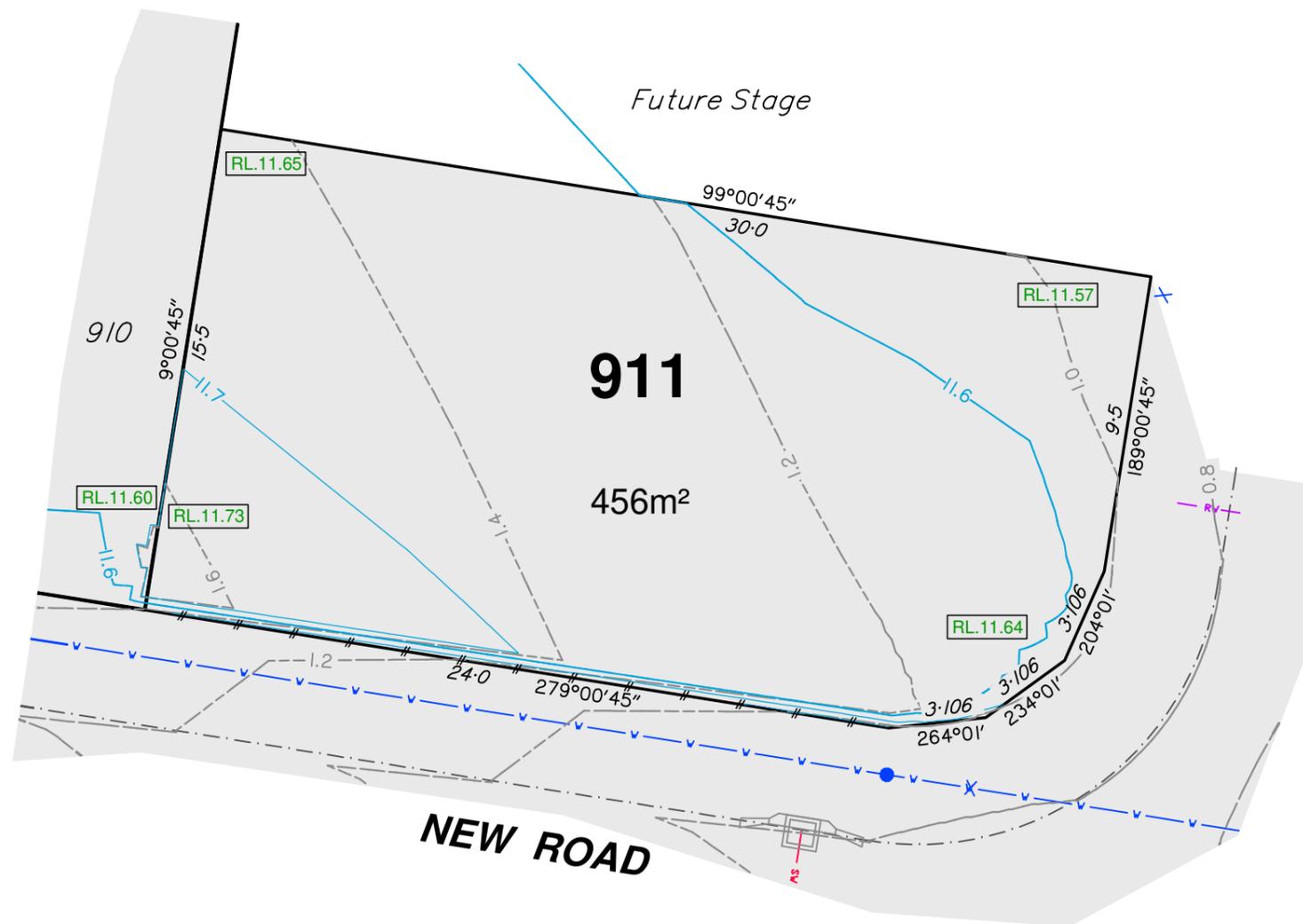
# DISCLOSURE PLAN

For Proposed Lot 911  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	s	Sewer/Sewer Manhole
	sv	Stormwater/Stormwater Manhole
		Stormwater Gully Trap
	RW	Roofwater/Kerb Adapter
	v	Water/Water Fitting
		Water Meter
		Area to be Filled
	RL.57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
  - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 09-03-2020 DRAWING NO. SB3594-19B\_01-911 VERSION C

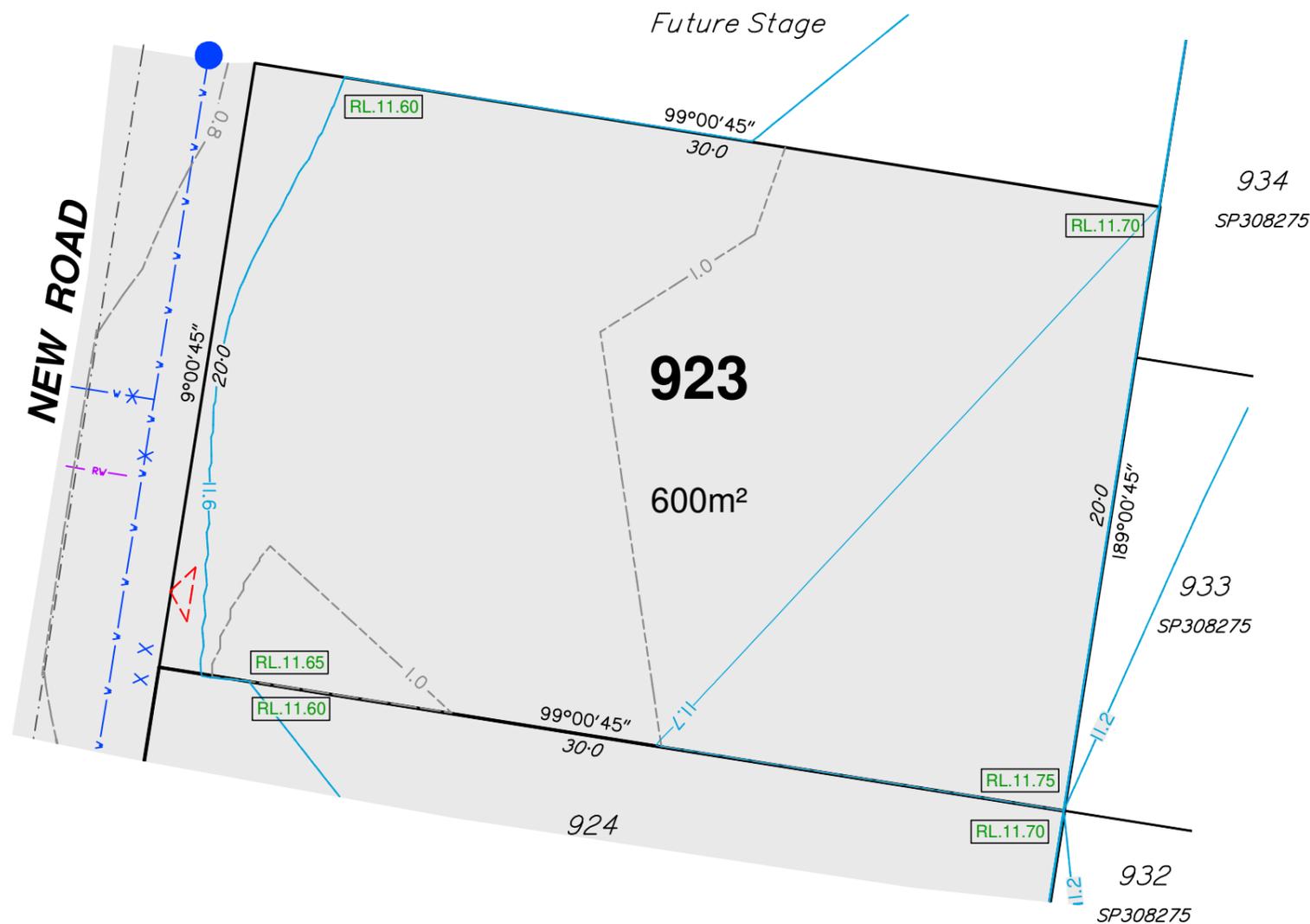
# DISCLOSURE PLAN

For Proposed Lot 923  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)



- Notes:**
- This note is an integral part of this plan.
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  - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
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Scale 1:200 @A3  
LEVEL DATUM  
AHD.

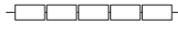
DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-923 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 924  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- - - - - Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- RW — RW — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- RL57.32 Area to be Filled
- RL11.65 Design Pad Level
-  Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lower side of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 22-01-2020.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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# RIVERBANK

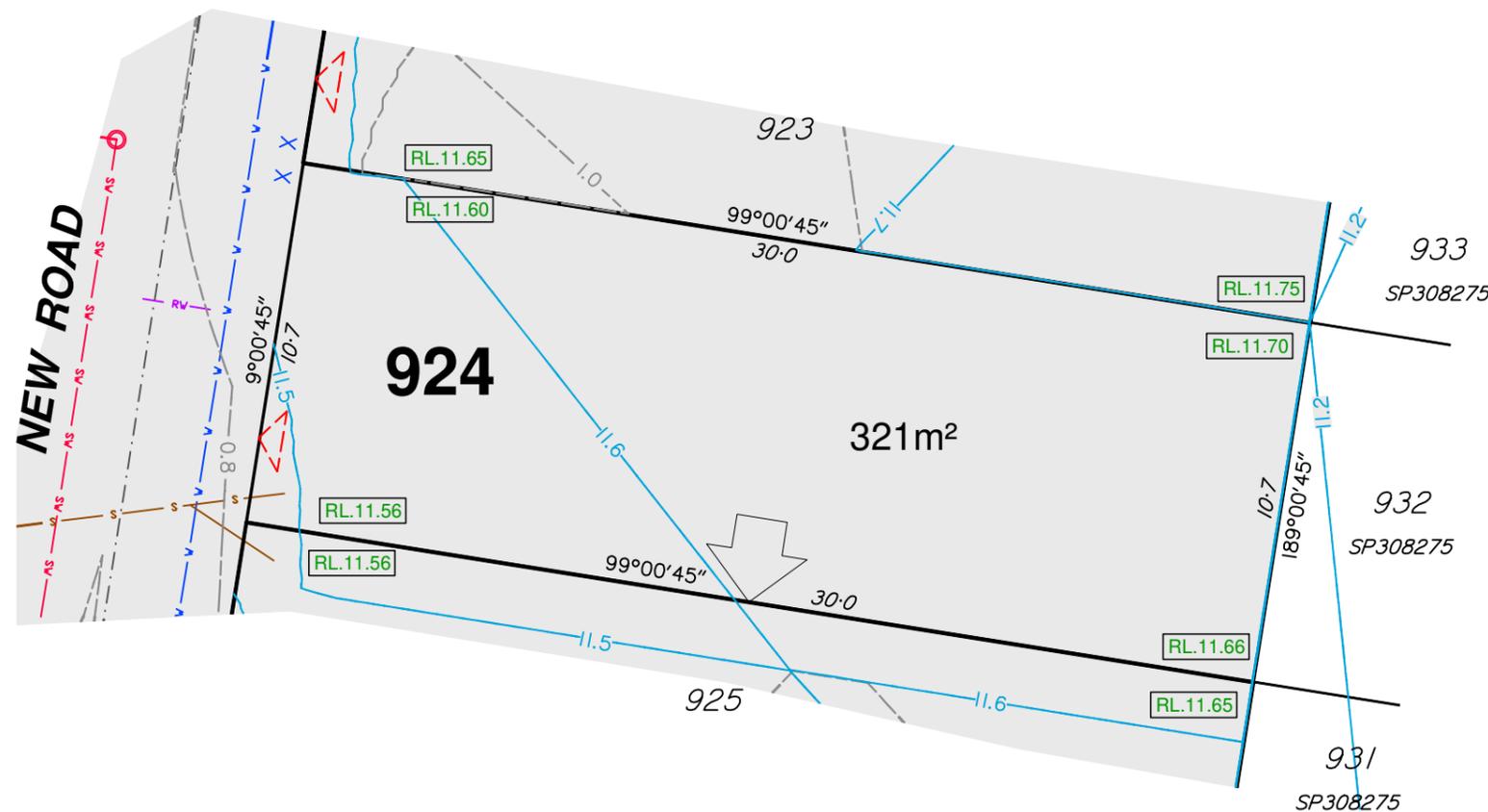


■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020      DRAWING NO. SB3594-19B\_01-924      VERSION B

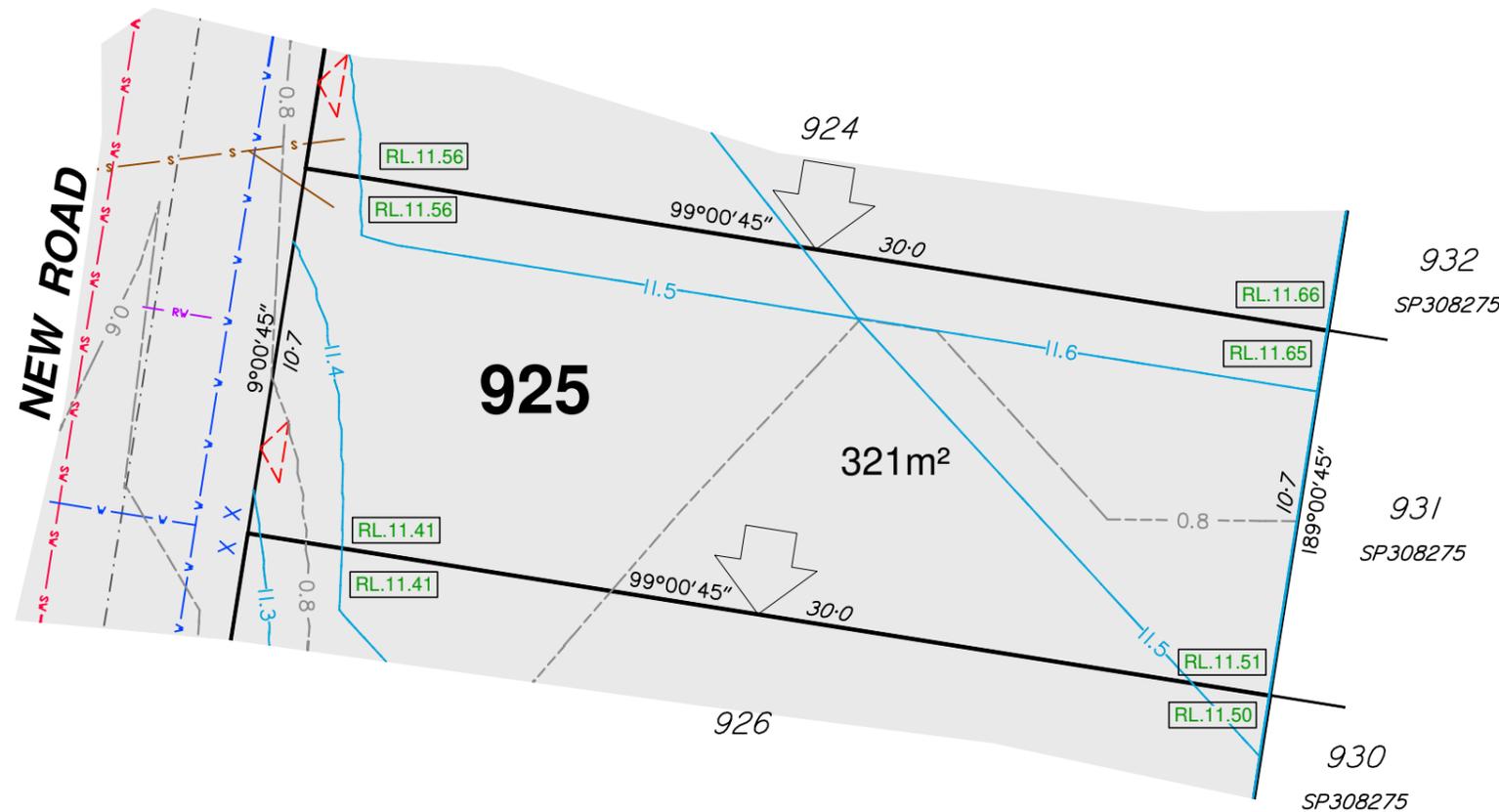


# DISCLOSURE PLAN

For Proposed Lot 925  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  -  Stormwater Gully Trap
  - RW — RW — Roofwater/Kerb Adapter
  - v — v — Water/Water Fitting
  - X Water Meter
  - Area to be Filled
  - RL.11.56 Design Pad Level
  -  Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
  -  Proposed Driveway
  -  Zero Lot Line Boundary
  -  1.8m High Timber Fence  
(Installed by Developer)



- Notes:**
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## RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
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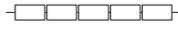
DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-925 VERSION B

# DISCLOSURE PLAN

For Proposed Lot 926  
Riverbank - Stage 19B

Currently Described As Part of Lot 1017 on SP308276  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
- - - - - Easement Boundary
- - - - - Kerb Line
- - - - - Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- RV — RV — Roofwater/Kerb Adapter
- v — v — Water/Water Fitting
- X Water Meter
- Area to be Filled
- RL.11.32 Design Pad Level
-  Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
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# RIVERBANK



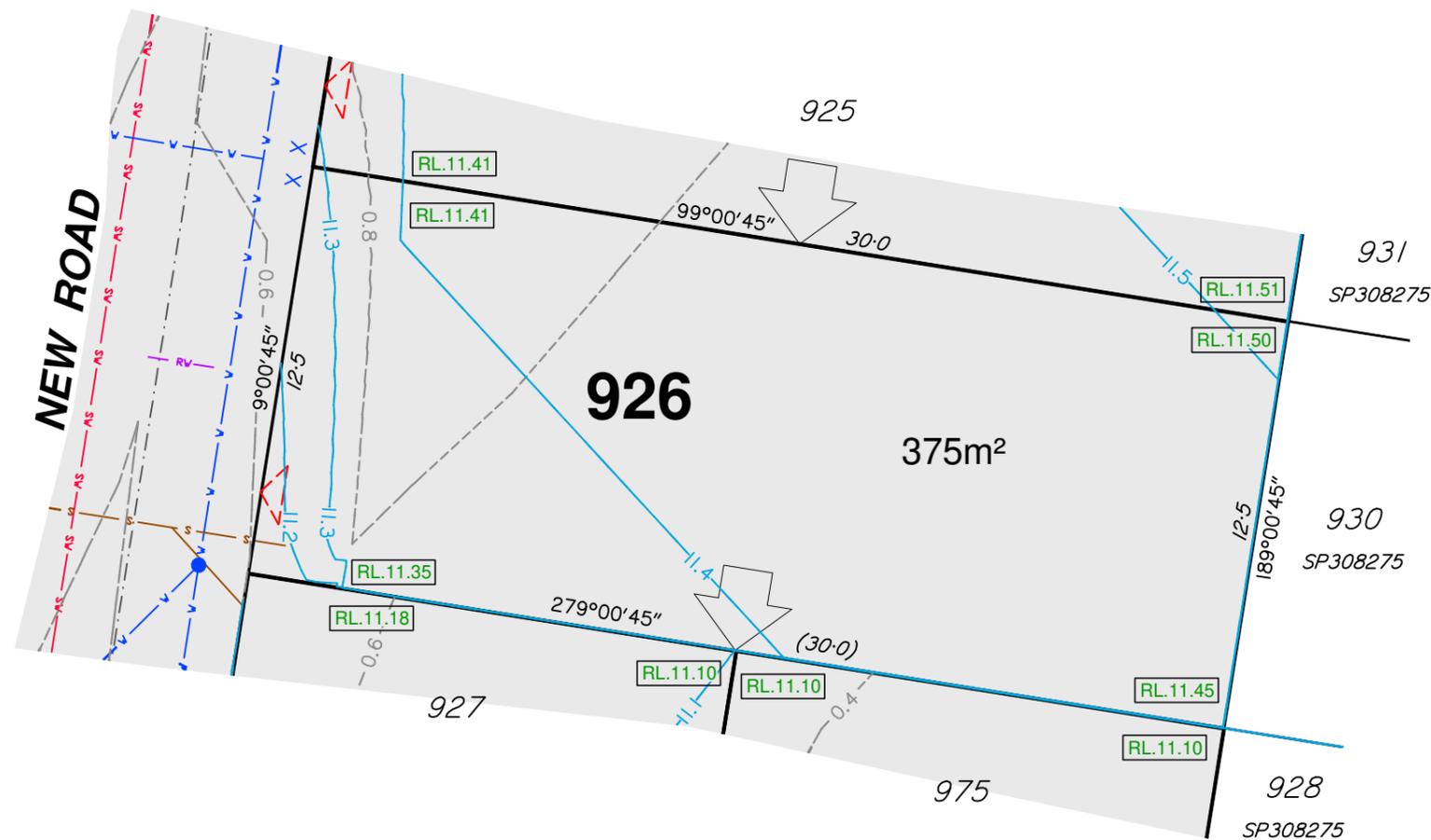
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-926 VERSION B





# DISCLOSURE PLAN

For Proposed Lot 975  
Riverbank - Stage 19B

Currently Described As  
RPD: Part of Lot 1017 on SP308276  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional

**Legend:**

	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.2m Interval)
	Easement Boundary
	Kerb Line
	Edge of Pad
	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole
	Stormwater Gully Trap
	Roofwater/Kerb Adapter
	Water/Water Fitting
	Water Meter
	Area to be Filled
	Design Pad Level
	Retaining Wall
	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
	Proposed Driveway
	Zero Lot Line Boundary
	1.8m High Timber Fence (Installed by Developer)

- Notes:**
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# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 03-03-2020 DRAWING NO. SB3594-19B\_01-975 VERSION B

