

**Legend**

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m².  
The boundaries shown on this plan should not be used for final detailed engineers design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

Land Budget Stage 5		
Land Use	Area	Overall
Area of Subject Site	52.172 ha	100.0%
Saleable Area		
Residential Allotments	19.984 ha	38.3%
Medium Density Allotment	0.666 ha	1.3%
Balance Super Allotments	—	0.0%
Total Area of Allotments	20.650 ha	39.6%
Road		
Collector Road	3.529 ha	6.8%
Local Road	8.671 ha	16.6%
Linear Connections	0.429 ha	0.8%
Entry Statements	—	0.0%
Total Area of New Road	12.629 ha	24.2%
Open Space		
Corridor Park	17.812 ha	34.1%
Conservation (Within Corridor Park)	—	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	0.627 ha	1.2%
Local Recreation Park	0.088 ha	0.2%
Local Linear Recreation Park	0.366 ha	0.7%
Stormwater Detention	—	0.0%
Total Open Space	18.893 ha	36.2%

Yield Breakdown Stage 5				
Residential Allotments				Overall
Urban & Nano Allotments Product	Typical Size	Typical Area		
Urban Loft	4.7 x 12.5m	50m²	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	0.0%
Urban Terrace	7.5 x 27.5m	205m²	16	3.2%
Subtotal			16	3.2%
16m Deep Product				
Squat Allotment	14 x 16m	220m²	10	2.0%
Subtotal			10	2.0%
25m Deep Product				
Mode Allotment	8.5 x 25m	213m²	4	0.8%
Villa Allotment	10 x 25m	250m²	20	4.0%
Courtyard Allotment	14 x 25m	350m²	26	5.2%
Premium Courtyard Allotment	16 x 25m	400m²	11	2.2%
Premium Traditional Allotment	20 x 25m	500m²	1	0.2%
Possible Multiple Residential Allotment	—	—	2	0.4%
Subtotal			64	12.8%
28m - 30m Deep Product				
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m²	33	6.6%
Terrace 9.5m Allotment	9.5 x 28m	265m²	12	2.4%
Subtotal			45	9.0%
30m Deep Product				
Villa Allotment	10 x 30m	300m²	72	14.4%
Premium Villa Allotment	12.5 x 30m	375m²	123	24.6%
Courtyard Allotment	14 x 30m	420m²	124	24.8%
Traditional Allotment	20 x 30m	600m²	43	8.6%
Premium Traditional Allotment	25 x 30m	720m²	2	0.4%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal			364	72.9%
Total Residential Allotments			499	100%
Residential Net Density				16.5 dw/ha
Super Lots				Lots
Medium Density Allotment			1	
Balance Super Allotments			—	
Sub Total			1	
Total Allotments			500	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			501	
Maximum Potential Net Residential Density				16.6 dw/ha

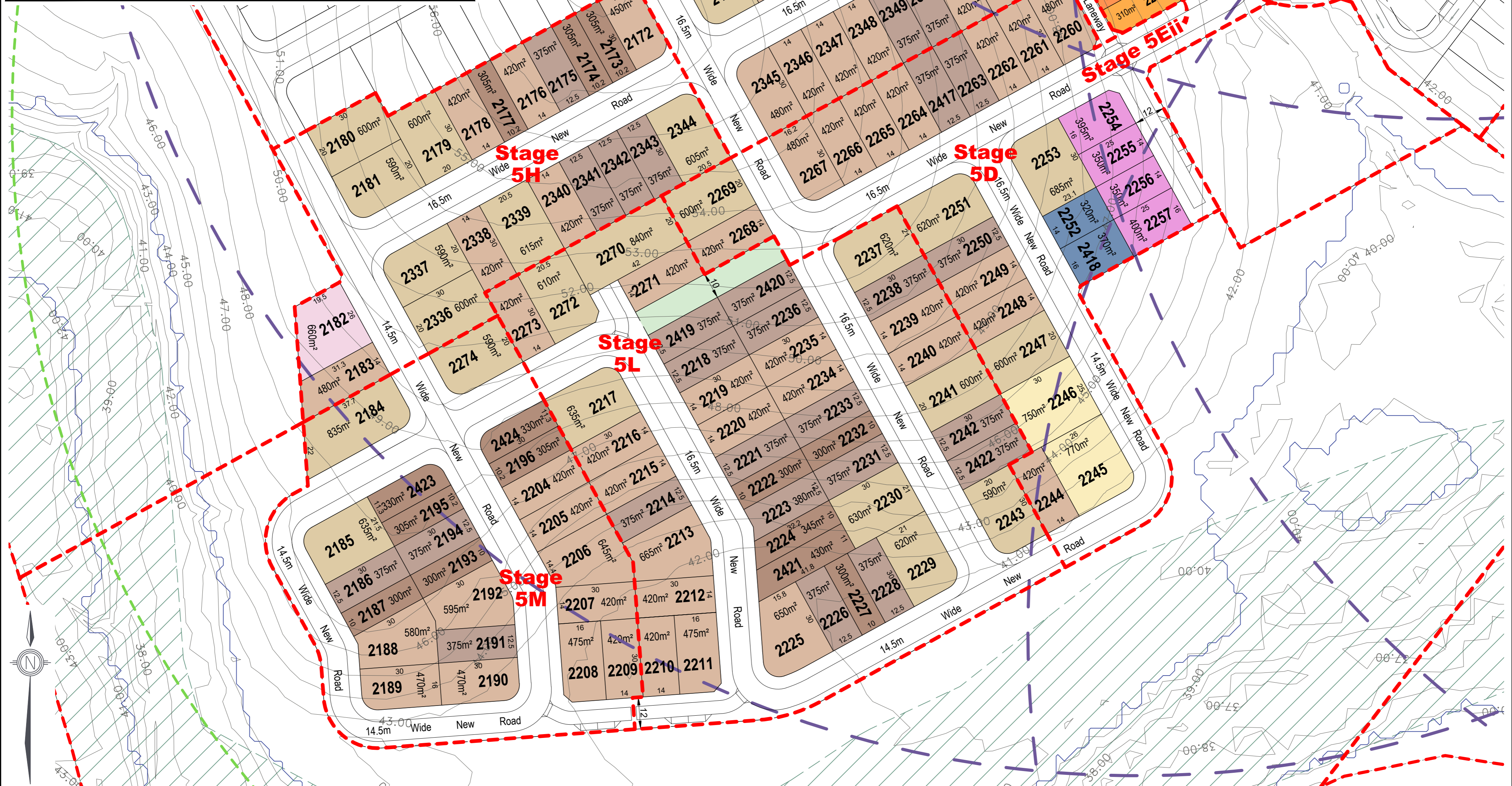
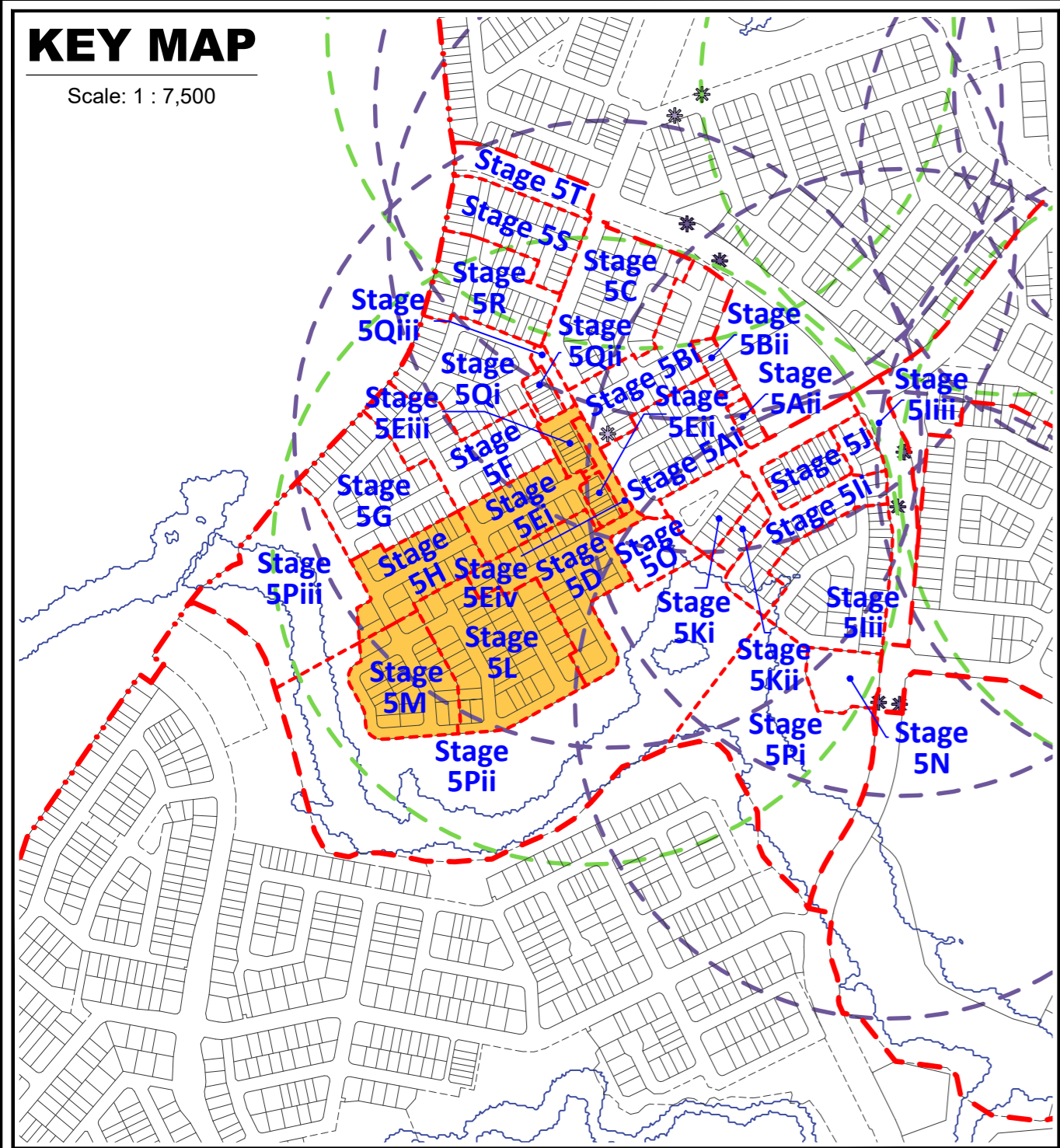


**TO BE READ IN CONJUNCTION WITH 110056 - 404**

<b>REVISION</b> Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AB: 20/09/2022 Temporary STF Notation AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes		<b>PROJECT</b> <b>Flagstone Precinct 1</b>		<b>CLIENT</b> <b>PEET</b>		<b>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</b> Approval no: DEV2012/403/85 Date: 28 April 2023		<b>Scale</b> 1 : 2000		<b>Sheet</b> A1		<b>Plan Ref</b> <b>110056 – 403</b>		<b>Rev</b> <b>AG</b>	
Job Ref. 110056		Date. 13 April 2023		Comp By. NF		DWG Name. Precinct 1 Stage 5		Chk'd By. MD		Locality. Flagstone		Local Authority. Economic Development Queensland			

Yield Breakdown Stage 5																																			
Residential Allotments			Stage 5Ai	Stage 5Aii	Stage 5Bi	Stage 5Bii	Stage 5C	Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5F	Stage 5G	Stage 5H	Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5L	Stage 5M	Stage 5N	Stage 5O	Stage 5Pi	Stage 5Pii	Stage 5Piii	Stage 5Qi	Stage 5Qii	Stage 5R	Stage 5S	Stage 5T	Overall	
	Typical Size	Typical Area																																	
Urban & Nano Allotments Product																																			
Urban Loft	4.7 x 12.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Urban Terrace	7.5 x 27.5m	205m²	—	7	—	9	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	16	3.2%		
Subtotal			—	7	—	9	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	16	3.2%		
16m Deep Product																																			
Squat Allotment	14 x 16m	220m²	—	—	2	—	—	2	—	—	—	2	—	—	—	2	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2	—	—	10	2.0%
Subtotal			—	—	2	—	—	2	—	—	—	2	—	—	—	2	—	—	—	—	—	—	—	—	—	—	—	—	—	2	—	—	10	2.0%	
25m Deep Product																																			
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	—	—	4	0.8%	
Villa Allotment	10 x 25m	250m²	—	2	—	—	2	—	—	—	—	—	—	—	5	2	—	—	—	—	—	—	—	—	—	—	—	—	2	—	2	5	—	20	4.0%
Courtyard Allotment	14 x 25m	350m²	—	—	2	—	1	4	—	—	—	—	1	—	6	2	—	—	—	—	—	—	—	—	—	—	—	4	—	2	4	—	26	5.2%	
Premium Courtyard Allotment	16 x 25m	400m²	—	—	2	—	—	—	—	—	—	—	1	—	1	5	—	—	—	—	—	—	—	—	—	—	—	1	—	1	—	—	11	2.2%	
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	—	—	—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	0.2%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	—	1	—	2	0.4%	
Subtotal			—	—	6	—	3	4	—	—	—	—	2	1	12	9	—	—	—	—	—	—	—	—	—	—	—	8	—	9	10	—	64	12.8%	
28m - 30m Deep Product																																			
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	—	5	5	—	—	—	—	—	18	—	—	—	—	—	—	—	—	—	—	5	—	—	—	—	33	6.6%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	—	2	2	—	—	—	—	—	6	—	—	—	—	—	—	—	—	—	—	2	—	—	—	—	12	2.4%
Subtotal			—	—	—	—	—	—	—	7	7	—	—	—	—	—	—	24	—	—	—	—	—	—	—	—	—	—	—	7	—	—	—	45	9.0%
30m Deep Product																																			
Villa Allotment	10 x 30m	300m²	9	—	7	—	6	—	2	—	—	7	4	3	—	3	—	1	—	2	2	5	6	—	—	—	—	—	5	—	7	3	—	72	14.4%
Premium Villa Allotment	12.5 x 30m	375m²	15	—	9	—	12	3	5	—	—	9	11	4	5	7	—	1	—	3	4	14	3	—	—	—	—	5	—	7	6	—	123	24.6%	
Courtyard Allotment	14 x 30m	420m²	4	—	1	—	11	11	9	—	—	7	12	6	1	14	—	2	—	1	1	15	10	—	—	—	—	7	—	7	5	—	124	24.8%	
Traditional Allotment	20 x 30m	600m²	1	—	2	—	3	4	2	—	—	4	4	7	—	—	—	1	—	1	1	8	3	—	—	—	—	1	—	—	1	—	43	8.6%	
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	—	—	2	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2	0.4%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Subtotal			29	—	19	—	32	20	18	—	—	27	31	20	6	24	—	5	—	7	8	42	22	—	—	—	—	—	18	—	21	15	—	364	72.9%
Total Residential Allotments																																			
			29	7	27	9	35	26	18	7	7	29	33	21	18	35	—	5	24	7	8	42	22	—	—	—	—	—	26	7	32	25	—	499	100%
Residential Net Density			18.4 dw/ha	42.2 dw/ha	16.7 dw/ha	44.3 dw/ha	19.3 dw/ha	13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	16.1 dw/ha	16.2 dw/ha	15.4 dw/ha	14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	15.3 dw/ha	13.3 dw/ha	—	—	—	—	—	14.0 dw/ha	36.1 dw/ha	20.5 dw/ha	18.1 dw/ha	—	16.5 dw/ha	
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots		
Medium Density Allotment			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	—	—	—	—	—	—	—	—	1	
Balance Super Allotments			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	
Sub Total			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	—	—	—	—	—	—	—	—	1	
Total Allotments			29	7	27	9	35	26	18	7	7	29	33	21	18	35	—	5	24	7	8	42	22	1	—	—	—	—	26	7	32	25	—	500	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			29	7	27	9	35	26	18	7	7	29	33	21	18	35	—	5	24	7	8	42	22	—	—	—	—	—	27	7	32	26	—	501	
Maximum Potential Net Residential Density			18.4 dw/ha	42.2 dw/ha	16.7 dw/ha	44.3 dw/ha	19.3 dw/ha	13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	16.1 dw/ha	16.2 dw/ha	15.4 dw/ha	14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	15.3 dw/ha	13.3 dw/ha	—	—	—	—	—	14.5 dw/ha	36.1 dw/ha	20.5 dw/ha	18.8 dw/ha	—	16.6 dw/ha	

Land Budget Stage 5																																				
Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bi	Stage 5Bii	Stage 5C	Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5Eiv	Stage 5F	Stage 5G	Stage 5H	Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5L	Stage 5M	Stage 5N	Stage 5O	Stage 5Pi	Stage 5Pii	Stage 5Piii	Stage 5Qi	Stage 5Qii	Stage 5Qiii	Stage 5R	Stage 5S	Stage 5T	Overall		
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%		
Area of Subject Site	1.853 ha	0.166 ha	1.821 ha	0.203 ha	2.354 ha	1.949 ha	1.171 ha	0.199 ha	0.334 ha	0.220 ha	1.800 ha	2.042 ha	1.366 ha	1.725 ha	2.270 ha	1.205 ha	0.317 ha	0.633 ha	0.291 ha	0.827 ha	2.740 ha	1.648 ha	0.666 ha	0.627 ha	4.457 ha	10.280 ha	3.076 ha	1.863 ha	0.194 ha	0.146 ha	1.559 ha	1.385 ha	0.786 ha	52.172 ha	100.0%	
Saleable Area																																				
Residential Allotments	1.136 ha	0.166 ha	1.088 ha	0.203 ha	1.484 ha	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	1.198 ha	1.500 ha	0.990 ha	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.999 ha	—	—	—	—	—	1.137 ha	0.167 ha	—	1.201 ha	0.991 ha	—	19.984 ha	38.3%	
Medium Density Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.666 ha	—	—	—	—	—	—	—	—	—	—	0.666 ha	1.3%	
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Total Area of Allotments	1.136 ha	0.166 ha	1.088 ha	0.203 ha	1.484 ha	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	1.198 ha	1.500 ha	0.990 ha	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.999 ha	0.666 ha	—	—	—	—	1.137 ha	0.167 ha	—	1.201 ha	0.991 ha	—	20.650 ha	39.6%	
Road																																				
Collector Road	0.278 ha	—	0.201 ha	—	0.544 ha	—	—	—	—	—	—	—	—	0.451 ha	—	1.176 ha	—	—	—	—	0.257 ha	—	—	—	—	—	—	—	—	—	—	—	—	0.622 ha	3.529 ha	6.8%
Local Road	0.394 ha	—	0.532 ha	—	0.326 ha	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.528 ha	0.542 ha	0.376 ha	0.622 ha	0.732 ha	—	0.087 ha	0.086 ha	—	0.155 ha	0.788 ha	0.649 ha	—	—	—	—	—	0.726 ha	0.027 ha	—	0.358 ha	0.394 ha	—	8.671 ha	16.6%	
Linear Connections	0.045 ha	—	—	—	—	—	—	—	—	—	0.074 ha	—	—	—	0.057 ha	0.029 ha	—	—	—	—	0.060 ha	—	—	—	—	—	—	—	—	—	—	—	0.164 ha	0.429 ha	0.8%	
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Total Area of New Road	0.717 ha	—	0.733 ha	—	0.870 ha	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.602 ha	0.542 ha	0.376 ha	1.073 ha	0.789 ha	1.205 ha	0.087 ha	0.086 ha	—	0.412 ha	0.848 ha	0.649 ha	—	—	—	—	—	0.726 ha	0.027 ha	—	0.358 ha	0.394 ha	0.786 ha	12.629 ha	24.2%	
Open Space																																				
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4.457 ha	10.280 ha	3.076 ha	—	—	—	—	—	—	17.812 ha	34.1%	
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.627 ha	—	—	—	—	—	—	—	—	—	—	0.627 ha	1.2%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.088 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.088 ha	0.2%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	0.220 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.146 ha	—	—	—	0.366 ha	0.7%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Total Open Space	—	—	—	—	—	—	—	—	—	0.220 ha	—	—	—	—	—	—	—	—	—	0.088 ha	—	—	—	0.627 ha	4.457 ha	10.280 ha	3.076 ha	—	—	0.146 ha	—	—	—	18.893 ha	36.2%	



Yield Breakdown										
Residential Allotments			Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5H	Stage 5L	Stage 5M	Overall
	Typical Size	Typical Area								
Urban & Nano Allotments Product										
Urban Loft	4.7 x 12.5m	50m²	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m²	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	0.0%
16m Deep Product										
Squat Allotment	14 x 16m	220m²	2	—	—	—	—	—	—	2
Subtotal			2	—	—	—	—	—	—	2
25m Deep Product										
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	—	—
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	—	—
Courtyard Allotment	14 x 25m	350m²	4	—	—	—	—	—	—	4
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	—	—	—	—	—
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	1	—	—	1
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—
Subtotal			4	—	—	—	1	—	—	5
28m - 30m Deep Product										
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	—	—	—	—	—	—	—
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	—	—	—	—	—	—	—
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	5	5	—	—	—	10
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	2	2	—	—	—	4
Subtotal			—	—	7	7	—	—	—	14
30m Deep Product										
Villa Allotment	10 x 30m	300m²	—	2	—	—	3	5	6	16
Premium Villa Allotment	12.5 x 30m	375m²	3	5	—	—	4	14	3	29
Courtyard Allotment	14 x 30m	420m²	11	9	—	—	6	15	10	51
Traditional Allotment	20 x 30m	600m²	4	2	—	—	7	8	3	24
Premium Traditional Allotment	25 x 30m	720m²	2	—	—	—	—	—	—	2
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—
Subtotal			20	18	—	—	20	42	22	122
Total Residential Allotments			26	18	7	7	21	42	22	143
Residential Net Density			13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	15.4 dw/ha	15.3 dw/ha	13.3 dw/ha	100.0%
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots
Medium Density Allotment			—	—	—	—	—	—	—	—
Balance Super Allotments			—	—	—	—	—	—	—	—
Sub Total			—	—	—	—	—	—	—	—
Total Allotments			26	18	7	7	21	42	22	143
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			26	18	7	7	21	42	22	143
Maximum Potential Net Residential Density			13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	15.4 dw/ha	15.3 dw/ha	13.3 dw/ha	

## Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

### Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

Scale 1 : 1000 @ A1

0 5 10 20 30 40 50 60

Land Budget									
Land Use	Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5Eiv	Stage 5H	Stage 5L	Stage 5M	Overall
Area of Subject Site	1.949 ha	1.171 ha	0.199 ha	0.334 ha	0.220 ha	1.366 ha	2.740 ha	1.648 ha	9.627 ha
Saleable Area	—	—	—	—	—	—	—	—	—
Residential Allotments	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	0.990 ha	1.892 ha	0.999 ha	6.185 ha
Medium Density Allotment	—	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—	—	—
Total Area of Allotments	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	0.990 ha	1.892 ha	0.999 ha	6.185 ha
<b>Road</b>									
Collector Road	—	—	—	—	—	—	—	—	0.0%
Local Road	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.376 ha	0.788 ha	0.649 ha	3.162 ha
Linear Connections	—	—	—	—	—	—	0.060 ha	—	0.060 ha
Entry Statements	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.376 ha	0.848 ha	0.649 ha	3.222 ha
<b>Open Space</b>									
Corridor Park	—	—	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.220 ha	—	—	—	0.220 ha
Stormwater Detention	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.220 ha	—	—	—	0.220 ha

REVISION

Y: 12/05/2022 Stage 5 Layout Change

Z: 08/06/2022 Entry Statement Lease Areas

AA: 16/06/2022 Temporary STF Notation

AB: 20/09/2022 Stage 3 & 5 Layout Changes

AC: 14/11/2022 Stage 5 Boundary Changes

AD: 10/01/2023 Stage 3 & 4 Layout Changes

AE: 24/02/2023 Stage 3 & 5 Layout Changes

AF: 20/03/2023 Stage 3 & 5 Layout Changes

AG: 13/04/2023 Stage 3 & 5 Layout Changes

PROJECT		Flagstone Precinct 1	
Job Ref.	110056	Date.	13 April 2023
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.		Economic Development Queensland	

CLIENT

**PEET**

Plan of Subdivision

Stage 5D, Ei, Eii, Eiii, Eiv, H, L & M Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85

Date: 28 April 2023



URBAN DESIGN

Level 4 HQ South

520 Wickham Street

PO Box 1559

Fortitude Valley QLD 4006

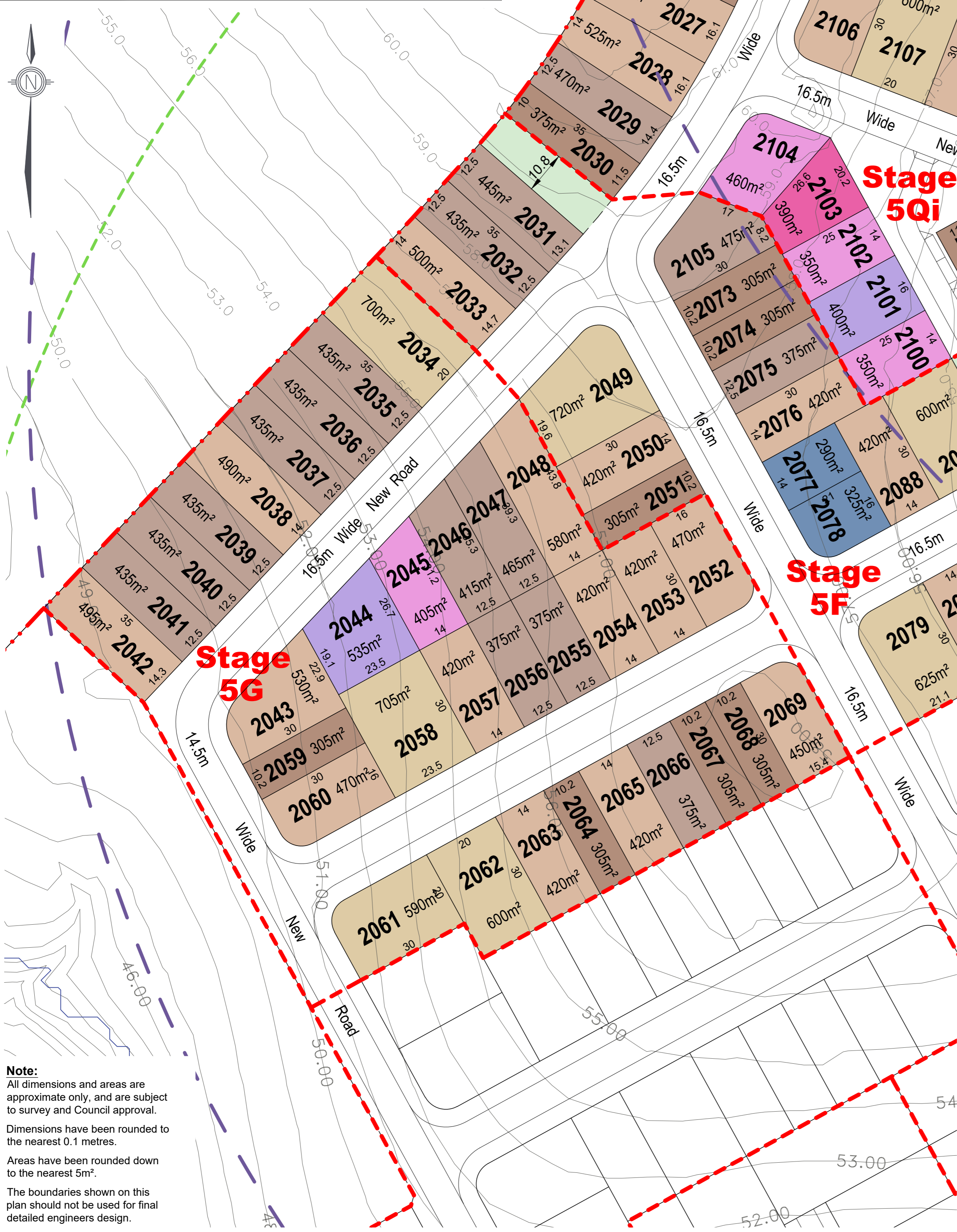
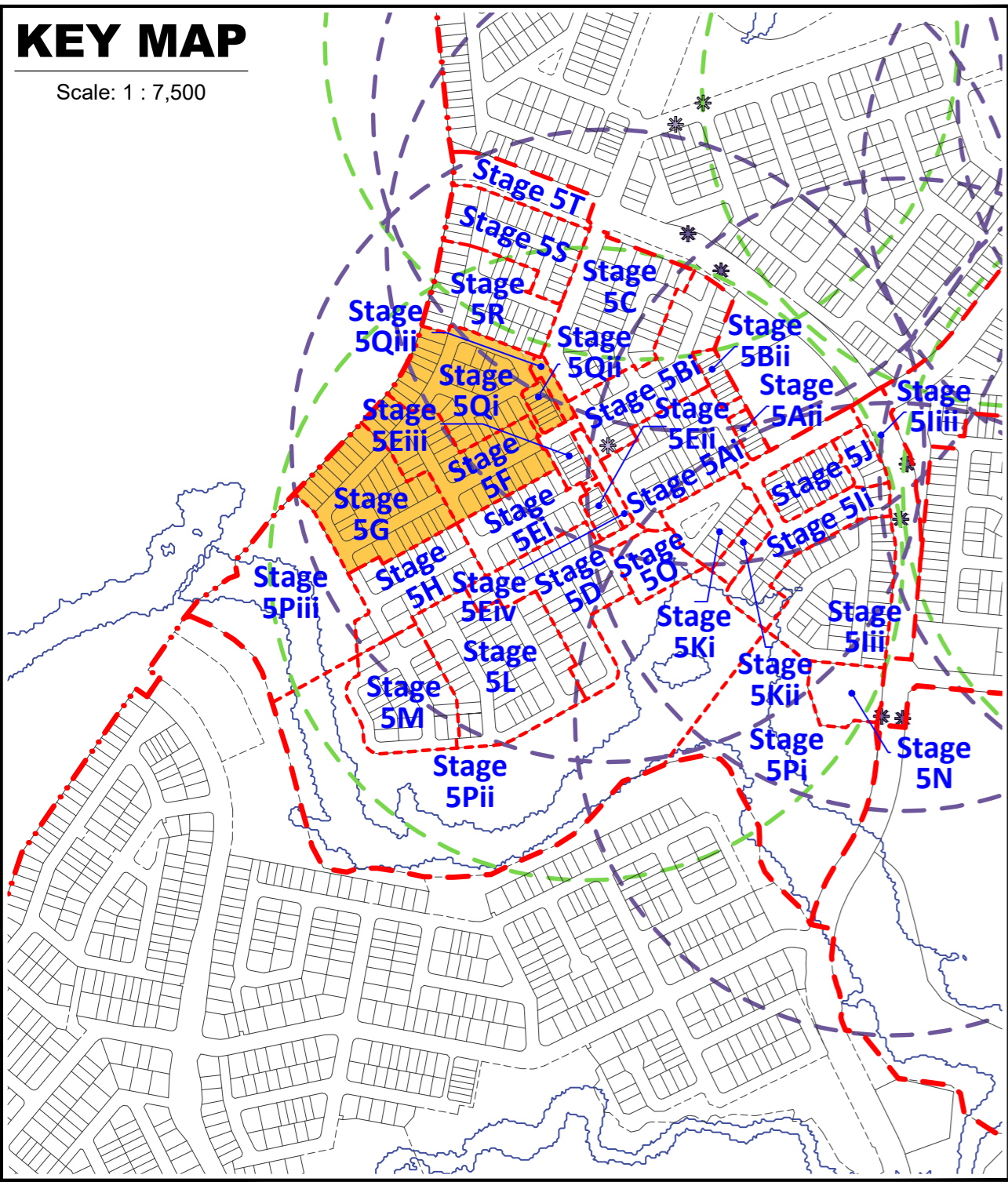
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Scale	Sheet	Plan Ref	Rev
1 : 1000	A1	110056 – 405	AG

KEY MAP

Scale: 1 : 7,500



**Note:**  
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Areas have been rounded down to the nearest 5m<sup>2</sup>.  
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Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 750 @ A1  
0 5 10 20 30 40 50

Land Use	Land Budget					Overall	
	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Stage 5Qiii	Area	%
Area of Subject Site	1.800 ha	2.042 ha	1.863 ha	0.194 ha	0.146 ha	6.045 ha	100.0%
Saleable Area							
Residential Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha	66.2%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha	66.2%
Road							
Collector Road	—	—	—	—	—	—	0.0%
Local Road	0.528 ha	0.542 ha	0.726 ha	0.027 ha	—	1.823 ha	30.2%
Linear Connections	0.074 ha	—	—	—	—	0.074 ha	1.2%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	0.602 ha	0.542 ha	0.726 ha	0.027 ha	—	1.897 ha	31.4%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.146 ha	0.146 ha	2.4%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.146 ha	0.146 ha	2.4%

Yield Breakdown						
Residential Allotments			Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii
		Typical Size				
Urban & Nano Allotments Product						
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	—	—	—
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	—	—	—	—
Subtotal			—	—	—	—
16m Deep Product						
Squat Allotment	14 x 16m	220m <sup>2</sup>	2	—	—	—
Subtotal			2	—	—	2
25m Deep Product						
Mode Allotment	8.5 x 25m	213m <sup>2</sup>	—	—	—	—
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	2	—
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	—	1	4	—
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	1	1	—
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—
Possible Multiple Residential Allotment	—	—	—	1	—	—
Subtotal			—	2	8	10
28m - 30m Deep Product						
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	—	—	—
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	—	—	—
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	5
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	2
Subtotal			—	—	—	7
30m Deep Product						
Villa Allotment	10 x 30m	300m <sup>2</sup>	7	4	5	—
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	9	11	5	—
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	7	12	7	—
Traditional Allotment	20 x 30m	600m <sup>2</sup>	4	4	1	—
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—
Possible Multiple Residential Allotment	—	—	—	—	—	—
Subtotal			27	31	18	76
Total Residential Allotments			29	33	26	7
Residential Net Density			16.1 dw/ha	16.2 dw/ha	14.0 dw/ha	36.1 dw/ha
Super Lots			Lots	Lots	Lots	Lots
Medium Density Allotment			—	—	—	—
Balance Super Allotments			—	—	—	—
Sub Total			—	—	—	—
Total Allotments			29	33	26	7
Maximum Potential Residential Dwellings (includes Multiple Residential Allotments)			29	33	27	7
Maximum Potential Net Residential Density			16.1 dw/ha	16.2 dw/ha	14.5 dw/ha	36.1 dw/ha

REVISION
Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 16/06/2022 Temporary STF Notation
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PROJECT	Flagstone Precinct 1	
Job Ref.	110056	Date. 13 April 2023
Comp By.	NF	DWG Name. Precinct 1 Stage 5
Chk'd By.	MD	Locality. Flagstone
Local Authority.	Economic Development Queensland	

CLIENT

PEET

Plan of Subdivision  
Stage 5F, G, Qi, Qii & Qiii  
Allotment Layout

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

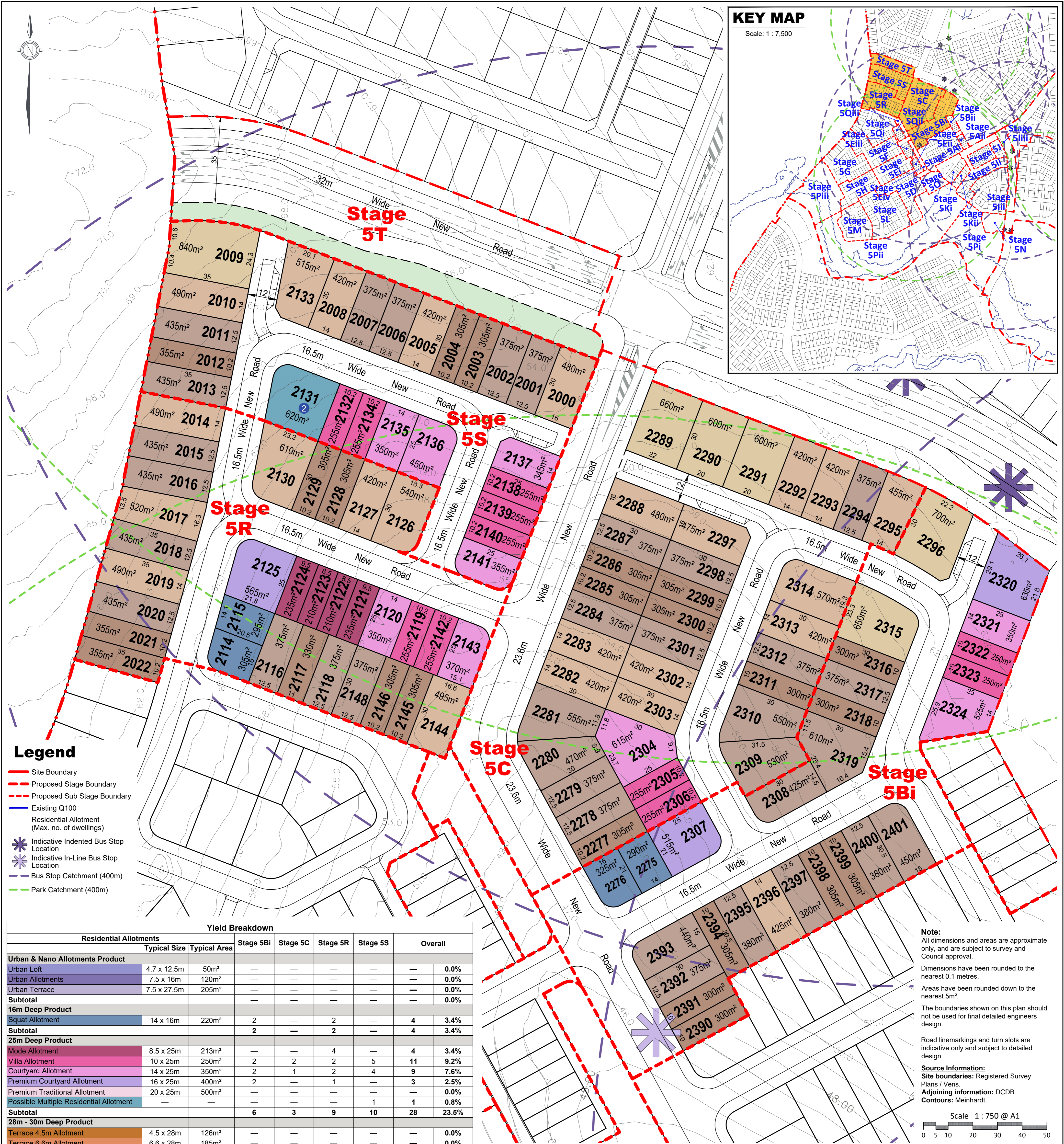
Approval no: DEV2012/403/85  
Date: 28 April 2023



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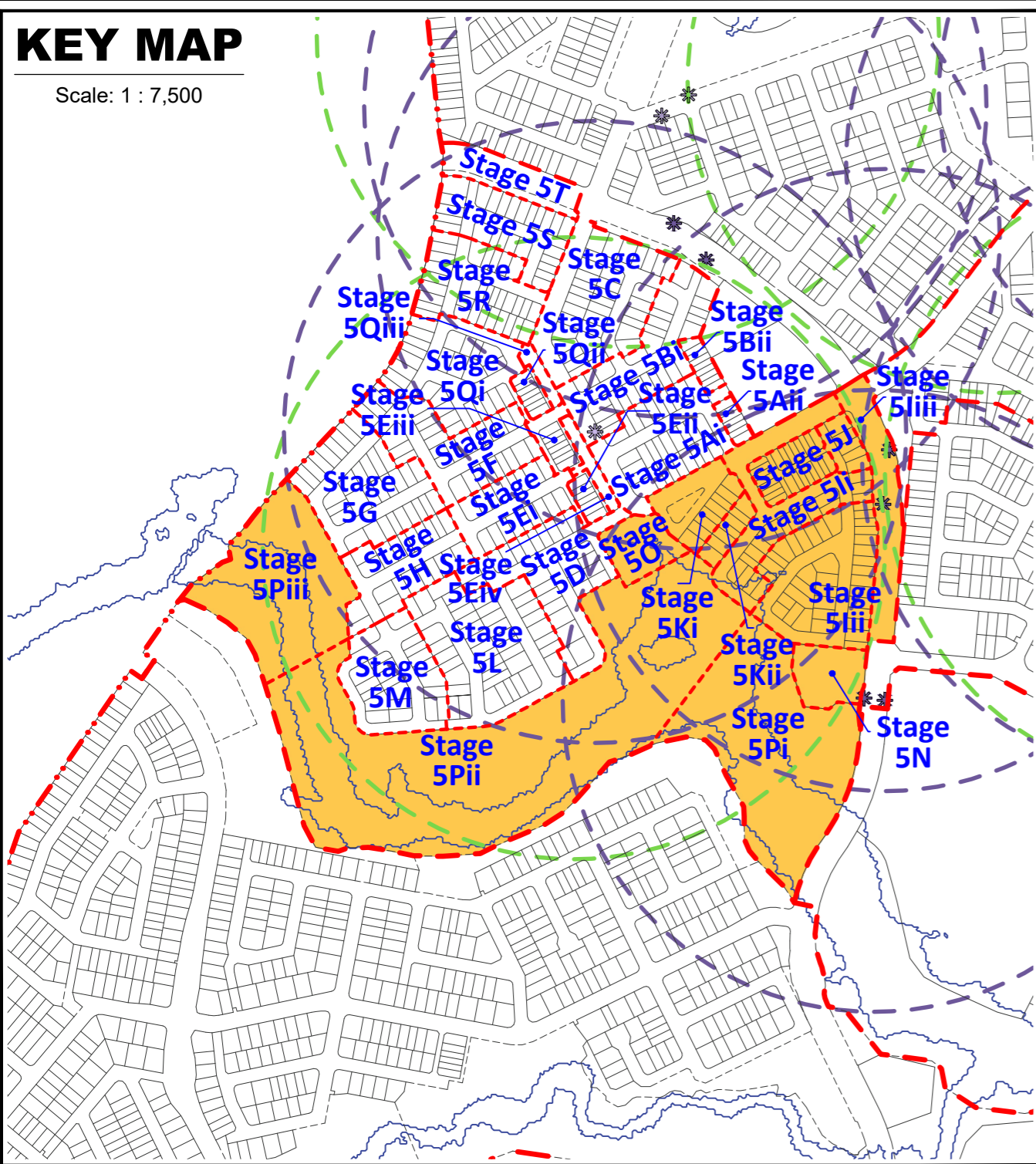
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Scale 1 : 750	Sheet A1	Plan Ref 110056 – 406	Rev AG
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KEY MAP

Scale: 1 : 7,500

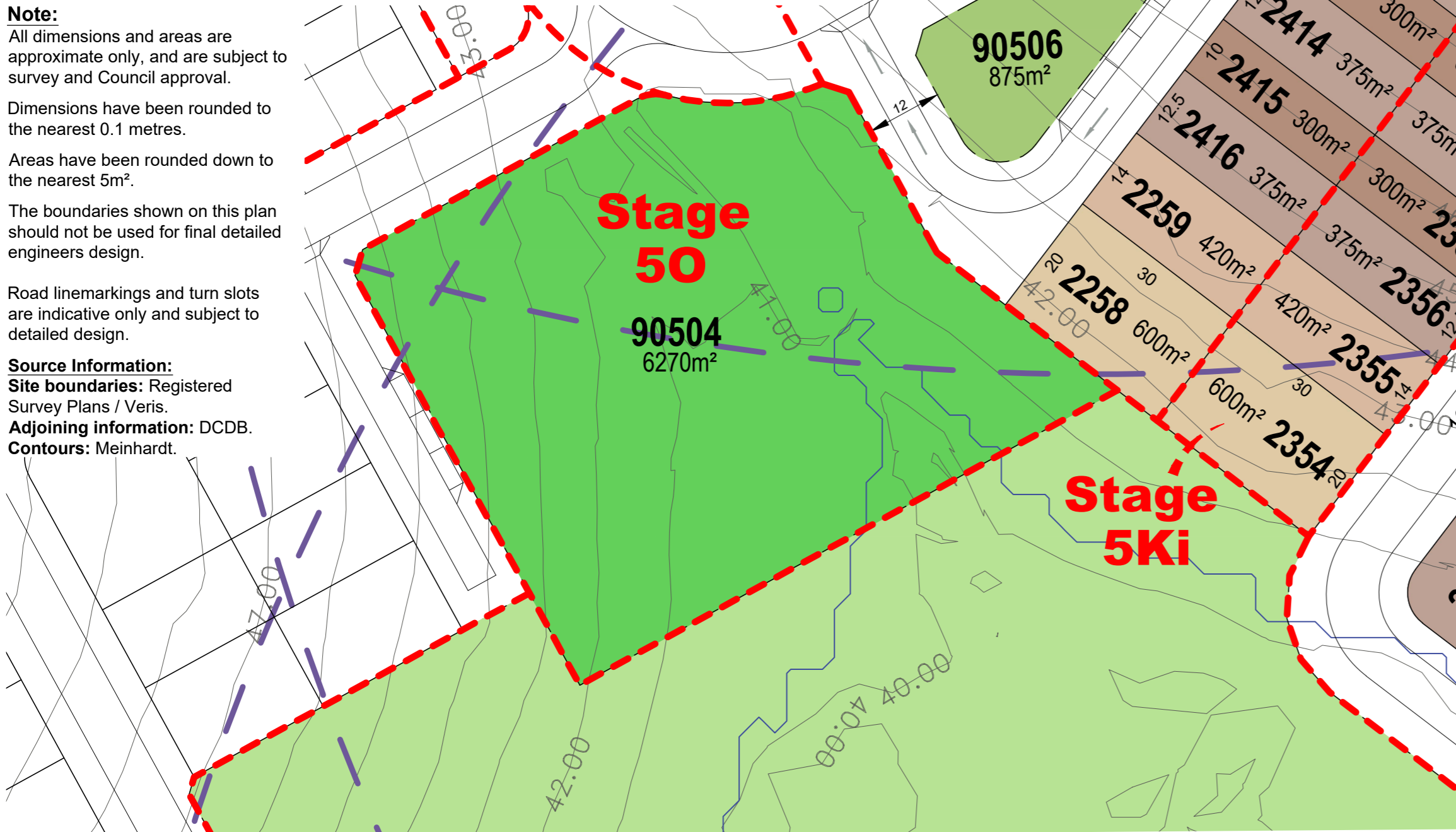


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Adjoining information: DCDB  
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Legend

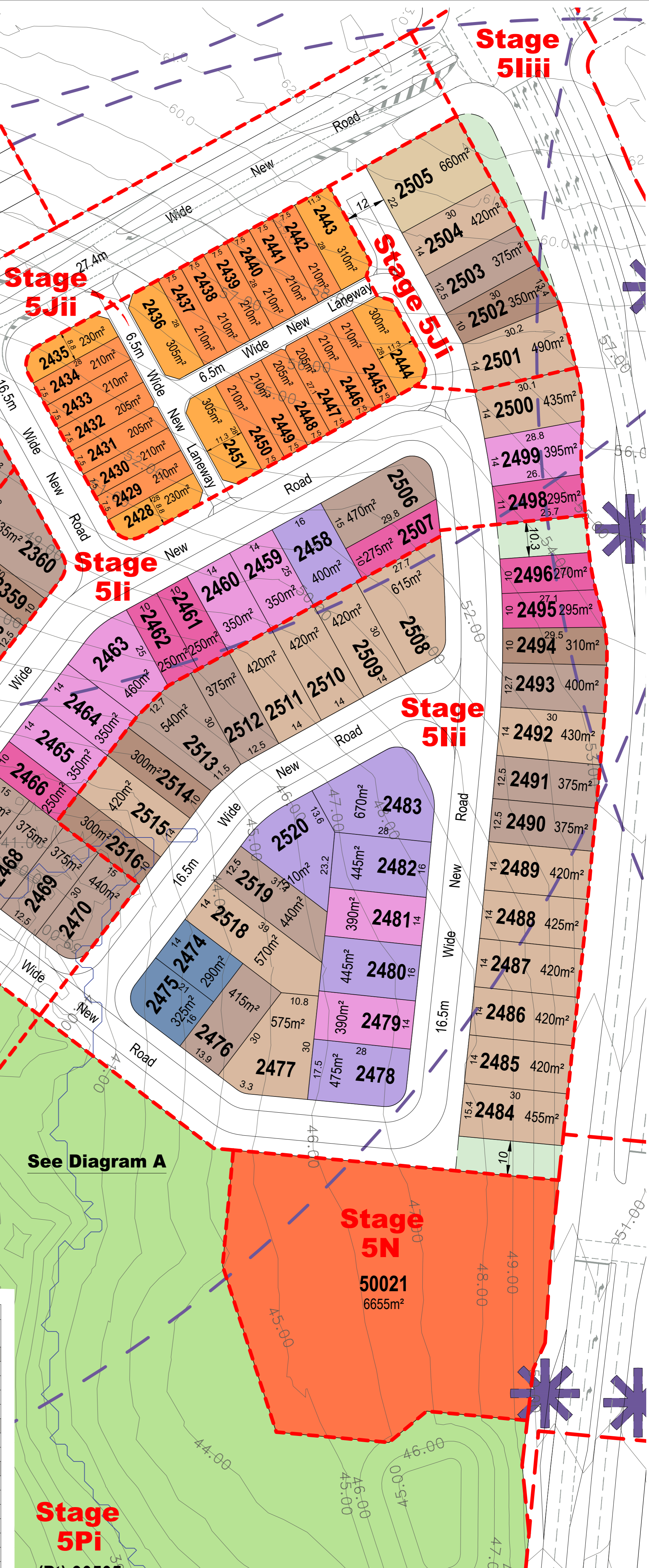
- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 750 @ A1



Land Budget														Overall	
Land Use	Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5L	Stage 5N	Stage 5O	Stage 5Pi	Stage 5Pii	Stage 5Piii	Area	%
Area of Subject Site	1.725 ha	2.270 ha	1.205 ha	0.317 ha	0.633 ha	0.291 ha	0.827 ha	2.740 ha	0.666 ha	0.627 ha	4.457 ha	10.280 ha	3.076 ha	29.113 ha	100.0%
Saleable Area															
Residential Allotments	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	—	—	—	—	—	5.420 ha	18.6%
Medium Density Allotment	—	—	—	—	—	—	—	—	0.666 ha	—	—	—	—	0.666 ha	2.3%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.666 ha	—	—	—	—	6.086 ha	20.9%
Road															
Collector Road	0.451 ha	—	1.176 ha	—	—	—	0.257 ha	—	—	—	—	—	—	1.884 ha	6.5%
Local Road	0.622 ha	0.732 ha	—	0.087 ha	0.086 ha	—	0.155 ha	0.788 ha	—	—	—	—	—	2.470 ha	8.5%
Linear Connections	—	0.057 ha	0.029 ha	—	—	—	—	0.060 ha	—	—	—	—	—	0.146 ha	0.5%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.073 ha	0.789 ha	1.205 ha	0.087 ha	0.086 ha	—	0.412 ha	0.848 ha	—	—	—	—	—	4.500 ha	15.5%
Open Space															
Corridor Park	—	—	—	—	—	—	—	—	—	—	4.457 ha	10.280 ha	3.076 ha	17.812 ha	61.2%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	—	—	—	0.627 ha	—	—	—	0.627 ha	2.2%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	0.088 ha	0.3%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.088 ha	—	—	0.627 ha	4.457 ha	10.280 ha	3.076 ha	18.527 ha	63.6%

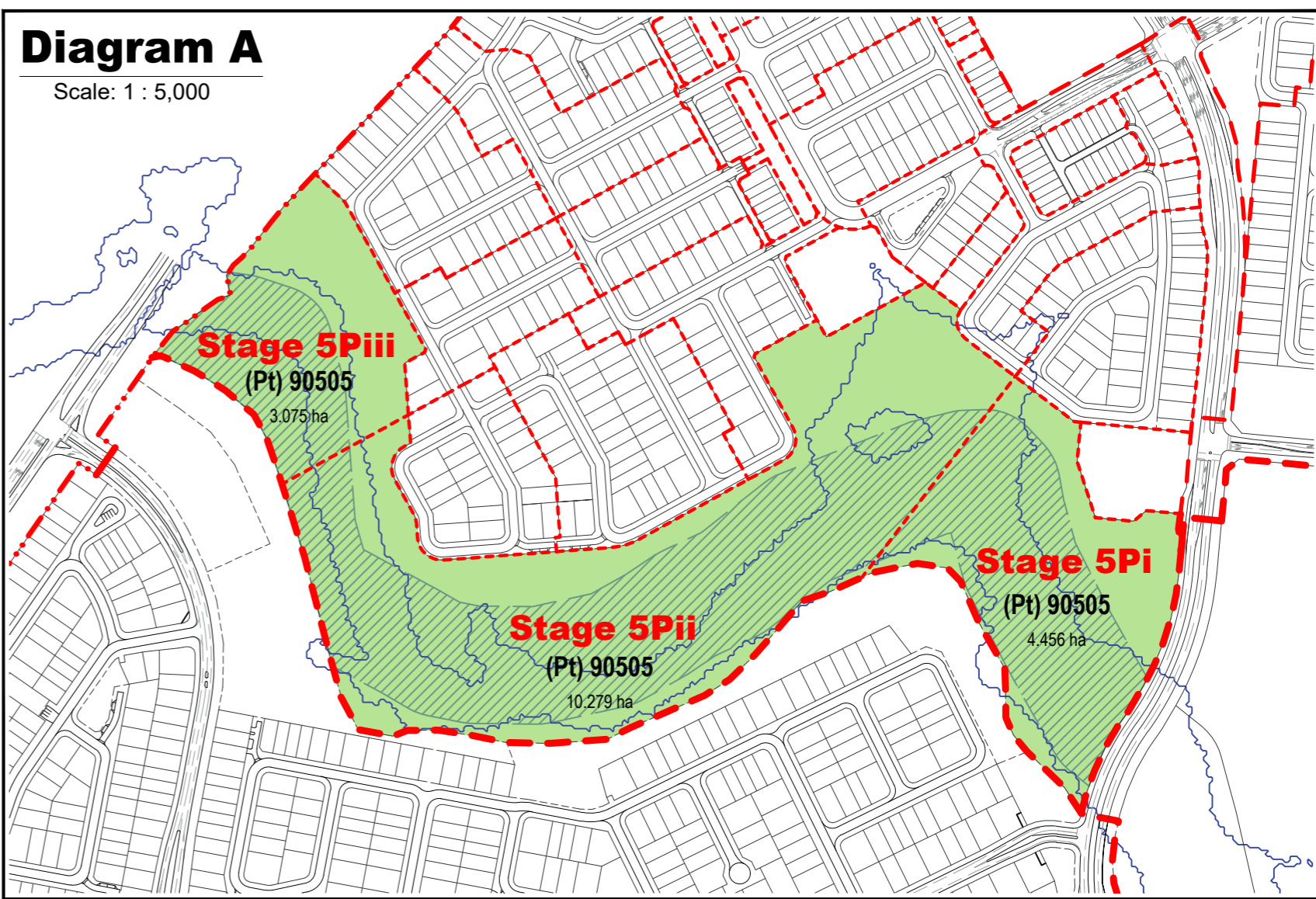
Yield Breakdown												Overall	
Residential Allotments			Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5N			
Typical Size			Typical Area										
Urban & Nano Allotments Product													
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product													
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	2	—	—	—	—	—	—	—	2	2.1%
Subtotal			—	2	—	—	—	—	—	—	—	2	2.1%
25m Deep Product													
Mode Allotment	8.5 x 25m	213m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m <sup>2</sup>	5	2	—	—	—	—	—	—	—	7	7.2%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	6	2	—	—	—	—	—	—	—	8	8.2%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	1	5	—	—	—	—	—	—	—	6	6.2%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	9	—	—	—	—	—	—	—	21	21.6%
28m - 30m Deep Product													
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	—	18	—	—	—	18	18.6%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	—	6	—	—	—	6	6.2%
Subtotal			—	—	—	—	—	24	—	—	—	24	24.7%
30m Deep Product													
Villa Allotment	10 x 30m	300m <sup>2</sup>	—	3	—	1	—	2	2	—	—	8	8.2%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	5	7	—	1	—	3	4	—	—	20	20.6%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	1	14	—	2	—	1	1	—	—	19	19.6%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	—	—	—	1	—	1	1	—	—	3	3.1%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	24	—	5	—	7	8	—	—	50	51.5%
Total Residential Allotments			18	35	—	5	24	7	8	—	—	97	100.0%
Residential Net Density			14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	—	—	—	—
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots
Medium Density Allotment			—	—	—	—	—	—	—	1	—	1	—
Balance Super Allotments			—	—	—	—	—	—	—	—	—	—	—
Sub Total			—	—	—	—	—	—	—	1	—	1	—
Total Allotments			18	35	—	5	24	7	8	1	—	98	—
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			18	35	—	5	24	7	8	—	—	97	—
Maximum Potential Net Residential Density			14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	—	—	—	—



See Diagram A

Diagram A

Scale: 1 : 5,000



REVISION  
Y: 12/05/2022 Stage 5 Layout Change  
Z: 08/06/2022 Entry Statement Lease Areas  
AA: 16/06/2022 Temporary STF Notation  
AB: 20/09/2022 Stage 3 & 5 Layout Changes  
AC: 14/11/2022 Stage 3 & 5 Boundary Changes  
AD: 10/01/2023 Stage 3 & 4 Layout Changes  
AE: 24/02/2023 Stage 3 & 5 Layout Changes  
AF: 20/03/2023 Stage 3 & 5 Layout Changes  
AG: 13/04/2023 Stage 3 & 5 Layout Changes

PROJECT		Flagstone Precinct 1	
Job Ref.	110056	Date.	13 April 2023
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

CLIENT		PEET	
Plan of Subdivision		Stage 5Ii, Iii, Jii, K, N, O & P	
Allotment Layout			

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

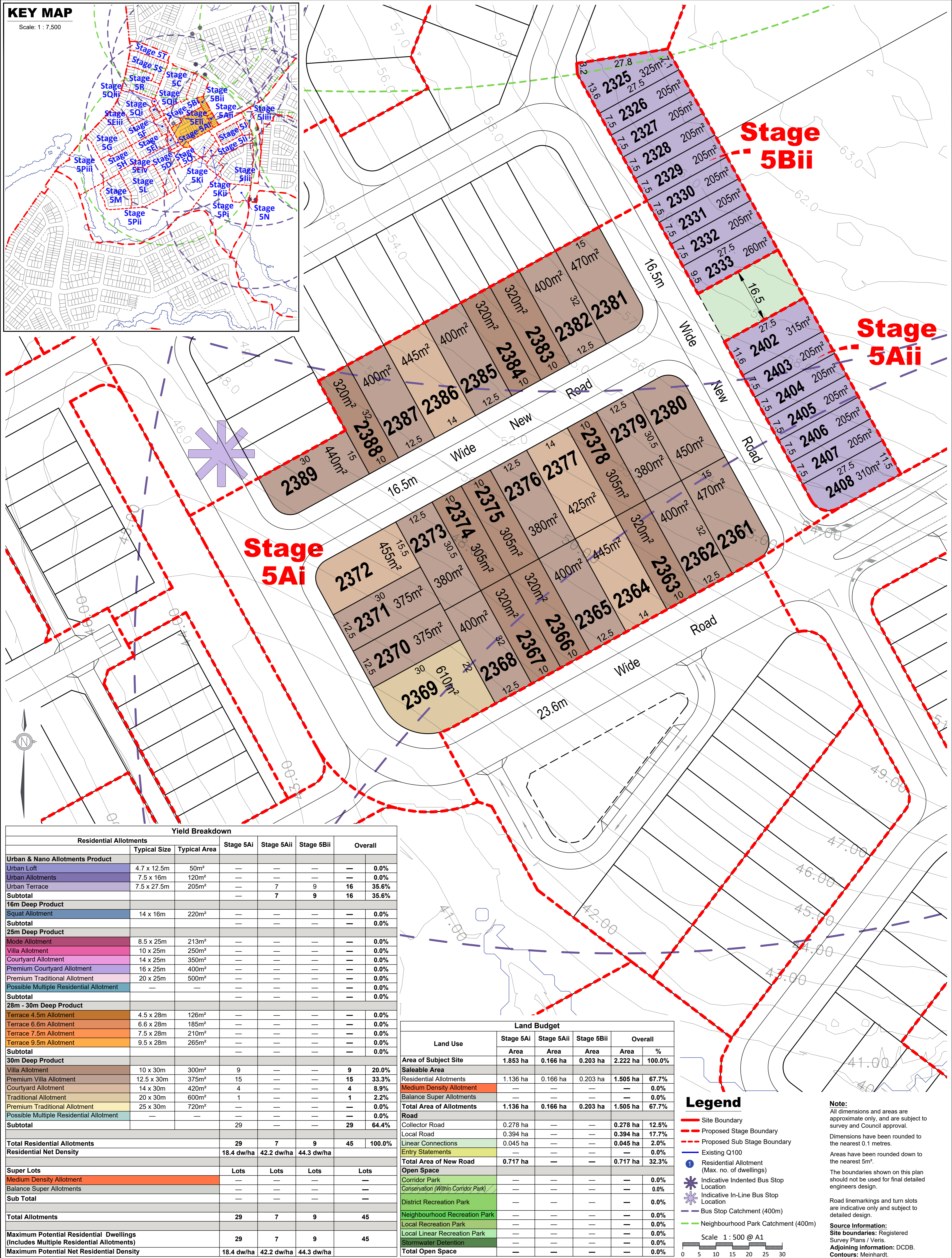
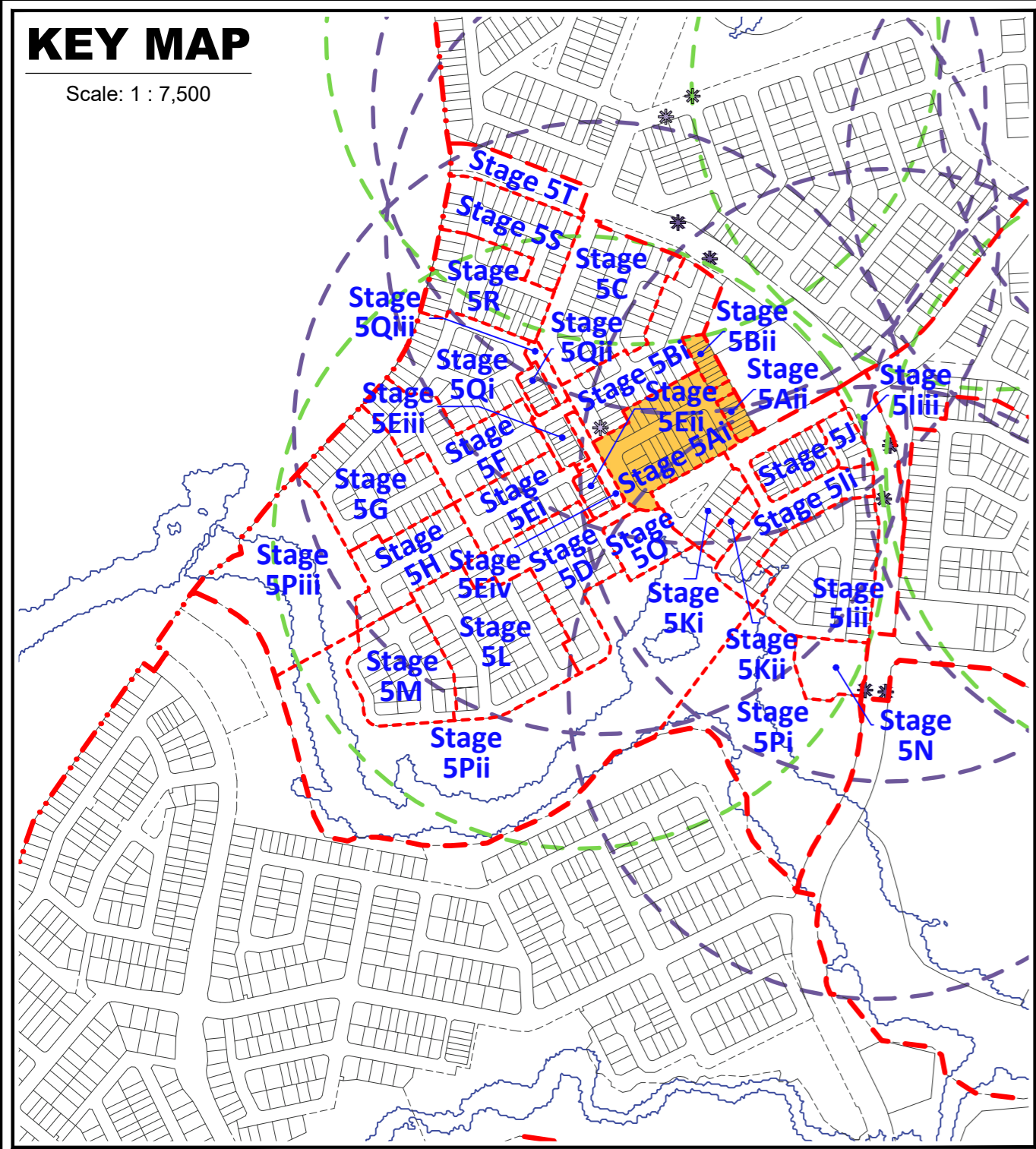
Approval no: DEV2012/403/85  
Date: 28 April 2023



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W rpsgroup.com

Scale	Sheet	Plan Ref	Rev
1 : 750	A1	110056 – 408	AG



Yield Breakdown							
Residential Allotments			Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall	
	Typical Size	Typical Area					
Urban & Nano Allotments Product							
Urban Loft	4.7 x 12.5m	50m²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m²	—	7	9	16	35.6%
Subtotal			—	7	9	16	35.6%
16m Deep Product							
Squat Allotment	14 x 16m	220m²	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
25m Deep Product							
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	—	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
28m - 30m Deep Product							
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
30m Deep Product							
Villa Allotment	10 x 30m	300m²	9	—	—	9	20.0%
Premium Villa Allotment	12.5 x 30m	375m²	15	—	—	15	33.3%
Courtyard Allotment	14 x 30m	420m²	4	—	—	4	8.9%
Traditional Allotment	20 x 30m	600m²	1	—	—	1	2.2%
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal			29	—	—	29	64.4%
Total Residential Allotments			29	7	9	45	100.0%
Residential Net Density			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha		
Super Lots			Lots	Lots	Lots	Lots	
Medium Density Allotment							
Balance Super Allotments			—	—	—	—	
Sub Total			—	—	—	—	
Total Allotments			29	7	9	45	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			29	7	9	45	
Maximum Potential Net Residential Density			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha		

Land Budget					
Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall	
	Area	Area	Area	Area	%
Area of Subject Site	1.853 ha	0.166 ha	0.203 ha	2.222 ha	100.0%
Saleable Area					
Residential Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha	67.7%
Medium Density Allotment	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	0.0%
Total Area of Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha	67.7%
Road					
Collector Road	0.278 ha	—	—	0.278 ha	12.5%
Local Road	0.394 ha	—	—	0.394 ha	17.7%
Linear Connections	0.045 ha	—	—	0.045 ha	2.0%
Entry Statements	—	—	—	—	0.0%
Total Area of New Road	0.717 ha	—	—	0.717 ha	32.3%
Open Space					
Corridor Park	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.0%

**Legend**

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

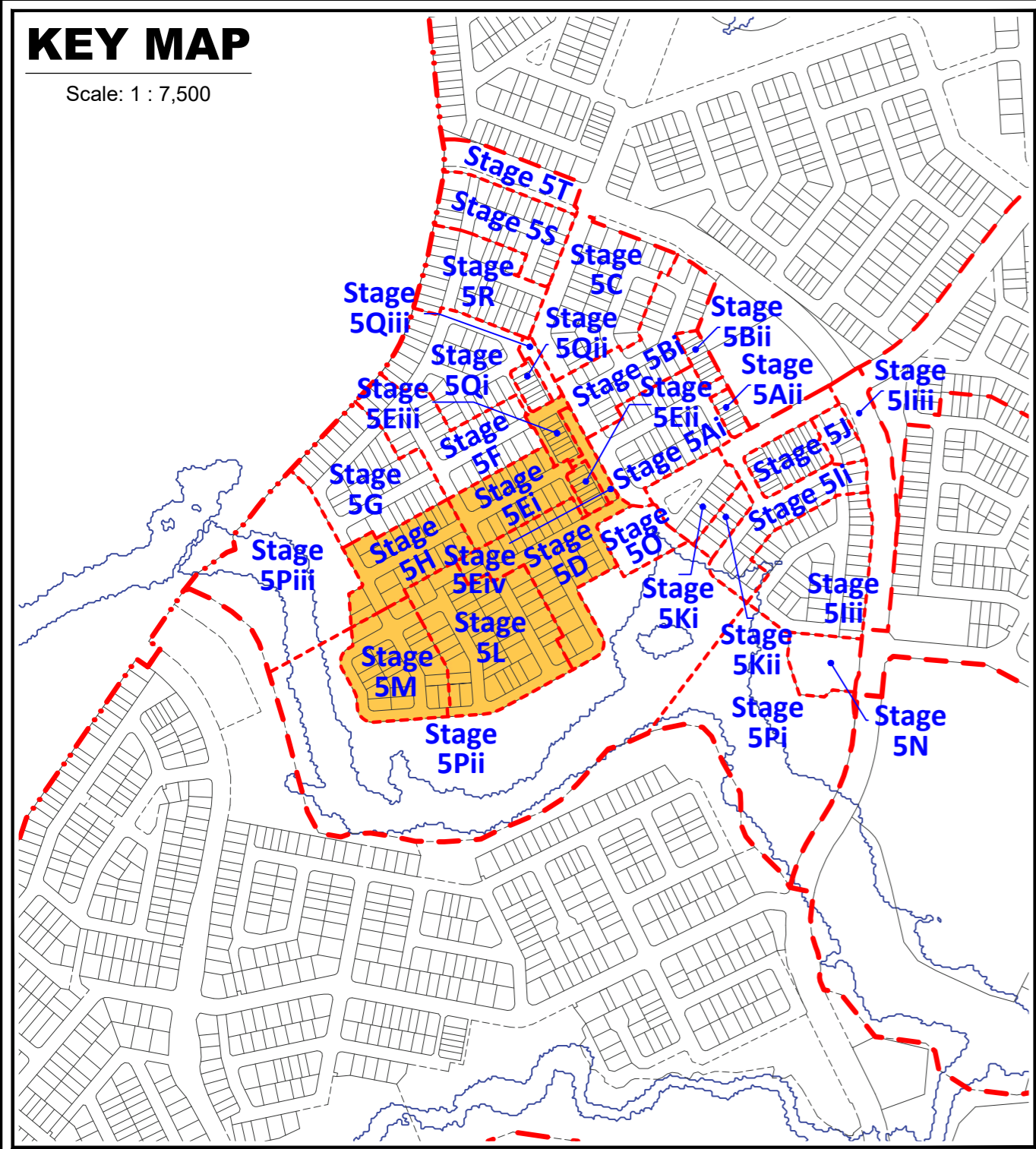
**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

Scale 1 : 500 @ A1

0 5 10 15 20 25 30





## Legend

### General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

### Open Space

- Local Linear Recreation Park
- Linear Connections

### Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements

### Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

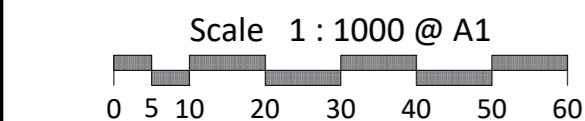
Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
**Site boundaries:** Registered Survey Plans / Veris.  
**Adjoining information:** DCDB.  
**Contours:** Meinhardt.



## Notes:

### General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

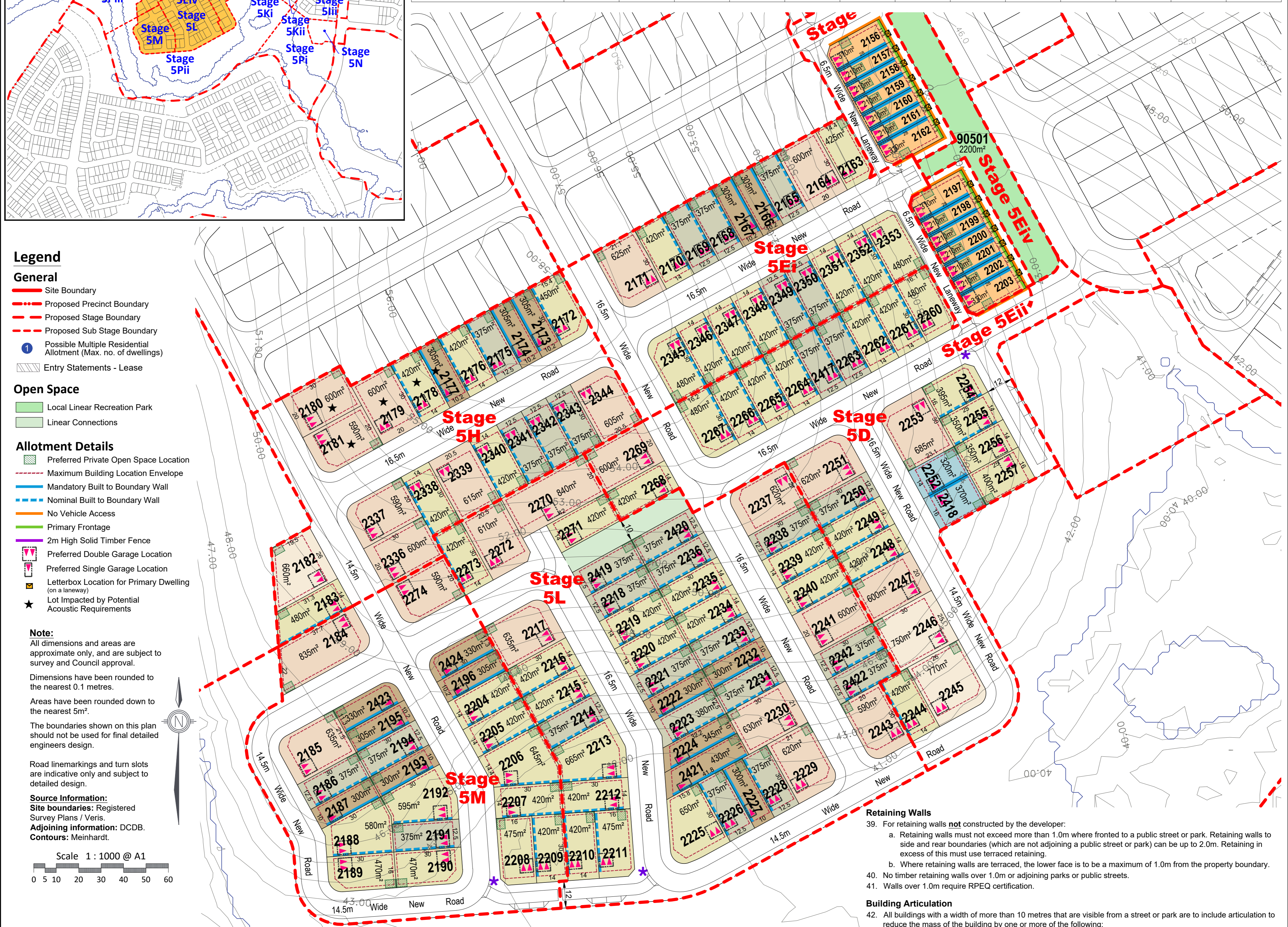
### Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Leaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that ACut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

### Private Open Space

- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres (no roof) except for Urban Loft allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom - 9m<sup>2</sup> (minimum dimension of 2.4m);
  - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear Additional setback required on some allotments - refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *	
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		



### Retaining Walls

- For retaining walls **not** constructed by the developer:
  - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
  - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

### Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carparks and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

### Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

### Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

### Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION		PROJECT		CLIENT		PEET		PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL		Scale		Sheet		Plan Ref		Rev	
Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AB: 16/06/2022 Temporary STF Notation AC: 20/09/2022 Stage 3 & 5 Layout Changes AD: 14/11/2022 Stage 5 Boundary Changes AE: 10/01/2023 Stage 3 & 4 Layout Changes AF: 24/02/2023 Stage 3 & 5 Layout Changes AG: 20/03/2023 Stage 3 & 5 Layout Changes AH: 13/04/2023 Stage 3 & 5 Layout Changes		<b>Flagstone Precinct 1</b>		Economic Development Queensland		Plan of Development Stage 5D, Ei, Eii, Eiii, H, L & M Residential Allotments		Approval no: DEV2012/403/85 Date: 28 April 2023		1 : 1000		A1		110056 - 411		AG	
Job Ref. 110056		Date. 13 April 2023		Comp By. NF		DWG Name. Precinct 1 Stage 5		Chk'd By. MD		Locality. Flagstone		Local Authority. Economic Development Queensland					

## Scale: 1 : 7.500



 Site Boundary  
 Proposed Precinct Boundary  
 Proposed Stage Boundary  
 Proposed Sub Stage Boundary  
 Possible Multiple Residential Allotment (Max. no. of dwellings)

 Local Linear Recreation Park  
 Linear Connections

-  Preferred Private Open Space Location
-  Maximum Building Location Envelope
-  Mandatory Built to Boundary Wall
-  Nominal Built to Boundary Wall
-  No Vehicle Access
-  Primary Frontage
-  2m High Solid Timber Fence
-  Preferred Double Garage Location
-  Preferred Single Garage Location
-  Letterbox Location for Primary Dwelling (on a laneway)
-  Lot Impacted by Potential Acoustic Requirements
-  Bin Pad

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

**Site boundaries:** Registered Survey Plans / Veris.  
**Adjoining information:** DCDB.  
**Contours:** Meinhardt.

1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
7. Provisions in this PCO do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

9. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
10. The location of the built to boundary walls are indicated on the Plan of Development Table. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
11. Boundary setbacks are measured to the wall of the structure.
12. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
13. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
14. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
15. If a fenced retaining wall is adopted as a boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
16. Lots 2501 - 2505 require a 2.5m rear setback.
17. For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
18. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
19. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Model and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

20. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
21. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
  - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
22. Private open space must be directly accessible from a living space.

23. On-site car parking is to be provided in accordance with the following minimum requirements:

- For lots up to 12.4 metres wide - 1 covered space per dwelling;
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

24. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:

- a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m;
- b. The garage door:
  - i. Width must not exceed 4.8m

42. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:

- Windows recessed into the façade or bay windows;
- Balconies, porches or verandahs;
- Articulation of roof lines
- Window hoods; and/or
- Use of multiple cladding materials

which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.

44. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

45. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs.

46. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.

47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.

48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.

49. Screened drying and rubbish bins area must be behind the main face of the dwelling.

49. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

50. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
51. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
52. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

53. Buildings must address all street frontages with driveways, pedestrian entries or both.
54. All dwellings must have a clearly identifiable front door, which is undercover.
55. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screened from public streets and park frontages.
56. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

57. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
58. Materials, detailing, colours and roof form are consistent with those of the primary house.
59. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
60. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
61. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
62. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
63. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
64. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
65. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

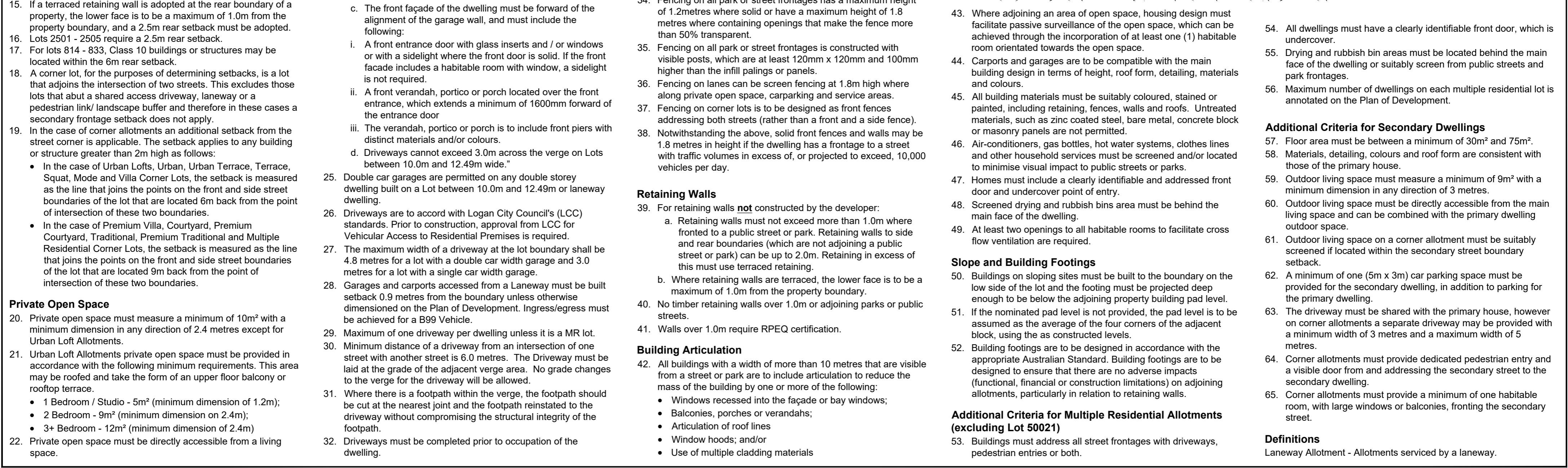
**Laneway Allotment - Allotments serviced by a laneway.**

<div>REVISION</div> <div>Y: 12/05/2022 Stage 5 Layout Change Z: 08/05/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 &amp; 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 &amp; 4 Layout Changes AE: 24/02/2023 Stage 3 &amp; 5 Layout Changes AF: 20/03/2023 Stage 3 &amp; 5 Layout Changes AG: 13/04/2023 Stage 3 &amp; 5 Layout Changes</div>	<div>PROJECT</div> <div><div>Flagstone Precinct 1</div><div><div>Job Ref. 110056</div><div>Date. 13 April 2023</div><div>Comp By. NF</div><div>DWG Name. Precinct 1 Stage 5</div><div>Chk'd By. MD</div><div>Locality. Flagstone</div></div><div>Local Authority. Economic Development Queensland</div></div>	<div>CLIENT</div> <div><div>PEET</div><div>Plan of Development Stage 5F, G, Qi &amp; Qii Residential Allotments</div></div>	<div><div>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</div><div>Approval no: DEV2012/403/85 Date: 28 April 2023</div></div>	<div><div><div><div><div>URBAN DESIGN</div><div>Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4008 T +61 7 3539 9500 W rpsgroup.com</div></div><div><div><div><div>QUEENSLAND GOVERNMENT</div><div>© COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author.</div></div><div><div><div>Scale</div><div>1 : 1000</div></div><div><div>Sheet</div><div>A1</div></div><div><div>Plan Ref</div><div>110056 – 412</div></div><div><div>Rev</div><div>AG</div></div></div></div></div></div></div></div>
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# KEY MAP

Scale: 1 : 7,500

This key map illustrates the layout of the proposed development, divided into 28 numbered stages. The stages are color-coded: orange for the northernmost section (Stages 5T, 5S, 5C, 5R, 5Qii, 5Bii, 5Aii, 5Iii), red for the central section (Stages 5Qiii, 5Qii, 5Eii, 5I, 5G, 5H, 5Eiv, 5D, 5O, 5Ki, 5Iii, 5Pi, 5N), and blue for the southern section (Stages 5Pii, 5M, 5L, 5Kii, 5Pi, 5N). The map also shows surrounding infrastructure, including roads, water bodies, and existing buildings.



# Plan of Development Stage 5Bi, C, R, S & T Residential Allotments

<p><b>PLANS AND DOCUMENTS</b> referred to in the <b>PDA</b> <b>DEVELOPMENT APPROVAL</b></p> <p><b>Approval no:</b> DEV2012/403/85 <b>Date:</b> 28 April 2023</p>		 <p>Queensland Government</p>	 <p>© COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author.</p>	<p><b>URBAN DESIGN</b> Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W <a href="http://psigroup.com">psigroup.com</a></p>
Scale	Sheet	Plan Ref	Rev	
1 : 750	A1	<b>110056 – 413</b>	<b>AG</b>	

Scale: 1 : 7,500



1. A development is not to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
10. The location of the lot to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
11. Boundary setbacks are measured to the wall of the structure.
12. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
13. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
14. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
15. If a retaining wall is present along the rear boundary of a property, the lower face is to be a maximum of 1.0m from the lot boundary, and a 2.5m rear setback must be adopted.
16. Lots 2501 - 2505 require a 2.5m rear setback.
17. For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
18. A corner lot, for the purposes of determining setbacks, is a lot that adjoins lots, the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
19. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
- In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

20. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.

21. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
- 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
  - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)

23. On-site car parking is to be provided in accordance with the following minimum requirements:

- For lots up to 12.4 metres wide - 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
24. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria
- a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m

- b. The garage door:
  - i. Width must not exceed 4.8m

- iii. Must have a minimum 450mm eave above it
  - iv. Must be setback a minimum of 200mm behind the pillar of the garage door, and;
  - v. Must have a sectional, tilt or roller door.
- c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
- i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
  - ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
  - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.

- d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.”
25. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
26. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
27. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
28. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.

**Note:**

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

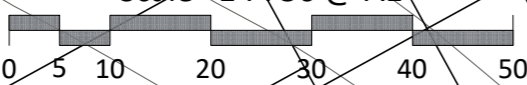
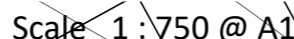
Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

### Source Information

**Site boundaries:** Registered  
Survey Plans / Veris.  
**Adjoining information:** DCDB.  
**Contours:** Meinhardt.



29. Maximum of one driveway per dwelling unless it is a MR lot.
30. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
31. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
32. Driveways must be completed prior to occupation of the dwelling.

33. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.

34. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
35. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the rail palings or panels.
36. Fencing on any can be screen fencing at 1.8m high where along private open space, carparking and service areas.
37. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
38. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

39. For retaining walls **not** constructed by the developer:

- a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
- b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
40. No timber retaining walls over 1.0m or adjoining parks or public streets.
41. Walls over 1.0m require RPEQ certification.

42. All buildings with a width of more than 10 metres that are visible

- from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
43. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
44. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
45. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
46. Air-conditioning, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
47. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
48. Screened drying and rubbish bins areas must be behind the main face of the dwelling.
49. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

50. Buildings on sloping sites must be built to the boundary on the

- low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
51. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
52. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

53. Buildings must address all street frontages with driveways, pedestrian entries or both.
54. All dwellings must have a clearly identifiable front door, which is undercover.
55. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
56. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

### Additional Criteria for Secondary Dwellings

57. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
58. Materials, detailing, colours and roof form are consistent with those of the primary house.
59. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
60. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
61. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
62. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
63. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
64. Corner allotments must provide dedicated pedestrian entry and visible door from and addressing the secondary street to the secondary dwelling.
65. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

## Definitions


Laneway Allotment - Allotments serviced by a laneway.


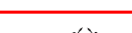
**General:**

-  Site Boundary
-  Proposed Precinct Boundary
-  Proposed Stage Boundary
-  Proposed Sub Stage Boundary
-  Possible Multiple Residential Allotment (Max. no. of dwellings)

-  Conservation Park
-  Corridor Park
-  Neighbourhood Recreation Park
-  Local Recreation Park
-  Linear Connections

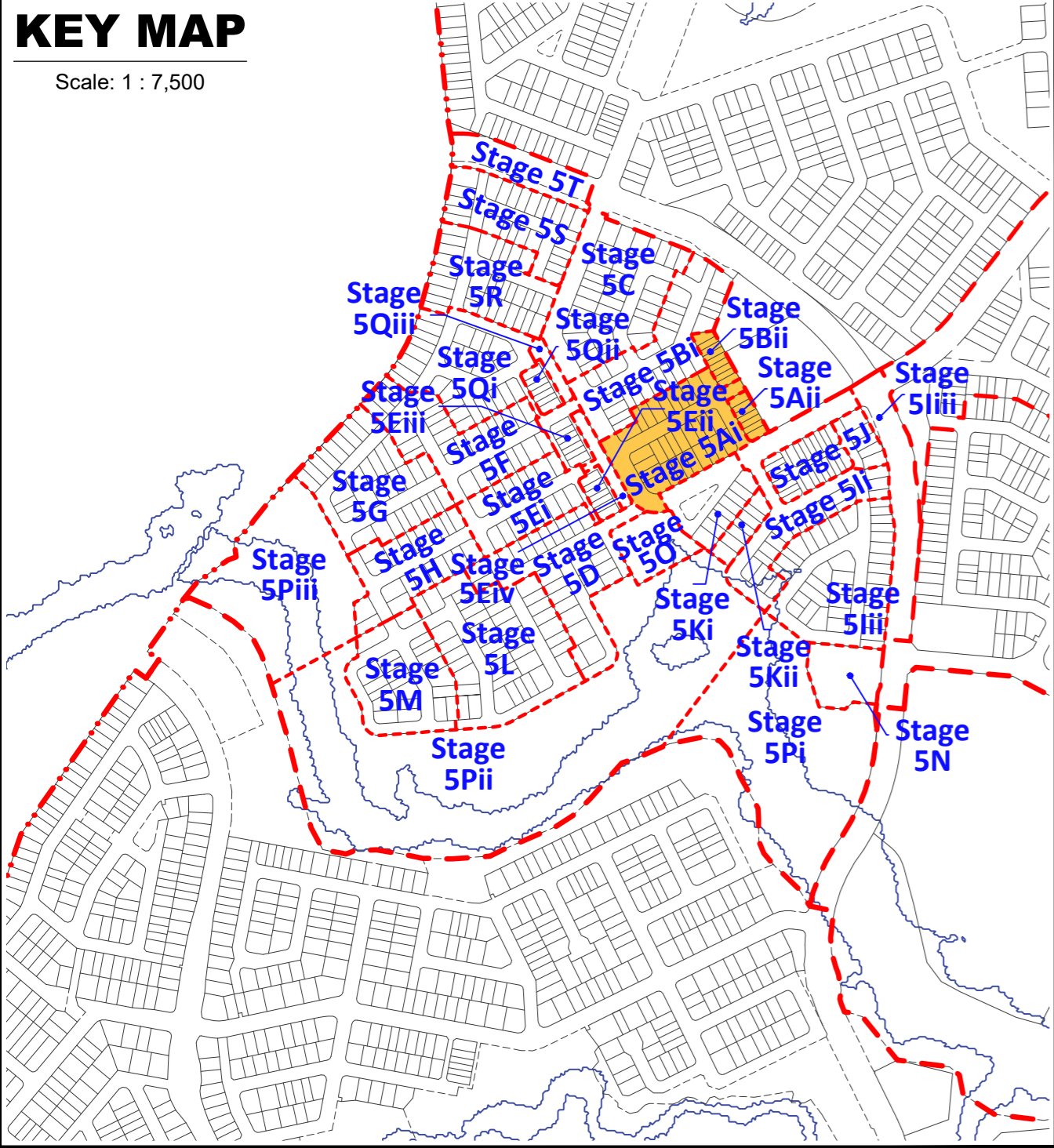
 Preferred Private Open Space Location

-  Maximum Building Location Envelope
-  Mandatory Built to Boundary Wall
-  Nominal Built to Boundary Wall
-  No Vehicle Access
-  Primary Frontage
-  2m High Solid Timber Fence
-  Preferred Double Garage Location
-  Preferred Single Garage Location
-  Letterbox Location for Primary Dwelling (on a laneway)
-  Lot Impacted by Potential Acoustic Requirements
-  Bin Pad

<div>REVISION</div> <div>J: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 &amp; 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 &amp; 4 Layout Changes AE: 24/02/2023 Stage 3 &amp; 5 Layout Changes AF: 20/03/2023 Stage 3 &amp; 5 Layout Changes AG: 13/04/2023 Stage 3 &amp; 5 Layout Changes</div>	<div>PROJECT</div> <div>Flagstone Precinct 1</div>		<div>CLIENT</div> <div>PEET</div> <div>Plan of Development Stage 5Ii, Iii, Ji, Jii, K, N, O &amp; P Residential Allotments</div>	<div>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</div> <div>Approval no: DEV2012/403/85 Date: 28 April 2023</div>		<div></div> <div>© COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author.</div>	<div>URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com</div>
	<div>Job Ref.</div> <div>110056</div>	<div>Date.</div> <div>13 April 2023</div>					
	<div>Comp By.</div> <div>NF</div>	<div>DWG Name.</div> <div>Precinct 1 Stage 5</div>					
	<div>Chk'd By.</div> <div>MD</div>	<div>Locality.</div> <div>Flagstone</div>					
	<div>Local Authority.</div> <div>Economic Development Queensland</div>						
				<div>Scale</div> <div>1 : 750</div>	<div>Sheet</div> <div>A1</div>	<div>Plan Ref</div> <div>110056 – 414</div>	<div>Rev</div> <div>AG</div>

Scale: 1 : 7.500

Scale: 1 : 7.500



**Note:**

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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m<sup>2</sup>.






The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.


**Source Information:**  
**Site boundaries:** Registered  
 Survey Plans / Veris.  
**Adjoining information:** DCDB.  
**Contours:** Meinhardt.

### Legend












## General

-  Site Boundary
-  Proposed Precinct Boundary
-  Proposed Stage Boundary
-  Proposed Sub Stage Boundary
-  Possible Multiple Residential Allotment (Max. no. of dwellings)

## Open Space

-  Linear Connections

**Allotment Details**

  -  Preferred Private Open Space Location
  -  Maximum Building Location Envelope
  -  Mandatory Built to Boundary Wall
  -  Nominal Built to Boundary Wall
  -  No Vehicle Access
  -  Primary Frontage
  -  2m High Solid Timber Fence
  -  Preferred Double Garage Location
  -  Preferred Single Garage Location
  -  Letterbox Location for Primary Dwelling (on a laneway)
  -  Lot Impacted by Potential Acoustic Requirements

### Notes:

## General

1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. Second dwellings are not permitted on lots less than 400m<sup>2</sup>.
7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

## Setbacks

9. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
11. Boundary setbacks are measured to the wall of the structure.
12. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
13. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
14. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
15. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
16. Lots 2501 - 2505 require a 2.5m rear setback.
17. For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
18. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary (frontage) setback does not apply.
19. In the case of corner allotments, additional setbacks from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mead and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

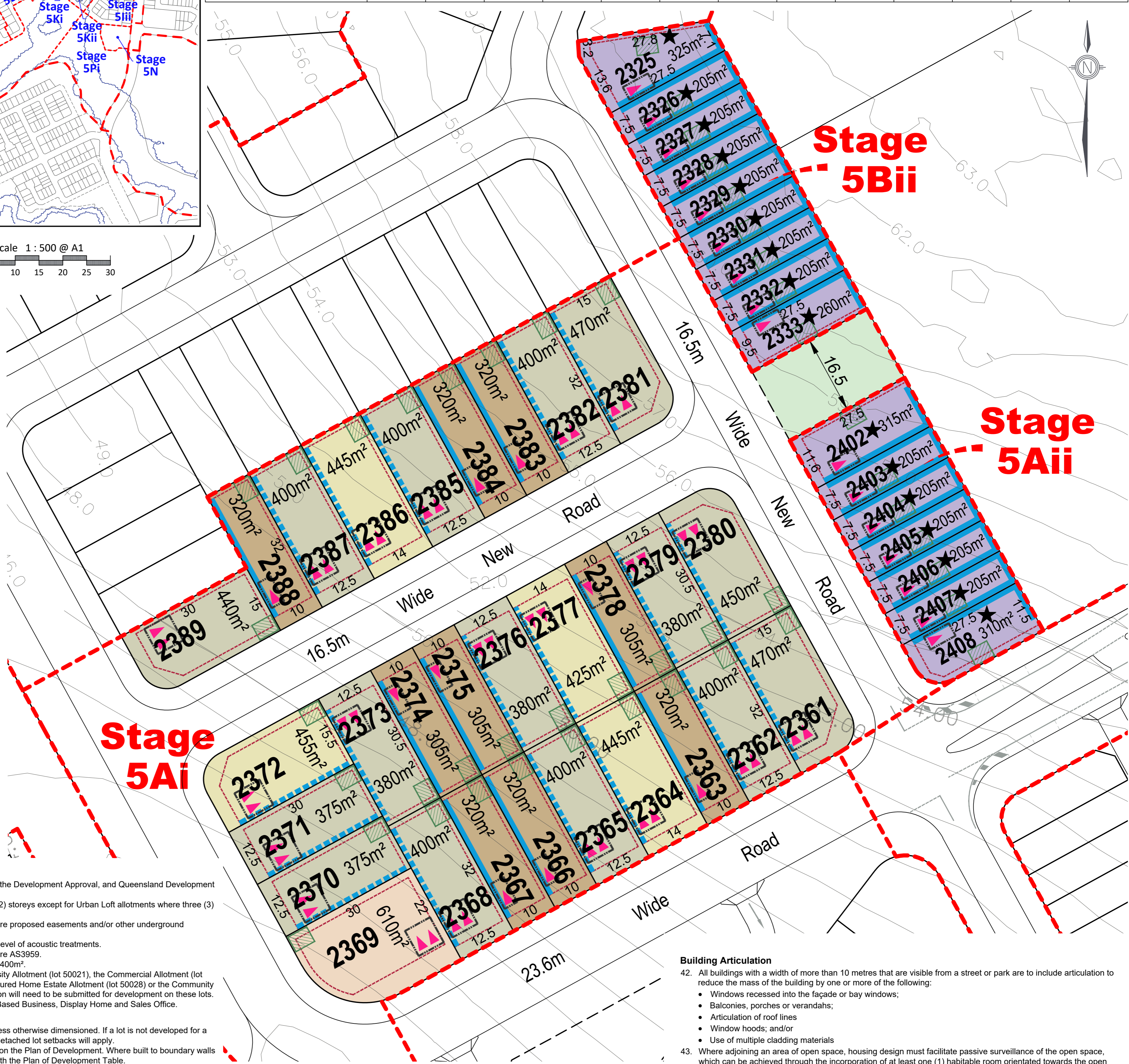
### Private Open Space

20. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
21. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
  - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
22. Private open space must be directly accessible from a living space.

### On-site car parking and driveways

23. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide - 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
24. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
- a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - b. The garage door:
    - i. Width must not exceed 4.8m
    - ii. Must have a minimum 450mm eave above it
    - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
    - iv. Must have a sectional, tilt or roller door.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m		
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a		
Rear * Additional setback required on some allotments - refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *		
Side - General Lots																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a		
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a			
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
Laneway Lots																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a		
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%			



## Building Articulation

42. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
43. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room oriented towards the open space.
44. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
45. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
46. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
47. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
48. Screened drying and rubbish bins area must be behind the main face of the dwelling.
49. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

## Slope and Building Footings

50. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
51. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
52. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

53. Buildings must address all street frontages with driveways, pedestrian entries or both.
54. All dwellings must have a clearly identifiable front door, which is undercover.
55. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
56. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

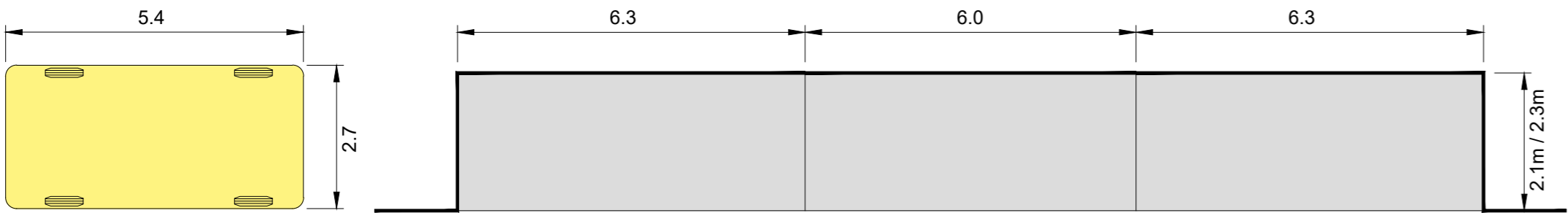
### Additional Criteria for Secondary Dwellings

57. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
58. Materials, detailing, colours and roof form are consistent with those of the primary house.
59. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
60. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
61. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
62. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
63. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
64. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
65. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

## Definitions

Laneway Allotment - Allotments serviced by a laneway.

<div>REVISION</div> <div>Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 &amp; 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 &amp; 4 Layout Changes AE: 24/02/2023 Stage 3 &amp; 5 Layout Changes AF: 20/03/2023 Stage 3 &amp; 5 Layout Changes AG: 13/04/2023 Stage 3 &amp; 5 Layout Changes</div>	<div>PROJECT</div> <div><div><div><div><div></div><div>Flagstone Precinct 1</div></div></div></div><table><tr><td>Job Ref.</td><td>110056</td><td>Date.</td><td>13 April 2023</td></tr><tr><td>Comp By.</td><td>NF</td><td>DWG Name.</td><td>Precinct 1 Stage 5</td></tr><tr><td>Chk'd By.</td><td>MD</td><td>Locality.</td><td>Flagstone</td></tr><tr><td colspan="4">Local Authority. Economic Development Queensland</td></tr></table></div>	Job Ref.	110056	Date.	13 April 2023	Comp By.	NF	DWG Name.	Precinct 1 Stage 5	Chk'd By.	MD	Locality.	Flagstone	Local Authority. Economic Development Queensland				<div>CLIENT</div> <div><div><div><div></div><div>PEET</div></div><div>Plan of Development Stage 5Ai, Aii &amp; Bii Residential Allotments</div></div></div>	<div><div><div>PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL</div><div>Approval no: DEV2012/403/85 Date: 28 April 2023</div></div><div><div><div><div><div></div><div>Queensland Government</div></div><div><div><div></div><div>RPS</div></div><div>© COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author.</div></div></div><div><div>URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3838 8600 W rpsgroup.com</div></div></div></div></div>	<table><tr><td>Scale</td><td>Sheet</td><td>Plan Ref</td><td>Rev</td></tr><tr><td>1 : 500</td><td>A1</td><td>110056 – 415</td><td>AG</td></tr></table>	Scale	Sheet	Plan Ref	Rev	1 : 500	A1	110056 – 415	AG
Job Ref.	110056	Date.	13 April 2023																									
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1 : 500	A1	110056 – 415	AG																									



Parking Bay Diagram

Scale 1 : 100

Typical Indented Parking Bay Arrangement

(In accordance with AS2890)

Scale 1 : 100

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary

Open Space

- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

On-Street Parking

- Indicative Car Park Location
- Indicative Driveway

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

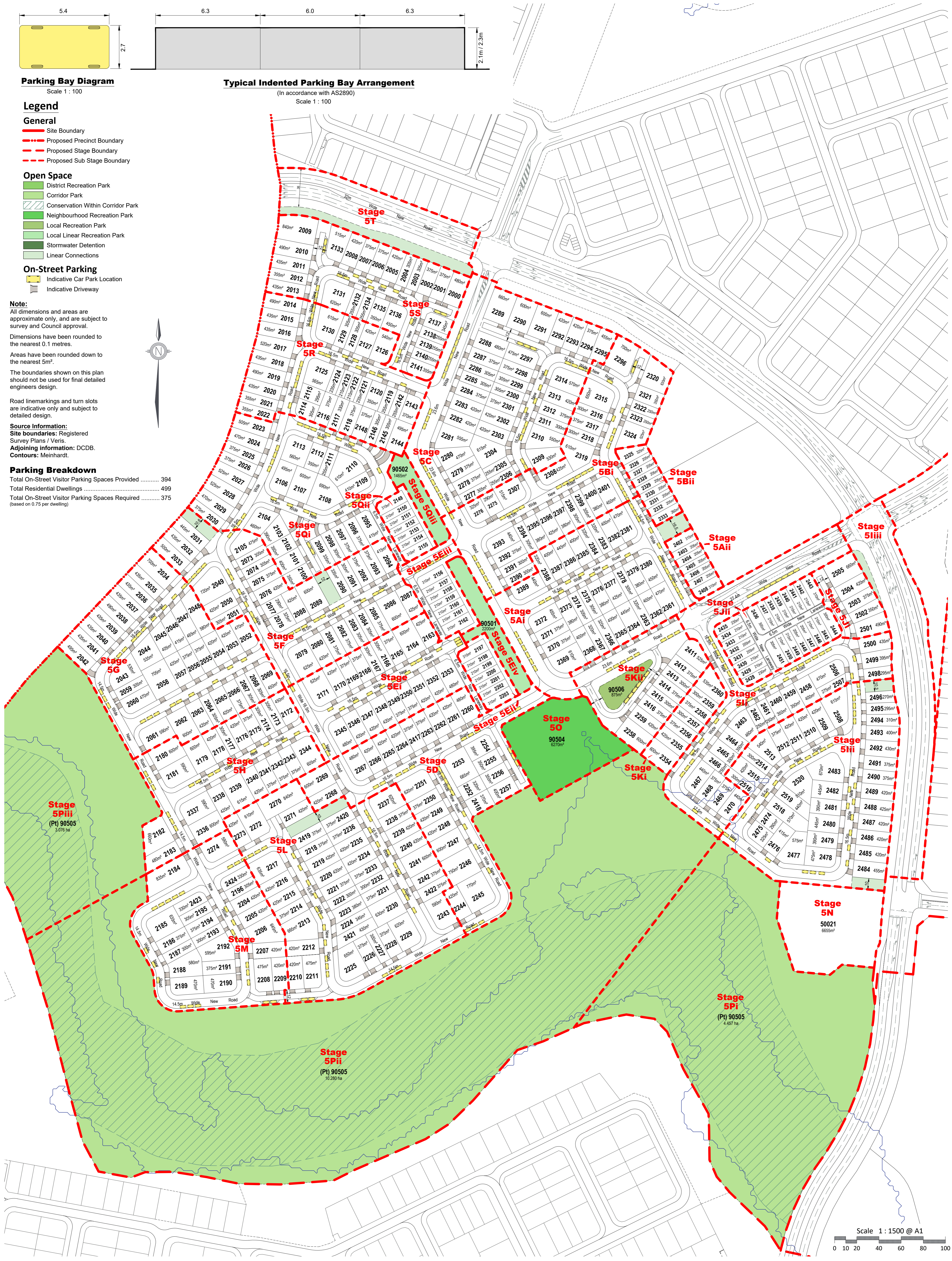
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided ..... 394  
Total Residential Dwellings ..... 499  
Total On-Street Visitor Parking Spaces Required ..... 375  
(based on 0.75 per dwelling)



Scale 1 : 1500 @ A1



REVISION	
Y:	12/05/2022 Stage 5 Layout Change
Z:	08/06/2022 Entry Statement Lease Areas
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Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

CLIENT

PEET

Plan of Development  
Stage 5 Overall  
Parking Management Plan

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85  
Date: 28 April 2023



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Scale  
1 : 1500

Sheet  
A1

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AG