

Residential Allotments			Overall	
	Typical Size	Typical Area		
Urban & Nano Allotments Product				
Urban Loft	4.7 x 11.5m	50m²	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	0.0%
Subtotal			—	0.0%
16m Deep Product				
Squat Allotment	14 x 16m	220m²	4	0.9%
Subtotal			4	0.9%
25m Deep Product				
Mode Allotment	8.5 x 25m	213m²	—	0.0%
Villa Allotment	10 x 25m	250m²	2	0.4%
Courtyard Allotment	14 x 25m	350m²	22	4.9%
Premium Courtyard Allotment	16 x 25m	400m²	9	2.0%
Premium Traditional Allotment	20 x 30m	500m²	—	0.0%
Possible Multiple Residential Allotment	—	—	3	0.7%
Subtotal			36	8.0%
28m Deep Product				
Terrace 7.5m Allotment	7.5 x 28m	210m²	5	1.1%
Terrace 9.5m Allotment	9.5 x 28m	265m²	2	0.4%
Subtotal			7	1.6%
30m Deep Product				
Villa Allotment	10 x 30m	300m²	58	12.9%
Premium Villa Allotment	12.5 x 30m	375m²	115	25.5%
Courtyard Allotment	14 x 30m	420m²	124	27.5%
Traditional Allotment	20 x 30m	600m²	68	15.1%
Premium Traditional Allotment	25 x 30m	720m²	27	6.0%
Possible Multiple Residential Allotment	—	—	12	2.7%
Subtotal			404	89.6%
Total Residential Allotments			451	100%
Residential Net Density			13.5 dw/ha	
Super Lots			Lots	
Commercial Allotment			1	
Community Facility			1	
Balance Super Allotments			4	
Sub Total			6	
Total Allotments			457	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			475	
Maximum Potential Net Residential Density			14.2 dw/ha	

REVISION Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes	
Note: All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m ² . The boundaries shown on this plan should not be used for final detailed engineers design. Road linemarkings and turn slots are indicative only and subject to detailed design. Source Information: Site boundaries: Registered Survey Plans / Venis. Adjoining information: DCDB. Contours: Bradlees.	
<h2 style="text-align: center; margin: 0;">Legend</h2> <div style="display: flex; flex-direction: column; gap: 5px;"> <div>— Site Boundary</div> <div>- - - Proposed Stage Boundary</div> <div>- - - Proposed Sub Stage Boundary</div> <div>— Existing Q100</div> <div>① Possible Multiple Residential Allotment (Max. no. of dwellings)</div> <div> Entry Staircases - Lease</div> <div> Indicative Indented Bus Stop Location</div> <div> Indicative Temporary In-Line Bus Stop Location</div> <div>— Bus Stop Catchment (400m)</div> <div>— Neighbourhood Park Catchment (400m)</div> </div> <div style="display: flex; justify-content: space-between; align-items: center; margin-top: 10px;"> <div style="width: 80%;"> <p style="color: red; margin: 0;">PLANS AND DOCUMENTS</p> <p style="color: red; margin: 0;">DEVELOPMENT APPROVAL</p> <p style="margin: 0;">Approval no: DEV2012/403/85</p> <p style="margin: 0;">Date: 28 April 2023</p> <div style="border-top: 1px solid red; margin: 5px 0;"></div> <p style="margin: 0;">Scale 1 : 2000 @ A1</p> <div style="display: flex; align-items: center; gap: 10px;"> <div style="width: 100%; height: 15px; background: linear-gradient(to right, black 25%, white 25% 50%, white 50% 75%, black 75%);"></div> <div style="text-align: center;">0 20 40 60 80 100 120</div> </div> </div> <div style="width: 15%; text-align: center;"> <small>Queensland Government</small> </div> </div>	
<div style="display: flex; justify-content: space-between;"> <div> <p>CLIENT</p> <h1 style="margin: 0;">PEET</h1> </div> <div> <p>PROJECT</p> <h2 style="margin: 0; text-align: center;">Flagstone Precinct 1</h2> </div> </div>	
<h2 style="margin: 0;">Plan of Subdivision Stage 4 Overall Allotment Layout</h2>	
Date.	13 April 2023
Prepared By.	NF
Checked By.	MD
DWG Name.	Precinct 1 Stage 4
Job Ref.	110056
Local Authority.	Economic Development Queensland
Locality.	Flagstone
Scale	1 : 2000
Plan Ref	Sheet
110056 – 391	A1
	Rev
	AG
<div style="text-align: center;"> <p>URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com</p> </div>	
<small>© COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author.</small>	

Yield Breakdown Stage 4																					
Residential Allotments			Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall	
	Typical Size	Typical Area																			
Urban & Nano Allotments Product																					
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product																					
Squat Allotment	14 x 16m	220m²	—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.9%
Subtotal			—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.9%
25m Deep Product																					
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	2	0.4%
Courtyard Allotment	14 x 25m	350m²	4	—	—	—	—	—	—	—	1	7	7	3	—	—	—	—	—	22	4.9%
Premium Courtyard Allotment	16 x 25m	400m²	2	1	—	—	—	—	—	1	—	4	—	1	—	—	—	—	—	9	2.0%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	1	1	—	—	—	—	—	—	1	—	—	—	—	—	—	—	3	0.7%
Subtotal			6	2	1	—	—	—	—	1	1	14	7	4	—	—	—	—	—	36	8.0%
28m Deep Product																					
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	5	1.1%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	—	2	0.4%
Subtotal			—	—	—	—	—	—	—	—	7	—	—	—	—	—	—	—	—	7	1.6%
30m Deep Product																					
Villa Allotment	10 x 30m	300m²	—	5	6	11	—	—	4	2	9	7	9	5	—	—	—	—	—	58	12.9%
Premium Villa Allotment	12.5 x 30m	375m²	9	13	10	13	—	2	8	10	15	16	12	7	—	—	—	—	—	115	25.5%
Courtyard Allotment	14 x 30m	420m²	12	10	10	18	—	8	7	21	12	8	10	8	—	—	—	—	—	124	27.5%
Traditional Allotment	20 x 30m	600m²	10	6	10	10	—	12	3	9	3	1	3	1	—	—	—	—	—	68	15.1%
Premium Traditional Allotment	25 x 30m	720m²	4	1	4	1	—	6	3	3	3	—	—	2	—	—	—	—	—	27	6.0%
Possible Multiple Residential Allotment	—	—	1	2	—	1	—	1	1	1	1	1	—	3	—	—	—	—	—	12	2.7%
Subtotal			36	37	40	54	—	29	26	46	43	33	34	26	—	—	—	—	—	404	89.6%
Total Residential Allotments			42	39	45	54	—	29	26	47	51	47	41	30	—	—	—	—	—	451	100%
Residential Net Density			14.9 dw/ha	16.1 dw/ha	15.4 dw/ha	15.3 dw/ha	—	9.3 dw/ha	12.6 dw/ha	13.7 dw/ha	15.8 dw/ha	16.2 dw/ha	15.5 dw/ha	12.5 dw/ha	—	—	—	—	—	13.5 dw/ha	
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1	
Community Facility			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1	
Balance Super Allotments			—	—	—	1	1	—	—	—	—	—	—	1	—	—	—	—	1	4	
Sub Total			—	—	—	1	1	—	—	—	—	—	—	1	—	—	—	2	1	6	
Total Allotments			42	39	45	55	1	29	26	47	51	47	41	31	—	—	—	2	1	457	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			44	43	46	56	—	30	28	49	53	49	41	36	—	—	—	—	—	475	
Maximum Potential Net Residential Density			15.6 dw/ha	17.7 dw/ha	15.7 dw/ha	15.9 dw/ha	—	9.6 dw/ha	13.5 dw/ha	14.3 dw/ha	16.4 dw/ha	16.9 dw/ha	15.5 dw/ha	15.0 dw/ha	—	—	—	—	—	14.2 dw/ha	

Land Budget Stage 4

Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4Oi	Stage 4Oii	Stage 4Oi	Stage 4P	Stage 4Q	Overall	
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	3.325 ha	2.427 ha	3.526 ha	4.441 ha	1.716 ha	3.116 ha	2.070 ha	3.429 ha	3.234 ha	2.893 ha	2.640 ha	2.444 ha	0.889 ha	0.914 ha	8.867 ha	6.357 ha	0.864 ha	1.824 ha	246.443 ha	301.419 ha	100.0%
Saleable Area																					
Residential Allotments	2.122 ha	1.812 ha	2.176 ha	2.499 ha	—	1.765 ha	1.437 ha	2.451 ha	2.178 ha	1.935 ha	1.776 ha	1.575 ha	—	—	—	—	—	—	—	21.726 ha	7.2%
Commercial Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1.324 ha	—	1.324 ha	0.4%
Balance Super Allotments	—	—	—	0.201 ha	0.123 ha	—	—	—	—	—	—	0.047 ha	—	—	—	—	—	—	246.443 ha	246.814 ha	81.9%
Community Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.500 ha	—	0.500 ha	0.2%
Total Area of Allotments	2.122 ha	1.812 ha	2.176 ha	2.700 ha	0.123 ha	1.765 ha	1.437 ha	2.451 ha	2.178 ha	1.935 ha	1.776 ha	1.622 ha	—	—	—	—	—	1.824 ha	246.443 ha	270.364 ha	89.7%
Road																					
Collector Road	0.512 ha	—	0.600 ha	0.718 ha	1.428 ha	—	—	—	—	—	—	—	—	—	0.437 ha	—	0.864 ha	—	—	4.559 ha	1.5%
Local Road	0.691 ha	0.615 ha	0.750 ha	0.978 ha	—	1.351 ha	0.566 ha	0.978 ha	0.978 ha	0.958 ha	0.864 ha	0.822 ha	—	—	—	—	—	—	—	9.551 ha	3.2%
Linear Connections	—	—	—	0.045 ha	0.165 ha	—	0.067 ha	—	0.078 ha	—	—	—	—	—	—	—	—	—	—	0.355 ha	0.1%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.203 ha	0.615 ha	1.350 ha	1.741 ha	1.593 ha	1.351 ha	0.633 ha	0.978 ha	1.056 ha	0.958 ha	0.864 ha	0.822 ha	—	—	0.437 ha	—	0.864 ha	—	—	14.465 ha	4.8%
Open Space																					
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	8.430 ha	6.357 ha	—	—	—	14.787 ha	4.9%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.357 ha	—	—	—	6.357 ha	
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	0.889 ha	0.914 ha	—	—	—	—	—	1.803 ha	0.6%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	—	—	—	—	—	—	0.889 ha	0.914 ha	8.430 ha	6.357 ha	—	—	—	16.590 ha	5.5%

REVISION

Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 18/06/2022 Temporary STF Notation
AB: 20/09/2022 Stage 3 & 5 Layout Changes
AC: 14/11/2022 Stage 3 & 5 Boundary Changes
AD: 24/01/2023 Stage 3 & 4 Layout Changes
AE: 24/02/2023 Stage 3 & 5 Layout Changes
AF: 20/03/2023 Stage 3 & 5 Layout Changes
AG: 13/04/2023 Stage 3 & 5 Layout Changes

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered

Survey Plans / Veris.

Adjoining information: DCDB.

Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL.

Approval no: DEV2012/403/85

Date: 28 April 2023



CLIENT

PEET

PROJECT

Flagstone
Precinct 1

Plan of Subdivision
Stage 4 Overall
Statistics

Date: 13 April 2023

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic
Development Queensland

Locality: Flagstone

Scale: NTS

Sheet
A1

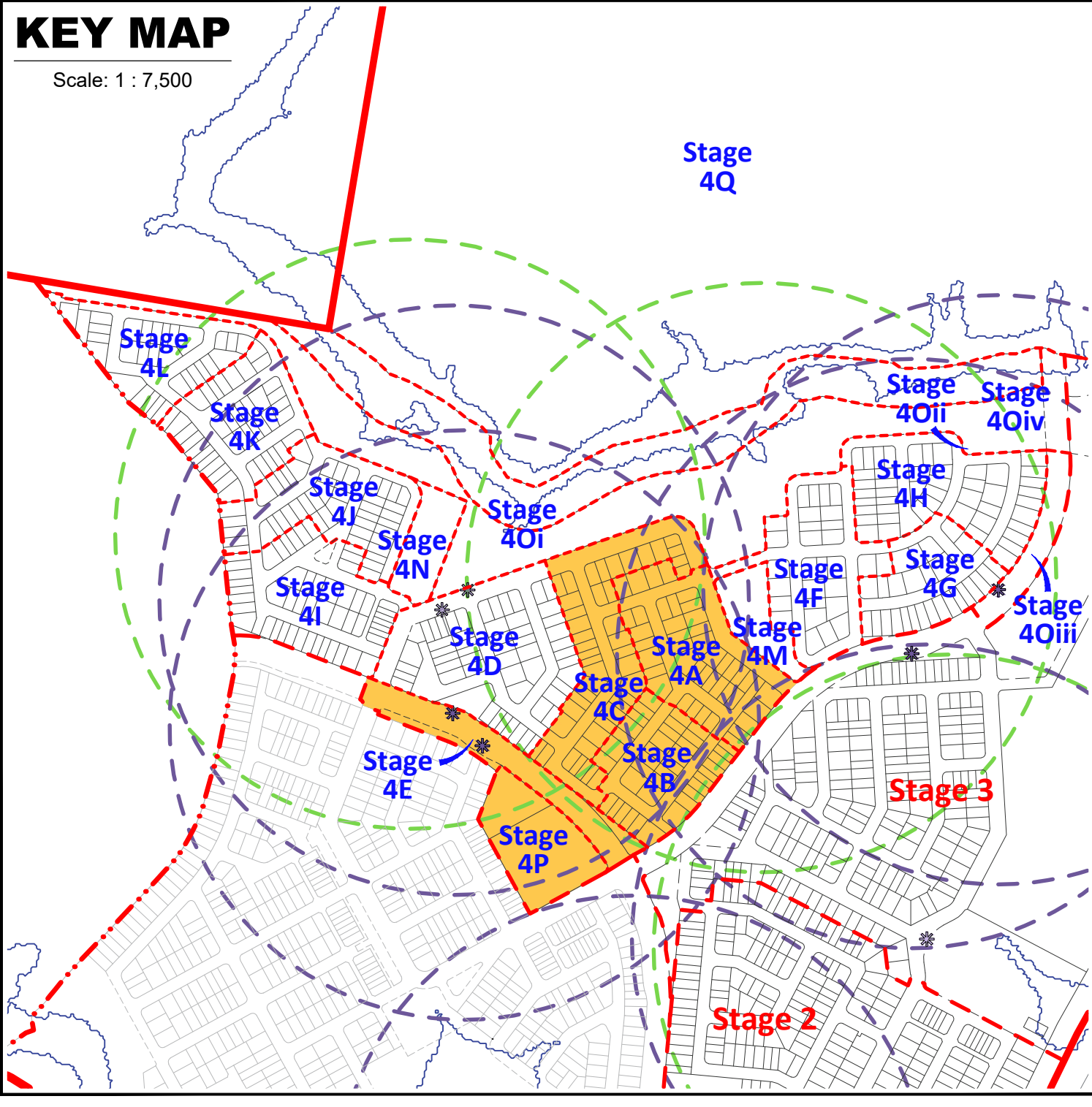
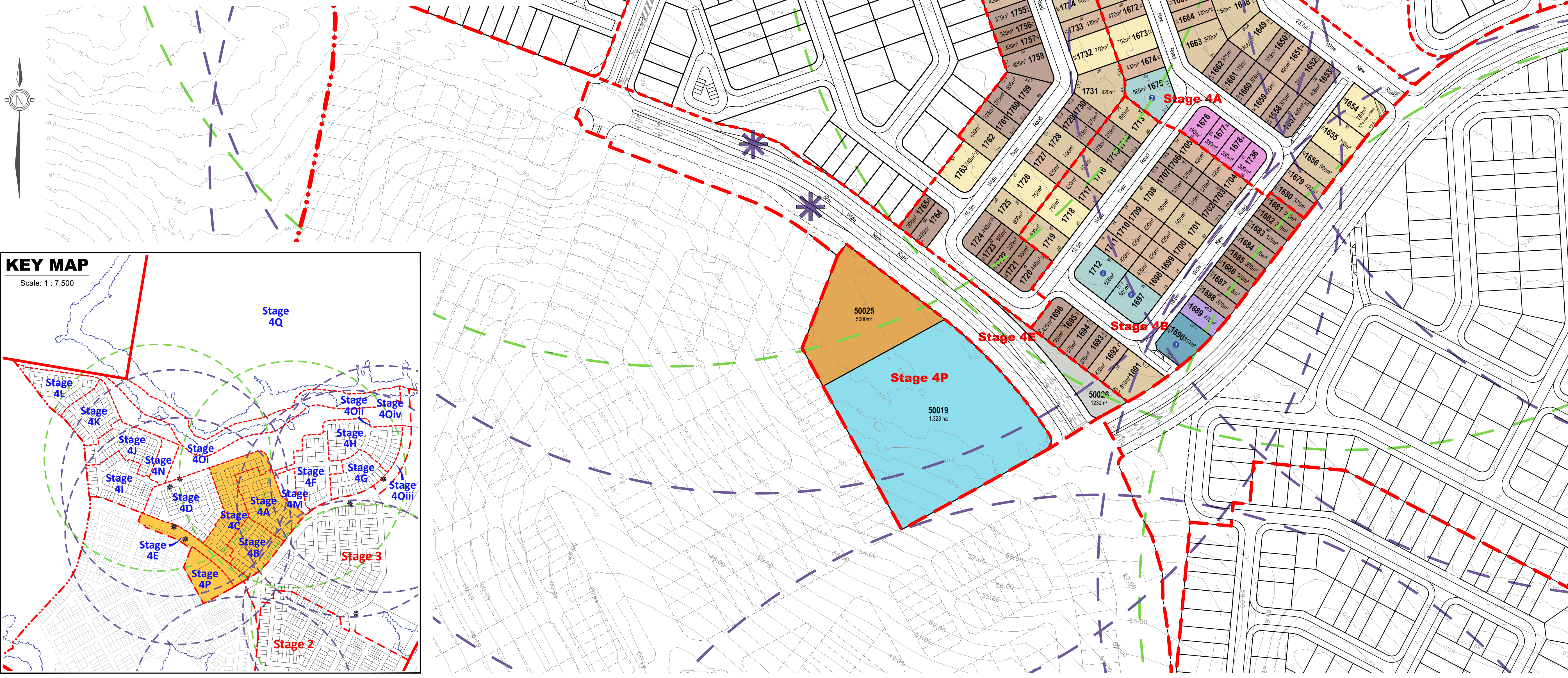
Plan Ref
110056 – 392

Rev
AG

URBAN DESIGN
Level 4 H2 South
520 Wickham Street
PO

Yield Breakdown Stage 4									
Residential Allotments			Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall	
	Typical Size	Typical Area							
Urban & Nano Allotments Product			—	—	—	—	—	—	0.0%
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	0.0%
16m Deep Product									
Squat Allotment	14 x 16m	220m²	—	—	4	—	—	4	3.2%
Subtotal			—	—	4	—	—	4	3.2%
25m Deep Product									
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	4	—	—	—	—	4	3.2%
Premium Courtyard Allotment	16 x 25m	400m²	2	1	—	—	—	3	2.4%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	1	1	—	—	2	1.6%
Subtotal			6	2	1	—	—	9	7.1%
28m Deep Product									
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	0.0%
30m Deep Product									
Villa Allotment	10 x 30m	300m²	—	5	6	—	—	11	8.7%
Premium Villa Allotment	12.5 x 30m	375m²	9	13	10	—	—	32	25.4%
Courtyard Allotment	14 x 30m	420m²	12	10	10	—	—	32	25.4%
Traditional Allotment	20 x 30m	600m²	10	6	10	—	—	26	20.6%
Premium Traditional Allotment	25 x 30m	720m²	4	1	4	—	—	9	7.1%
Possible Multiple Residential Allotment	—	—	1	2	—	—	—	3	2.4%
Subtotal			36	37	40	—	—	113	89.7%
Total Residential Allotments			42	39	45	—	—	126	100%
Residential Net Density			14.9 dw/ha	16.1 dw/ha	15.4 dw/ha	—	—		
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	1	1	
Community Facility			—	—	—	—	1	1	
Balance Super Allotments			—	—	—	1	—	1	
Sub Total			—	—	—	1	2	3	
Total Allotments			42	39	45	1	2	129	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			44	43	46	—	—	133	

Land Budget Stage 4							
Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall	
Area	Area	Area	Area	Area	Area	Area	%
Saleable Area	3.325 ha	2.427 ha	3.526 ha	1.716 ha	1.824 ha	10.994 ha	112.0%
Residential Allotments	2.122 ha	1.812 ha	2.176 ha	—	—	6.110 ha	55.6%
Commercial Allotment	—	—	—	—	1.324 ha	1.324 ha	12.0%
Balance Super Allotments	—	—	—	0.123 ha	—	0.123 ha	1.1%
Community Facility	—	—	—	—	0.500 ha	0.500 ha	4.5%
Total Area of Allotments	2.122 ha	1.812 ha	2.176 ha	0.123 ha	1.324 ha	7.557 ha	68.7%
Road							
Collector Road	0.512 ha	—	0.600 ha	1.428 ha	—	2.540 ha	23.1%
Local Road	0.691 ha	0.615 ha	0.750 ha	—	—	2.056 ha	18.7%
Linear Connections	—	—	—	0.165 ha	—	0.165 ha	1.5%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	1.203 ha	0.615 ha	1.350 ha	1.593 ha	—	4.761 ha	43.3%
Open Space							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.0%



REVISION

Y: 12/05/2022 Stage 5 Layout Change
Z: 09/06/2022 Entry Statement Lease Areas
AA: 16/06/2022 Temporary STP Notation
AB: 20/09/2022 Stage 3 & 5 Layout Changes
AC: 14/11/2022 Stage 3 & 5 Boundary Changes
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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85
Date: 28 April 2023

Scale 1 : 1500 @ A1

0 10 20 40 60 80 100

CLIENT

PEET

PROJECT

Flagstone Precinct 1

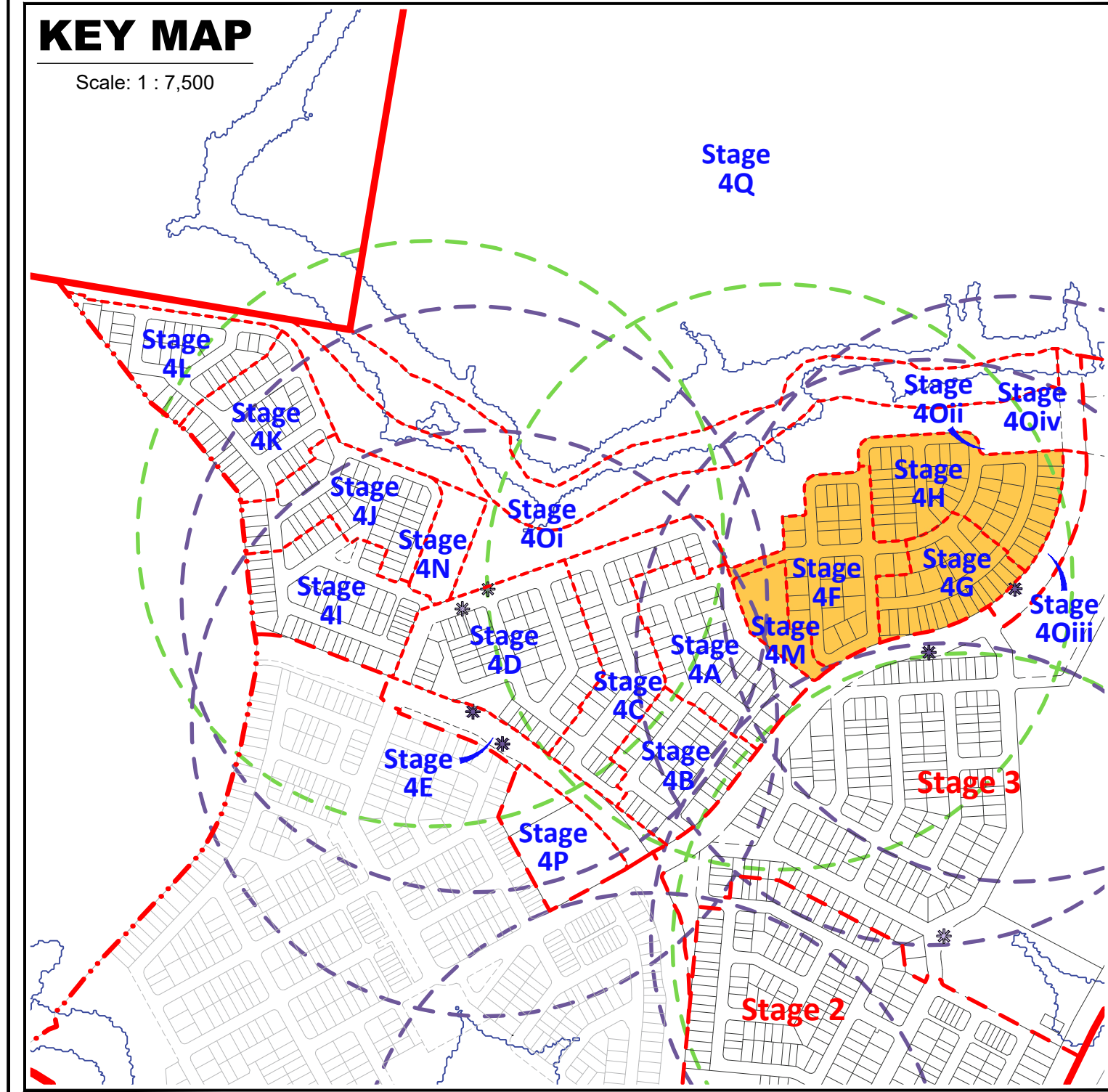
Plan of Subdivision
Stage 4A, B, C & E
Allotment Layout

Date: 13 April 2023
Comp By: NF
Checked By: MD
DWG Name: Precinct 1 Stage 4
Job Ref: 110056
Local Authority: Economic Development Queensland
Locality: Flagstone
Scale: 1 : 1500
Sheet: A1
Plan Ref: 110056 - 393
Rev: AG

URBAN DESIGN
Level 4 H2 South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
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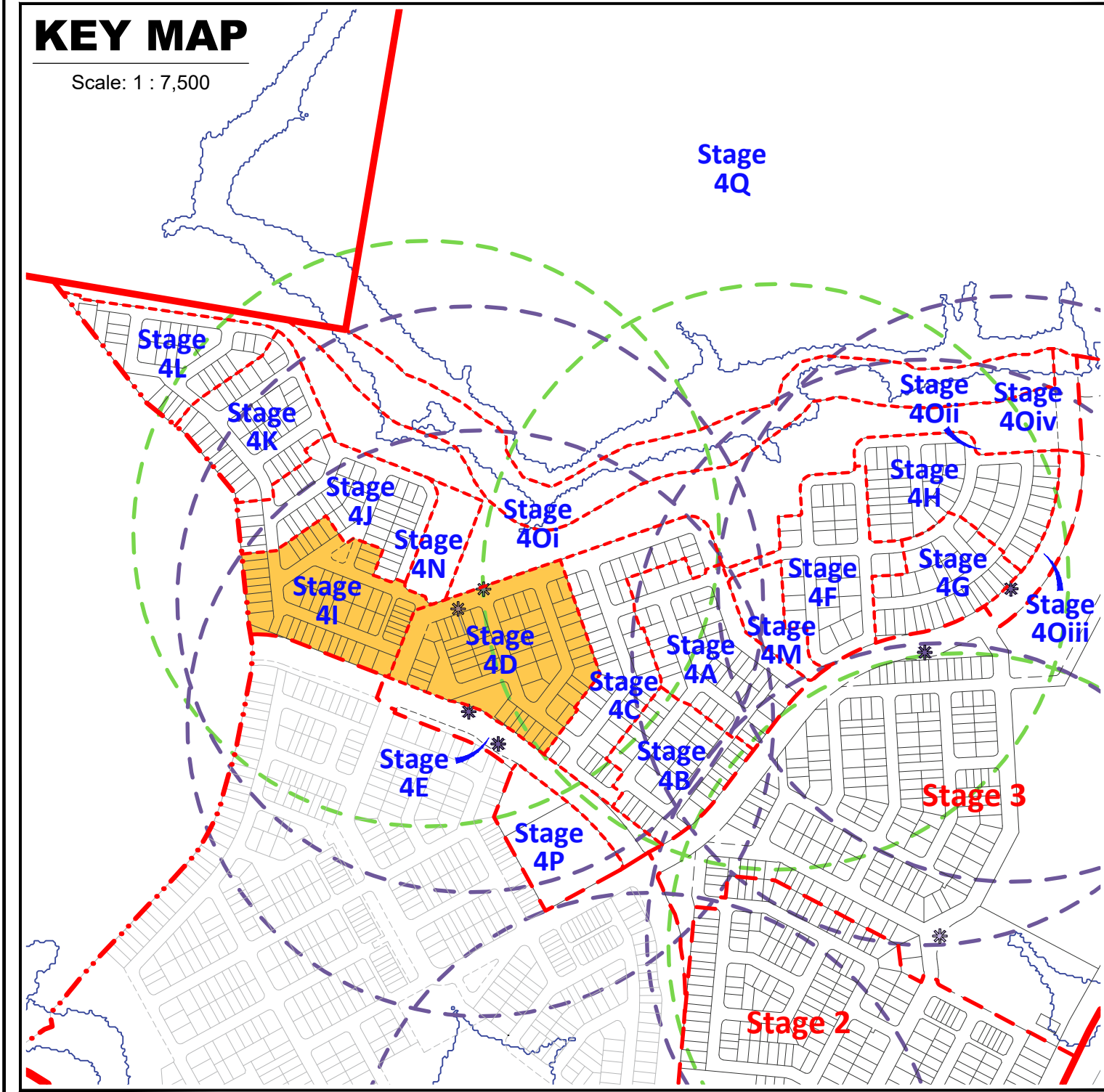
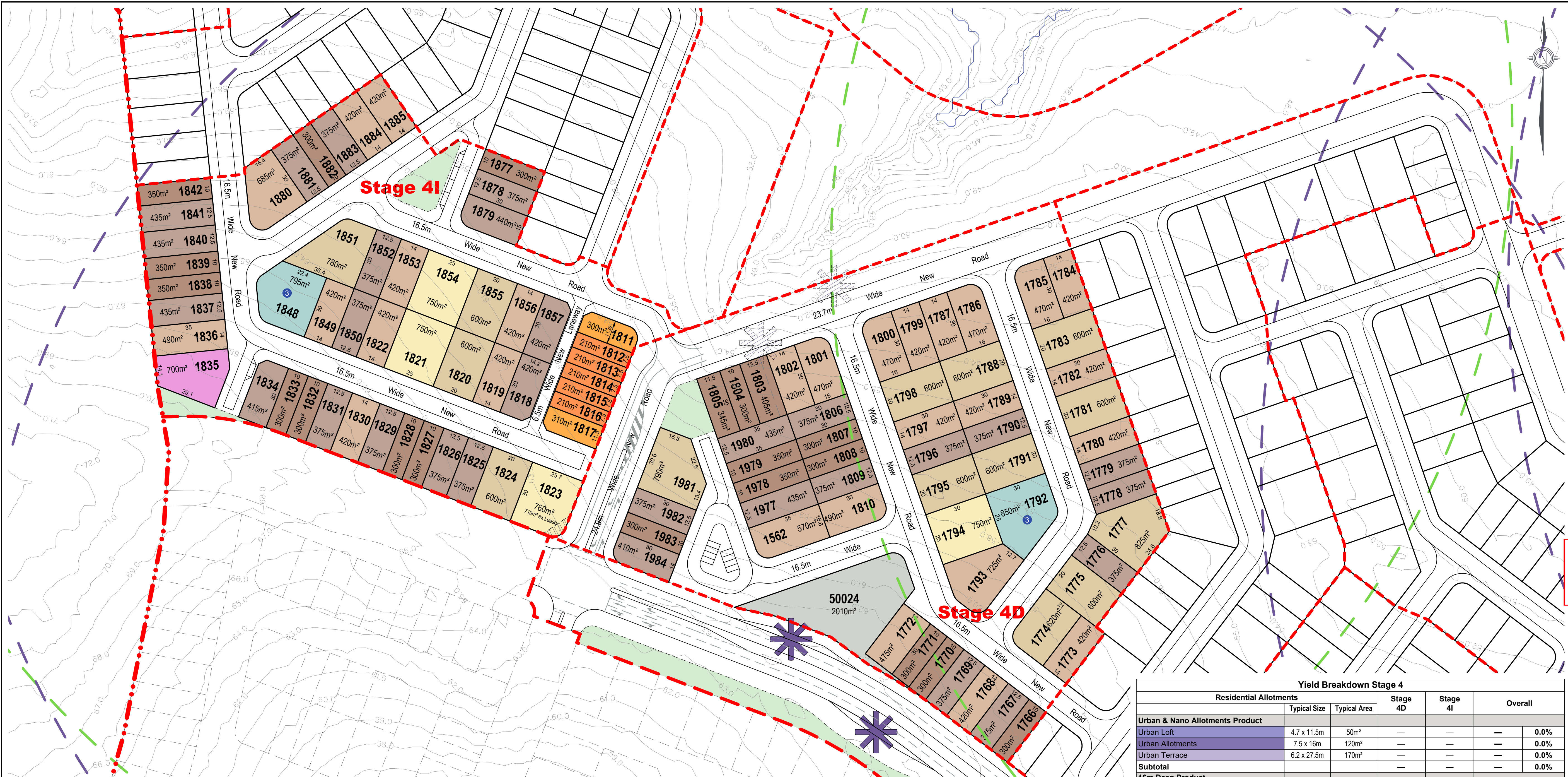
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Residential Allotments			Stage 4F	Stage 4G	Stage 4H	Overall	
	Typical Size	Typical Area					
Urban & Nano Allotments Product							
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
16m Deep Product							
Squat Allotment	14 x 16m	220m²	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
25m Deep Product							
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	—	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	1	1	1.0%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal			—	—	1	1	1.0%
28m Deep Product							
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
30m Deep Product							
Villa Allotment	10 x 30m	300m²	—	4	2	6	5.9%
Premium Villa Allotment	12.5 x 30m	375m²	2	8	10	20	19.6%
Courtyard Allotment	14 x 30m	420m²	8	7	21	36	35.3%
Traditional Allotment	20 x 30m	600m²	12	3	9	24	23.5%
Premium Traditional Allotment	25 x 30m	720m²	6	3	3	12	11.8%
Possible Multiple Residential Allotment	—	—	1	1	1	3	2.9%
Subtotal			29	26	46	101	99.0%
Total Residential Allotments			29	26	47	102	100%
Residential Net Density			9.3 dw/ha	12.6 dw/ha	13.7 dw/ha		
Super Lots			Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	
Community Facility			—	—	—	—	
Balance Super Allotments			—	—	—	—	
Sub Total			—	—	—	—	
Total Allotments			29	26	47	102	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			30	28	49	107	

<p>REVISION</p> <p>Y: 12/05/2022 Stage 5 Layout Change</p> <p>Z: 08/06/2022 Entry Statement Lease Areas</p> <p>AA: 16/06/2022 Temporary STF Notation</p> <p>AB: 20/09/2022 Stage 3 & 5 Layout Changes</p> <p>AC: 14/11/2022 Stage 5 Boundary Changes</p> <p>AD: 10/01/2023 Stage 3 & 4 Layout Changes</p> <p>AE: 24/02/2023 Stage 3 & 5 Layout Changes</p> <p>AF: 20/03/2023 Stage 3 & 5 Layout Changes</p> <p>AG: 13/04/2023 Stage 3 & 5 Layout Changes</p>	
<p>Note:</p> <p>All dimensions and areas are approximate only, and are subject to survey and Council approval.</p> <p>Dimensions have been rounded to the nearest 0.1 metres.</p> <p>Areas have been rounded down to the nearest 5m².</p> <p>The boundaries shown on this plan should not be used for final detailed engineers design.</p> <p>Road line markings and turn slots are indicative only and subject to detailed design.</p> <p>Source Information:</p> <p>Site boundaries: Registered Survey Plans / Veris.</p> <p>Adjoining information: DCDB.</p> <p>Contours: Bradlees.</p>	
<p>Legend</p> <p>— Site Boundary</p> <p>--- Proposed Stage Boundary</p> <p>--- Proposed Sub Stage Boundary</p> <p>--- Existing Q100</p> <p>① Possible Multiple Residential Allotment (Max. no. of dwellings)</p> <p>✳ Indicative Indented Bus Stop Location</p> <p>✳ Indicative Temporary In-Line Bus Stop Location</p> <p>--- Bus Stop Catchment (400m)</p> <p>--- Neighbourhood Park Catchment (400m)</p>	
<p>PLANS AND DOCUMENTS</p> <p>referred to in the PDA</p> <p>DEVELOPMENT APPROVAL</p> <p>approval no: DEV2012/403/85</p> <p>date: 28 April 2023</p> <p>Scale 1 : 1000 @ A1</p> <p>0 5 10 20 30 40 50 60</p>	
<p>CLIENT</p> <p>PEET</p>	
<p>PROJECT</p> <p>Flagstone Precinct 1</p>	
<p>Plan of Subdivision</p> <p>Stage 4F - H & M</p> <p>Allotment Layout</p>	
<p>Date. 13 April 2023</p>	
<p>Prepared By. NF</p>	
<p>Checked By. MD</p>	
<p>W/G Name. Precinct 1 Stage 4</p>	
<p>Drawing Ref. 110056</p>	
<p>Local Authority. Economic Development Queensland</p>	
<p>Locality. Flagstone</p>	
Scale 1 : 1000	Sheet A1
Plan Ref 110056 – 394	Rev AG
<p>URBAN DESIGN</p> <p>Level 4 HQ South</p> <p>520 Wickham Street</p> <p>PO Box 1559</p> <p>Fortitude Valley QLD 4006</p> <p>T +61 7 3539 9500</p> <p>W rpsgroup.com</p> <p>rps</p>	
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Land Budget Stage 4				
Land Use	Stage 4D	Stage 4I	Overall	
Area of Subject Site	Area	Area	Area	%
Saleable Area	4.441 ha	3.234 ha	7.675 ha	100.0%
Residential Allotments	2.499 ha	2.178 ha	4.677 ha	60.9%
Commercial Allotment	—	—	—	0.0%
Balance Super Allotments	0.201 ha	—	0.201 ha	2.6%
Community Facility	—	—	—	0.0%
Total Area of Allotments	2.700 ha	2.178 ha	4.878 ha	63.6%
Road	—	—	—	—
Collector Road	0.718 ha	—	0.718 ha	9.4%
Local Road	0.978 ha	0.978 ha	1.956 ha	25.5%
Linear Connections	0.045 ha	0.078 ha	0.123 ha	1.6%
Entry Statements	—	—	—	0.0%
Total Area of New Road	1.741 ha	1.056 ha	2.797 ha	36.4%
Open Space	—	—	—	—
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
District Recreation Park	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	0.0%
Stormwater Detention	—	—	—	0.0%
Total Open Space	—	—	—	0.0%

Yield Breakdown Stage 4						
Residential Allotments			Stage 4D	Stage 4I	Overall	
Typical Size		Typical Area				
Urban & Nano Allotments Product			—	—	—	0.0%
Urban Loft	4.7 x 11.5m	50m²	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	0.0%
Subtotal			—	—	—	0.0%
16m Deep Product			—	—	—	—
Squat Allotment	14 x 16m	220m²	—	—	—	0.0%
Subtotal			—	—	—	0.0%
25m Deep Product			—	—	—	—
Mode Allotment	8.5 x 25m	213m²	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	—	1	1	1.0%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal			—	1	1	1.0%
28m Deep Product			—	—	—	—
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	5	5	4.8%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	2	2	1.9%
Subtotal			—	7	7	6.7%
30m Deep Product			—	—	—	—
Villa Allotment	10 x 30m	300m²	11	9	20	19.0%
Premium Villa Allotment	12.5 x 30m	375m²	13	15	28	26.7%
Courtyard Allotment	14 x 30m	420m²	18	12	30	28.6%
Traditional Allotment	20 x 30m	600m²	10	3	13	12.4%
Premium Traditional Allotment	25 x 30m	720m²	1	3	4	3.8%
Possible Multiple Residential Allotment	—	—	1	1	2	1.9%
Subtotal			54	43	97	92.4%
Total Residential Allotments			54	51	105	100%
Residential Net Density			15.3 dw/ha	15.8 dw/ha	—	—
Super Lots			Lots	Lots	Lots	—
Commercial Allotment			—	—	—	—
Community Facility			—	—	—	—
Balance Super Allotments			1	—	1	—
Sub Total			1	—	1	—
Total Allotments			55	51	106	—
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			56	53	109	—
Maximum Potential Net Residential Density			15.9 dw/ha	16.4 dw/ha	—	—

REVISION

Y: 12/05/2022 Stage 5 Layout Change

Z: 08/06/2022 Entry Statement Lease Areas

AA: 16/06/2022 Temporary STP Notation

AB: 20/09/2022 Stage 3 & 5 Layout Changes

AC: 14/11/2022 Stage 3 & 5 Boundary Changes

AD: 10/01/2023 Stage 3 & 4 Layout Changes

AE: 24/02/2023 Stage 3 & 5 Layout Changes

AF: 20/03/2023 Stage 3 & 5 Layout Changes

AG: 13/04/2023 Stage 3 & 5 Layout Changes

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans / Veris

Adjoining information: DCDB.

Contours: Bradlees.

Legend

— Site Boundary

— Proposed Stage Boundary

--- Proposed Sub Stage Boundary

— Existing Q100

● Possible Multiple Residential Allotment (Max. no. of dwellings)

— Entry Statements - Lease

— Indicative Indented Bus Stop Location

— Indicative Temporary In-Line Bus Stop Location

— Bus Stop Catchment (400m)

— Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85

Date: 28 April 2023

Scale 1: 1000 @ A1

0 5 10 20 30 40 50 60

CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Subdivision Stage 4D & I Allotment Layout

Date: 13 April 2023

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1: 1000

Sheet: A1

Plan Ref: 110056 - 395

Rev: AG

URBAN DESIGN

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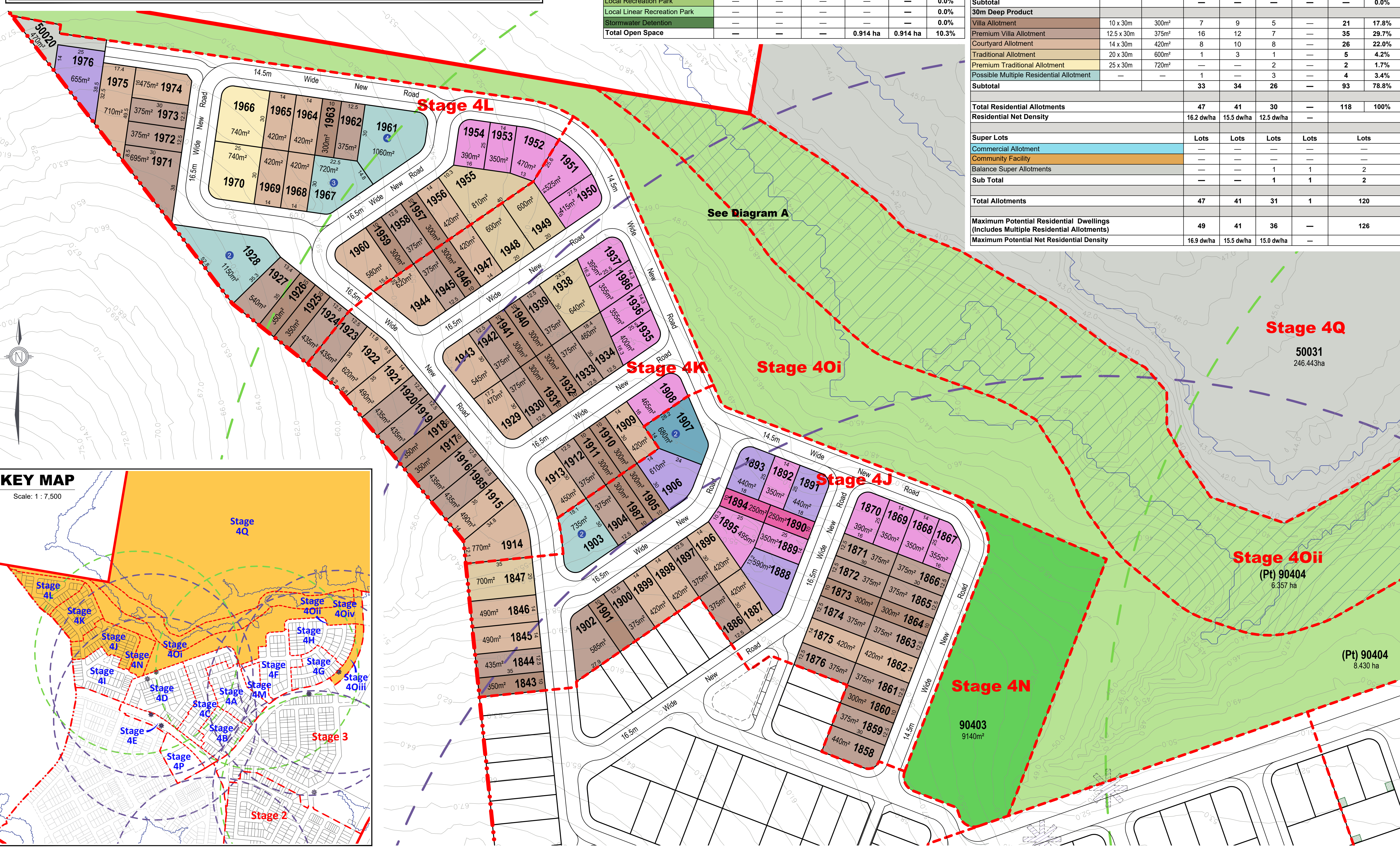
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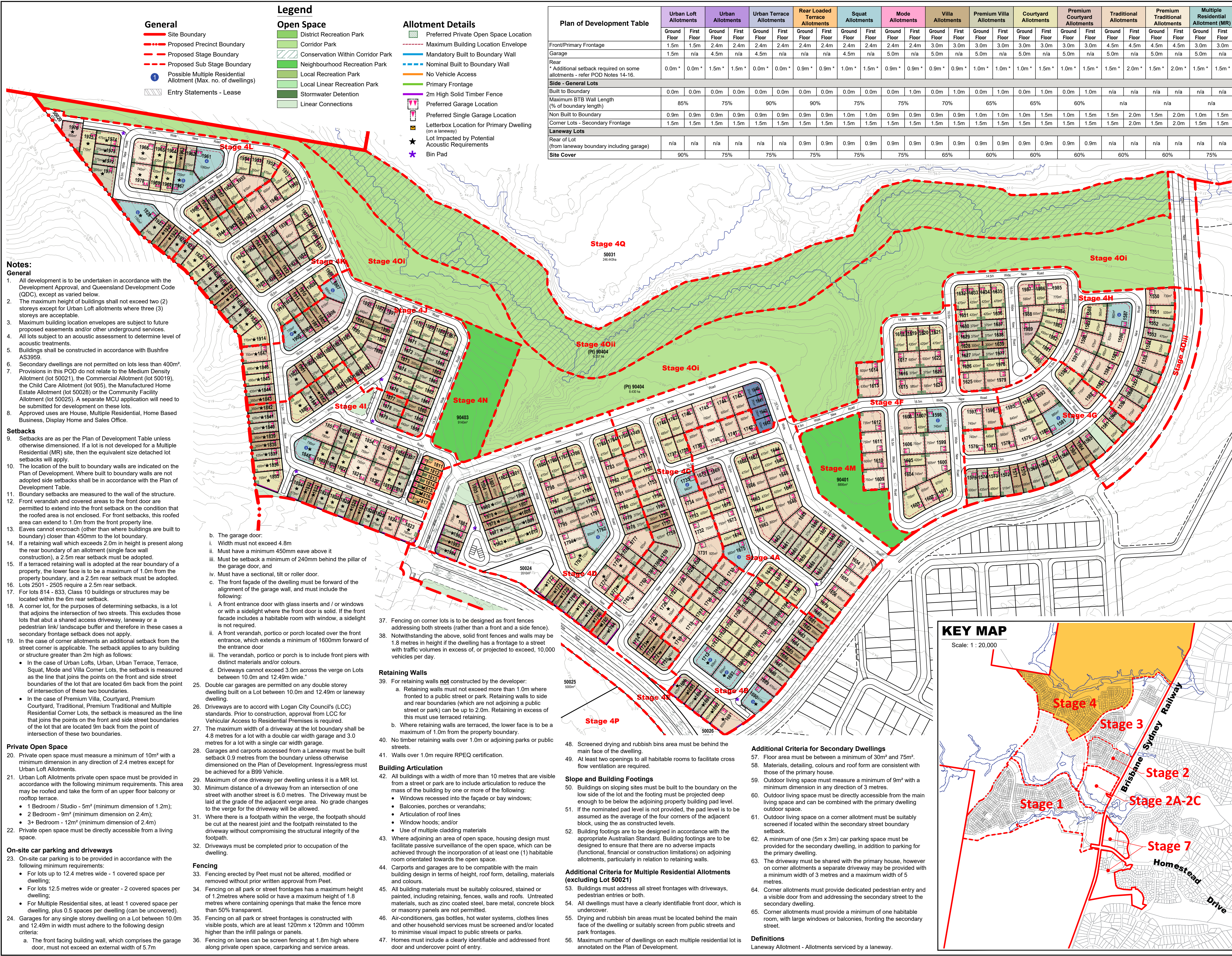
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Yield Breakdown Stage 4							
Residential Allotments			Stage 4J	Stage 4K	Stage 4L	Stage 4Q	Overall
	Typical Size	Typical Area					
Urban & Nano Allotments Product							
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
16m Deep Product							
Squat Allotment	14 x 16m	220m²	—	—	—	—	0.0%
Subtotal			—	—	—	—	0.0%
25m Deep Product							
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	2	—	—	—	1.7%
Courtyard Allotment	14 x 25m	350m²	7	7	3	—	17 14.4%
Premium Courtyard Allotment	16 x 25m	400m²	4	—	1	—	5 4.2%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	— 0.0%
Possible Multiple Residential Allotment	—	—	1	—	—	—	1 0.8%
Subtotal			14	7	4	—	25 21.2%
28m Deep Product							
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	— 0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	— 0.0%
Subtotal			—	—	—	—	— 0.0%
30m Deep Product							
Villa Allotment	10 x 30m	300m²	7	9	5	—	21 17.8%
Premium Villa Allotment	12.5 x 30m	375m²	16	12	7	—	35 29.7%
Courtyard Allotment	14 x 30m	420m²	8	10	8	—	26 22.0%
Traditional Allotment	20 x 30m	600m²	1	3	1	—	5 4.2%
Premium Traditional Allotment	25 x 30m	720m²	—	—	2	—	2 1.7%
Possible Multiple Residential Allotment	—	—	1	—	3	—	4 3.4%
Subtotal			33	34	26	—	93 78.8%
Total Residential Allotments			47	41	30	—	118 100%
Residential Net Density			16.2 dw/ha	15.5 dw/ha	12.5 dw/ha	—	
Super Lots			Lots	Lots	Lots	Lots	Lots
Commercial Allotment			—	—	—	—	—
Community Facility			—	—	—	—	—
Balance Super Allotments			—	—	1	1	2
Sub Total			—	—	1	1	2
Total Allotments			47	41	31	1	120
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			49	41	36	—	126
Maximum Potential Net Residential Density			16.9 dw/ha	15.5 dw/ha	15.0 dw/ha	—	

REVISION Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 28/02/2023 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes															
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<div style="text-align: center;"> <p>URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com</p> </div>															
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REVISION

Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 16/06/2022 Temporary STP Notation
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AC: 14/11/2022 Stage 5 Boundary Changes
AD: 24/02/2023 Stage 3 & 4 Layout Changes
AE: 24/02/2023 Stage 3 & 5 Layout Changes
AF: 20/03/2023 Stage 3 & 5 Layout Changes
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Source Information:
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Adjoining information: DCDB
Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85
Date: 28 April 2023

Scale 1 : 2000 @ A1

CLIENT

PROJECT

Flagstone Precinct 1

Plan of Development Stage 4 Overall Residential Allotments

Date: 13 April 2023
Comp By: NF
Checked By: MD
DWG Name: Precinct 1 Stage 4
Job Ref: 110056
Local Authority: Economic Development Queensland
Locality: Flagstone
Scale: 1 : 2000
Sheet: A1
Plan Ref: 110056 - 397
Rev: AG

URBAN DESIGN
Level 4 HQ South
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Fortitude Valley QLD 4008
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Notes:
General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent site detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that about a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.

- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

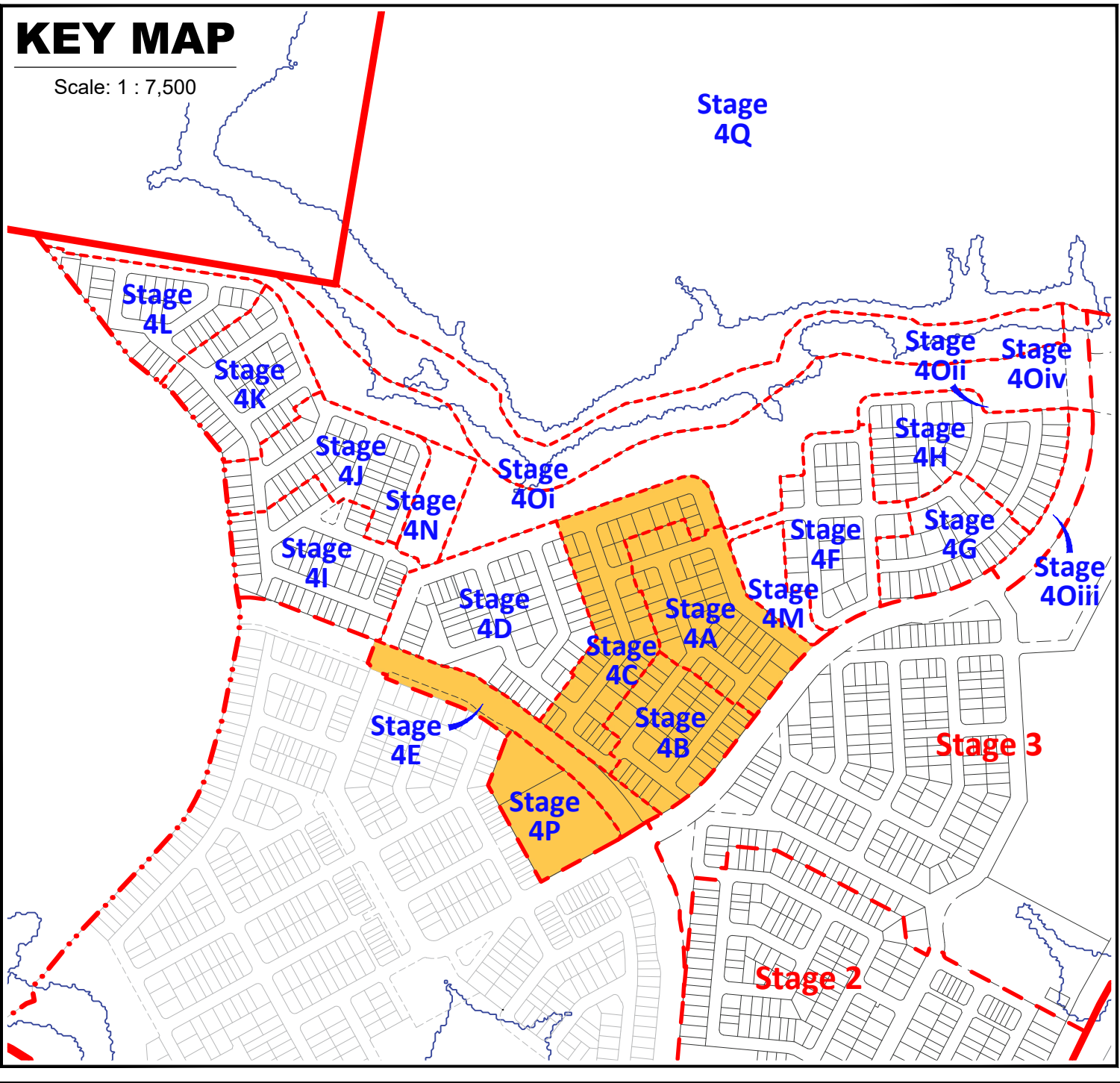
- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.



Plan of Development Table		Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyards Allotments	Premium Residential Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage		Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Garage		1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear		0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	1.5m *
Side - General Lots														
Built to Boundary		0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a
Maximum BTB Wall Length (% of boundary length)		85%		75%		90%		75%		70%		65%		n/a
Non Built to Boundary		0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	1.5m	1.5m
Corner Lots - Secondary Frontage		1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m
Laneway Lots														
Rear of Lot (from laneway boundary including garage)		n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a
Site Cover		90%		75%		75%		75%		65%		60%		60%

REVISION

Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 16/06/2022 Temporary STP Notation
AB: 20/09/2022 Stage 3 & 5 Layout Changes
AC: 14/11/2022 Stage 3 & 5 Boundary Changes
AD: 10/11/2022 Stage 3 & 4 Layout Changes
AE: 24/02/2023 Stage 3 & 5 Layout Changes
AF: 20/03/2023 Stage 3 & 5 Layout Changes
AG: 13/04/2023 Stage 3 & 5 Layout Changes

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans / Veris.

Adjoining information: DCDB.

Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85

Date: 28 April 2023

Scale 1 : 1000 @ A1

CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Development Stage 4A, B & C Residential Allotments

Date: 13 April 2023

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic Development Queensland

Locality: Flagstone

Scale: 1 : 1000

Sheet: A1

Plan Ref: 110056 - 398

Rev: AG

URBAN DESIGN

Level 4 H2 South

520 Wickham Street

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Fortitude Valley QLD 4008

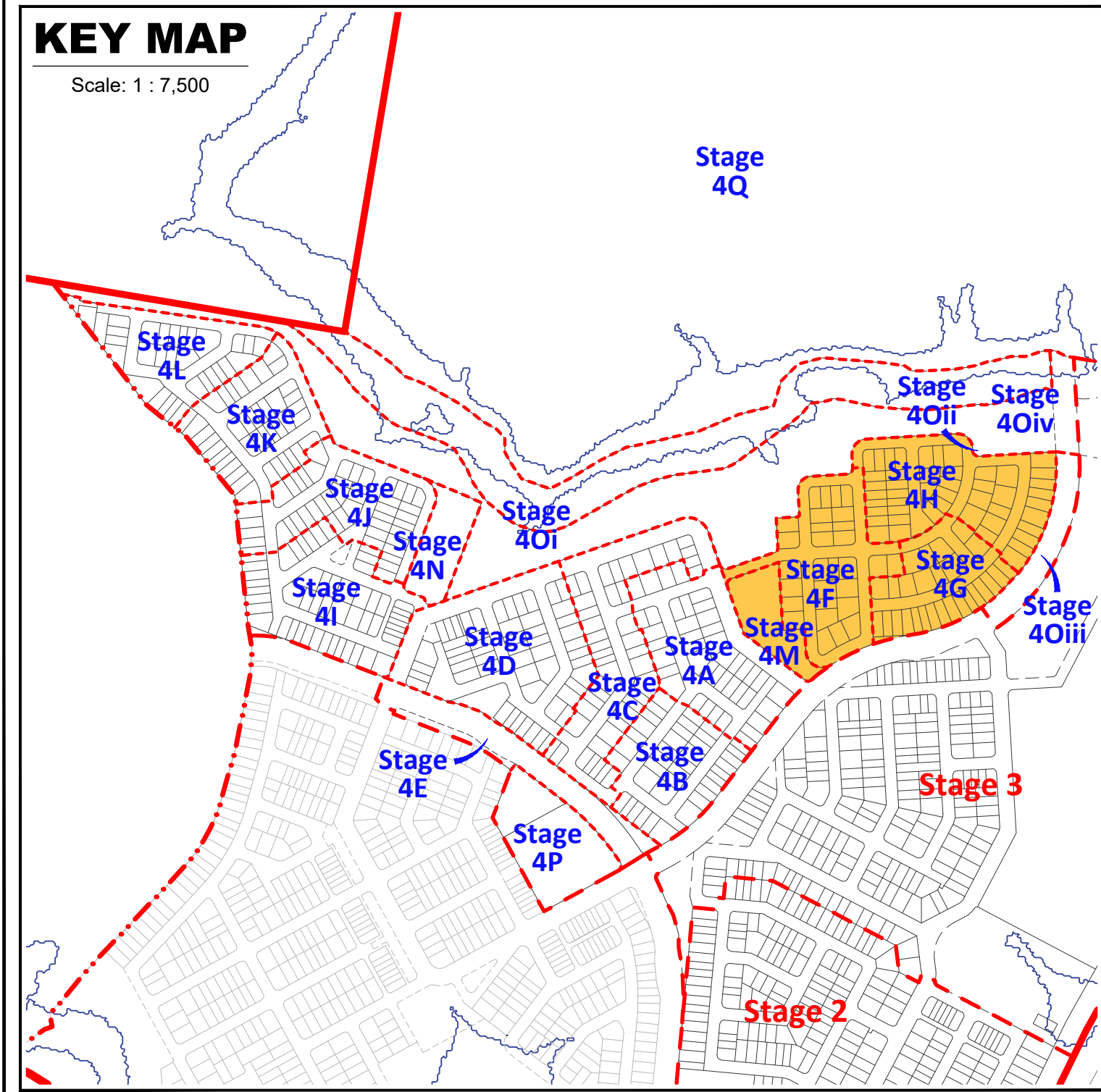
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Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Bin Pad

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear * Additional setback required on some allotments - refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *	1.5m *	
Side - General Lots																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Laneway Lots																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%			

- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
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 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
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- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
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- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION

Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 16/06/2022 Temporary STP Notation
AB: 20/09/2022 Stage 3 & 5 Layout Changes
AC: 14/11/2022 Stage 5 Boundary Changes
AD: 10/01/2023 Stage 3 & 4 Layout Changes
AE: 24/02/2023 Stage 3 & 5 Layout Changes
AF: 20/03/2023 Stage 3 & 5 Layout Changes
AG: 13/04/2023 Stage 3 & 5 Layout Changes

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².

Road linemarkings and turn slots are indicative only and subject to detailed design.

The boundaries shown on this plan should not be used for final detailed engineers design.

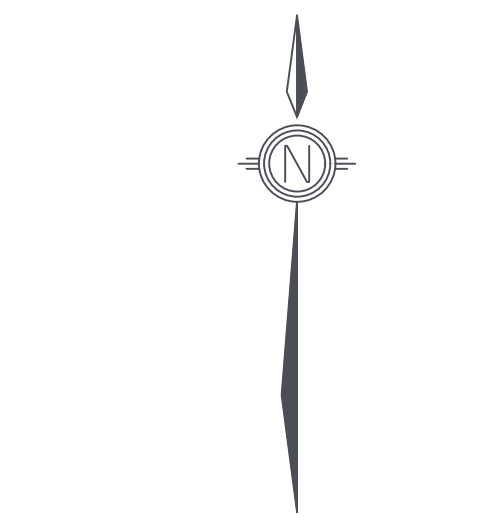
Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining information: DCDB.
Contours: Bradlees.

PLANS AND DOCUMENTS

referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85

Date: 28 April 2023



Scale 1 : 1000 @ A1
0 5 10 20 30 40 50 60

CLIENT

PEET

PROJECT

**Flagstone
Precinct 1**

**Plan of Development
Stage 4F - H
Residential Allotments**

Date: 13 April 2023

Comp By: NF

Checked By: MD

DWG Name: Precinct 1 Stage 4

Job Ref: 110056

Local Authority: Economic
Development Queensland

Locality: Flagstone

Scale: 1 : 1000 Sheet: A1

Plan Ref: 110056 - 399 Rev: AG

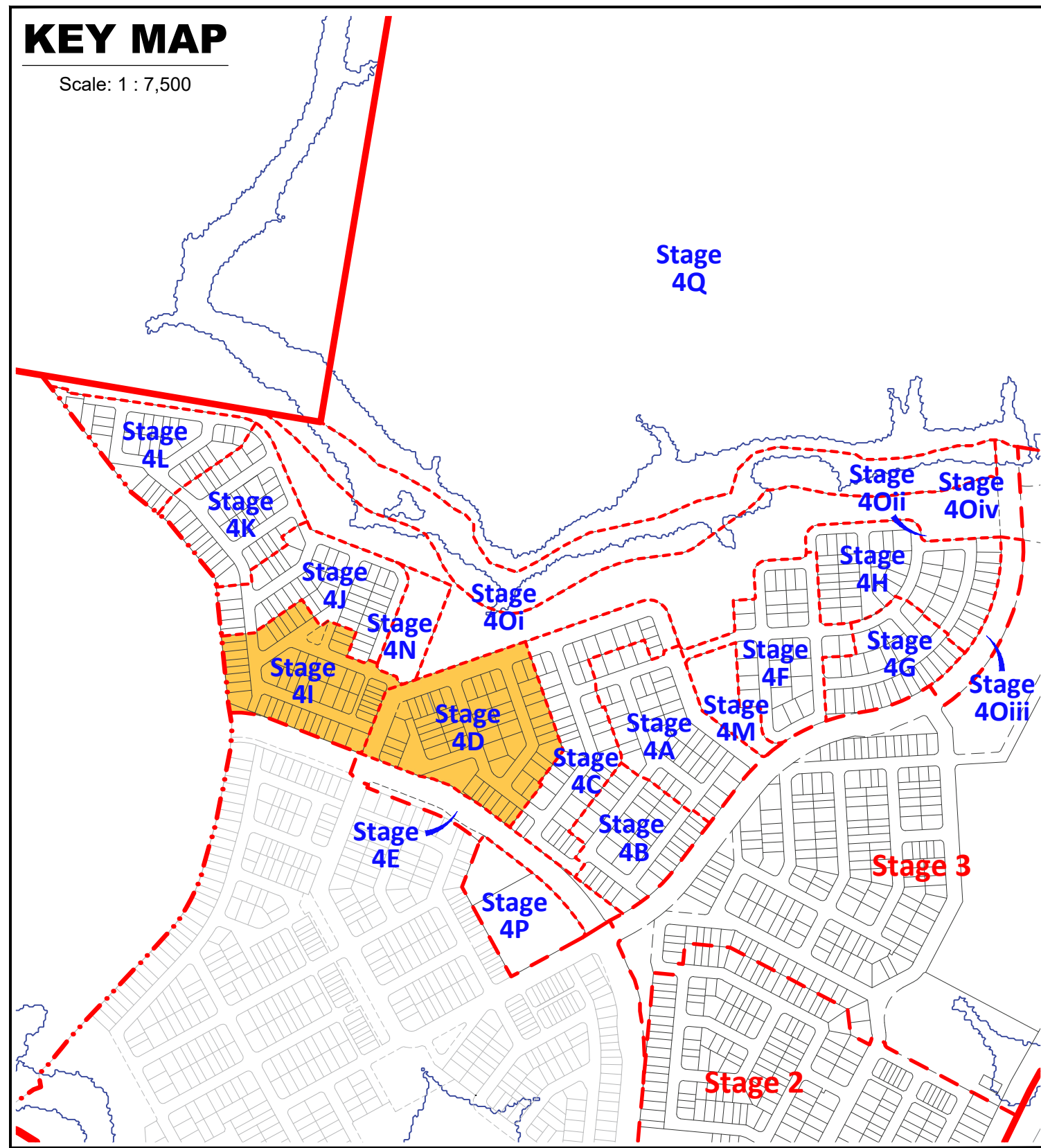
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KEY MAP

Scale: 1 : 7,500



Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear * Additional setback required on some allotments - refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *	
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that joins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.

- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION

Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 18/06/2022 Temporary STP Notation
AB: 20/09/2022 Stage 3 & 5 Layout Changes
AC: 14/11/2022 Stage 3 & 5 Boundary Changes
AD: 10/01/2023 Stage 3 & 4 Layout Changes
AE: 24/02/2023 Stage 3 & 5 Layout Changes
AF: 20/03/2023 Stage 3 & 5 Layout Changes
AG: 13/04/2023 Stage 3 & 5 Layout Changes

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

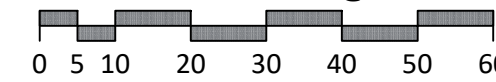
Site boundaries: Registered Survey Plans / Varis
Adjoining information: DCDB.
Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85

Date: 28 April 2023

Scale 1 : 1000 @ A1



CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Development
Stage 4D & I
Residential Allotments

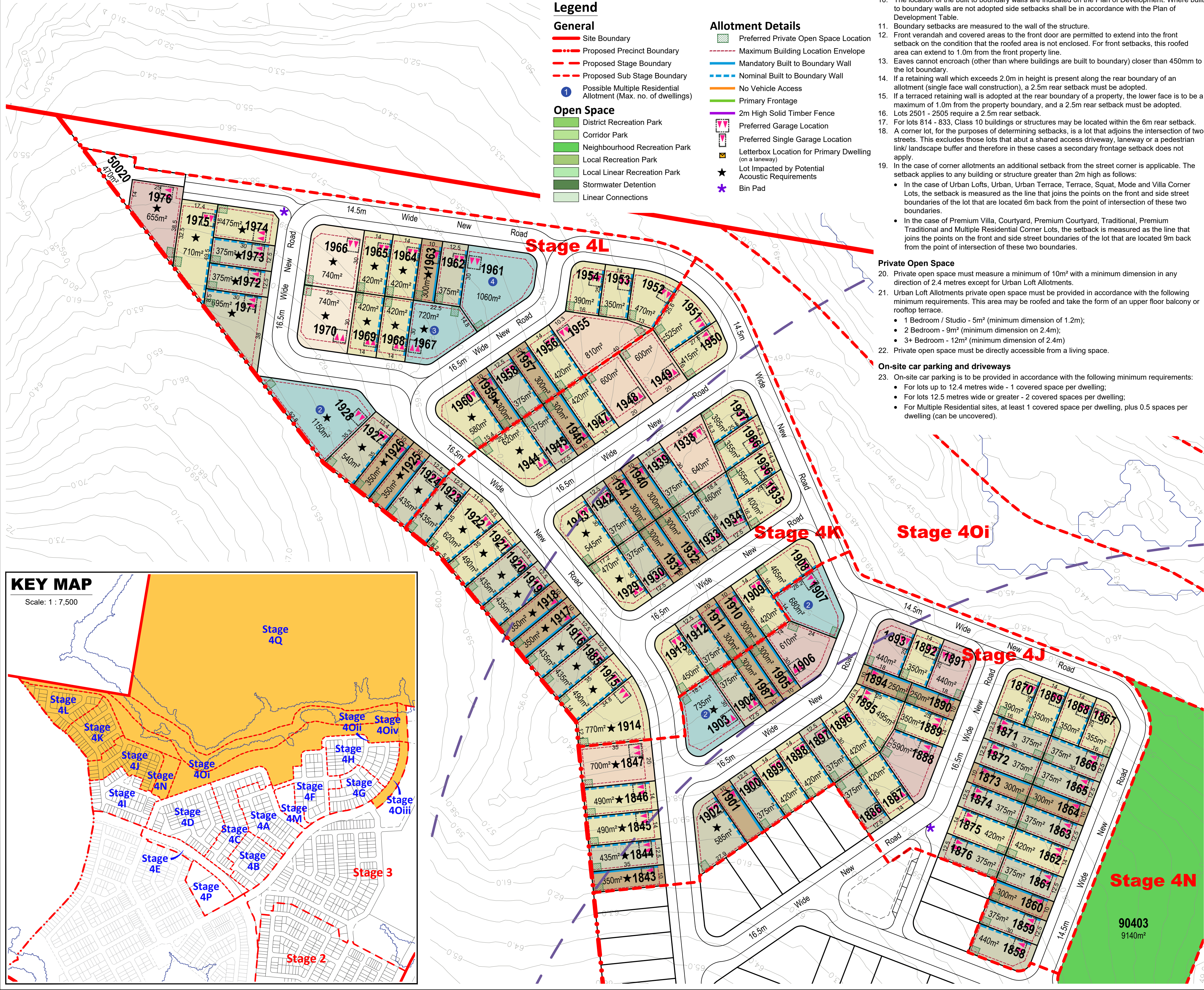
Date.	13 April 2023
Comp By.	NF
Checked By.	MD
DWG Name.	Precinct 1 Stage 4
Job Ref.	110056
Local Authority.	Economic Development Queensland
Locality.	Flagstone
Scale	1 : 1000
Sheet	A1
Plan Ref	110056 – 400
Rev	AG

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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear * Additional setback required on some allotments - refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *	
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%		



Notes:

General

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- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- The provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

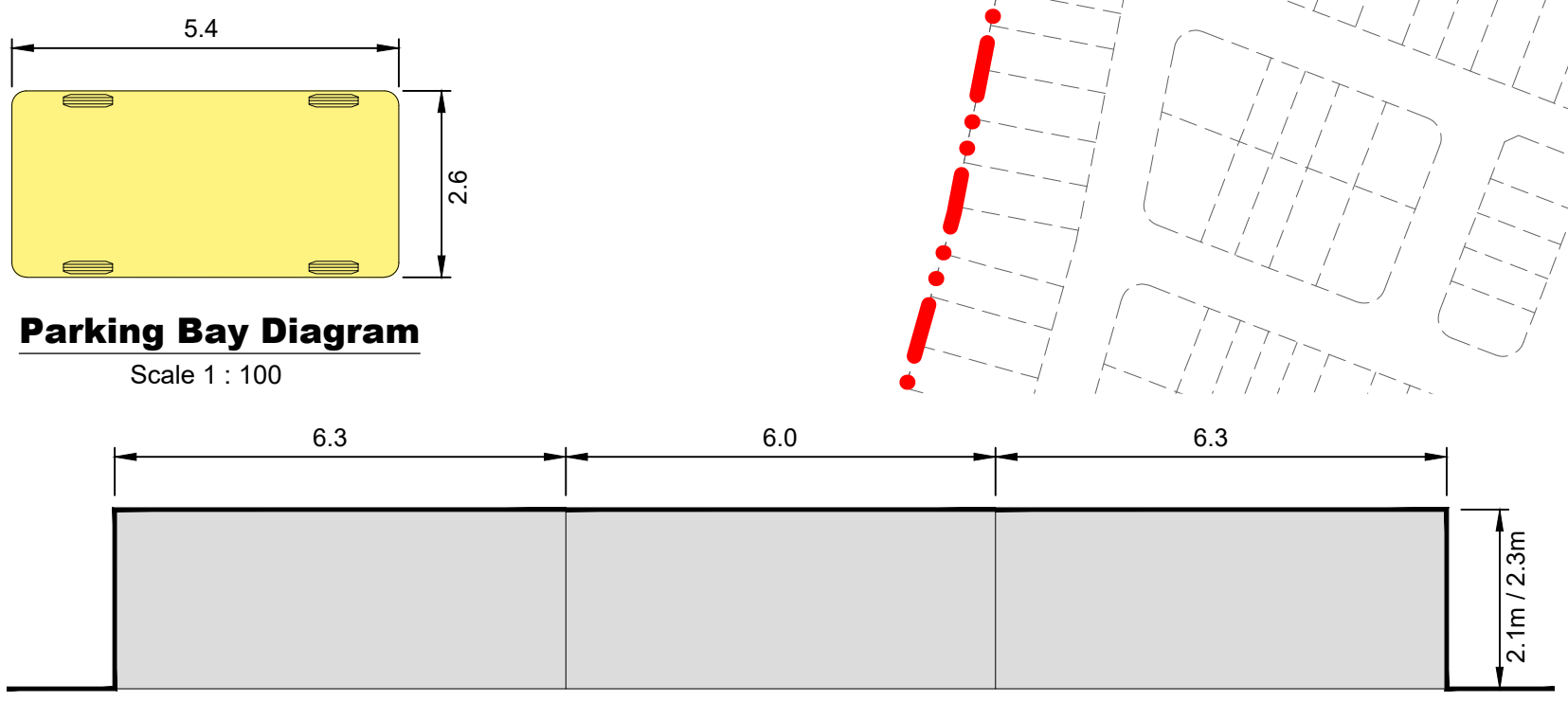
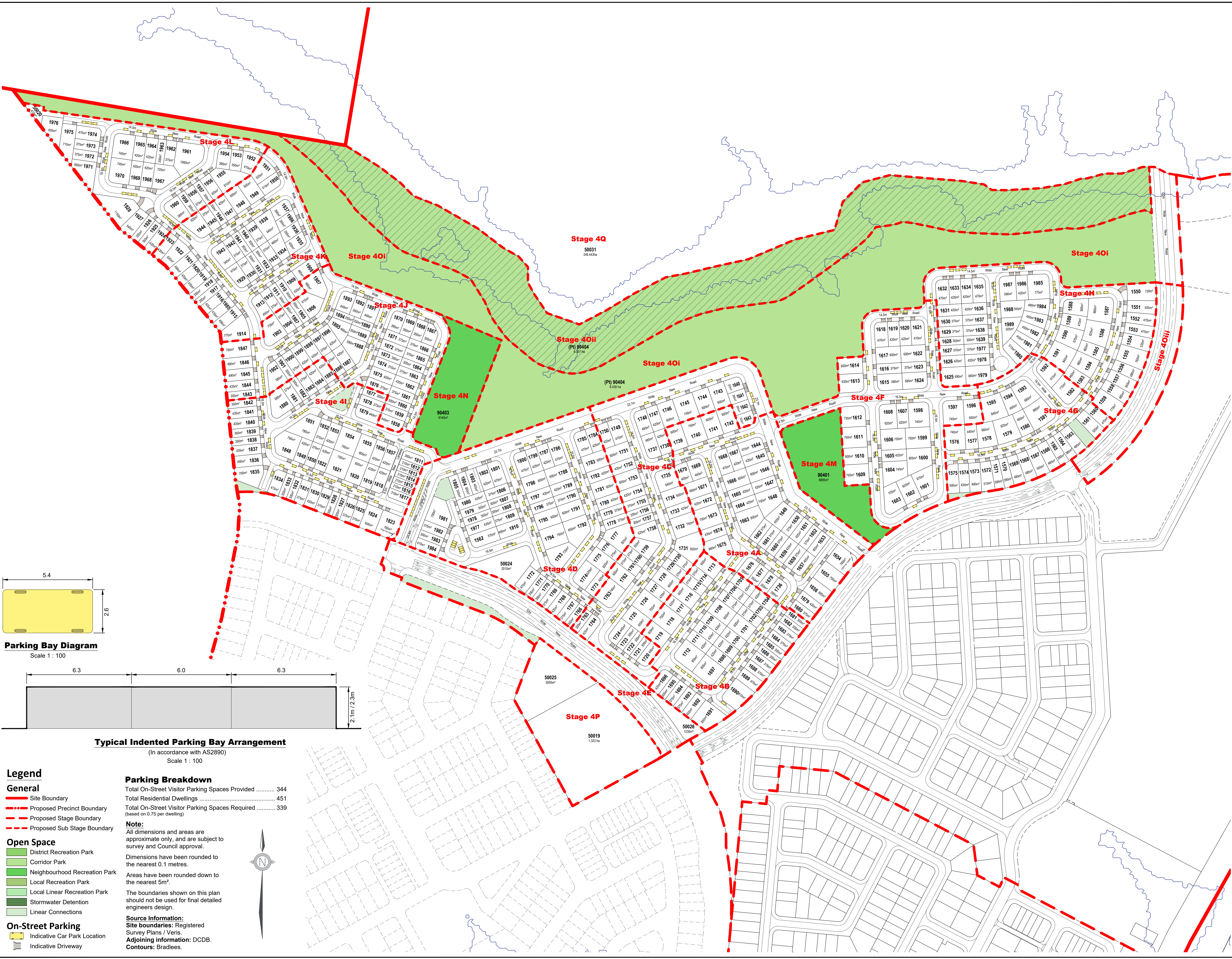
- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION

Y: 12/05/2022 Stage 5 Layout Change



- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 344

Total Residential Dwellings 451

Total On-Street Visitor Parking Spaces Required 339
(based on 0.75 per dwelling)

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:

Site boundaries: Registered Survey Plans / Veris.

Adjoining information: DCDB.

Contours: Bradlees.

REVISION

Y: 12/05/2022 Stage 5 Layout Change

Z: 06/06/2022 Entry Statement Lease Areas

AA: 16/06/2022 Temporary STP Notation

AB: 20/09/2022 Stage 3 & 5 Layout Changes

AC: 14/11/2022 Stage 3 & 5 Boundary Changes

AD: 10/01/2023 Stage 3 & 4 Layout Changes

AE: 24/02/2023 Stage 3 & 5 Layout Changes

AF: 20/03/2023 Stage 3 & 5 Layout Changes

AG: 13/04/2023 Stage 3 & 5 Layout Changes

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans / Veris.

Adjoining information: DCDB.

Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/85

Date: 28 April 2023

Scale 1 : 2000 @ A1

0 20 40 60 80 100 120

CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Subdivision

Stage 4 Overall

Parking Management Plan

Date.	13 April 2023
Comp By.	NF
Checked By.	MD
DWG Name.	Precinct 1 Stage 4
Job Ref.	110056
Local Authority.	Economic Development Queensland
Locality.	Flagstone
Scale	1 : 2000
Sheet	A1
Plan Ref	110056 – 402
Rev	AG

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