

Total Area of New Road

6646m²

See Sheet 7 for Lots 124-131, 157-161, 165 & 166.

See Sheet 8 for Lots 154-156, 162-164, 168-171 & 176-182.

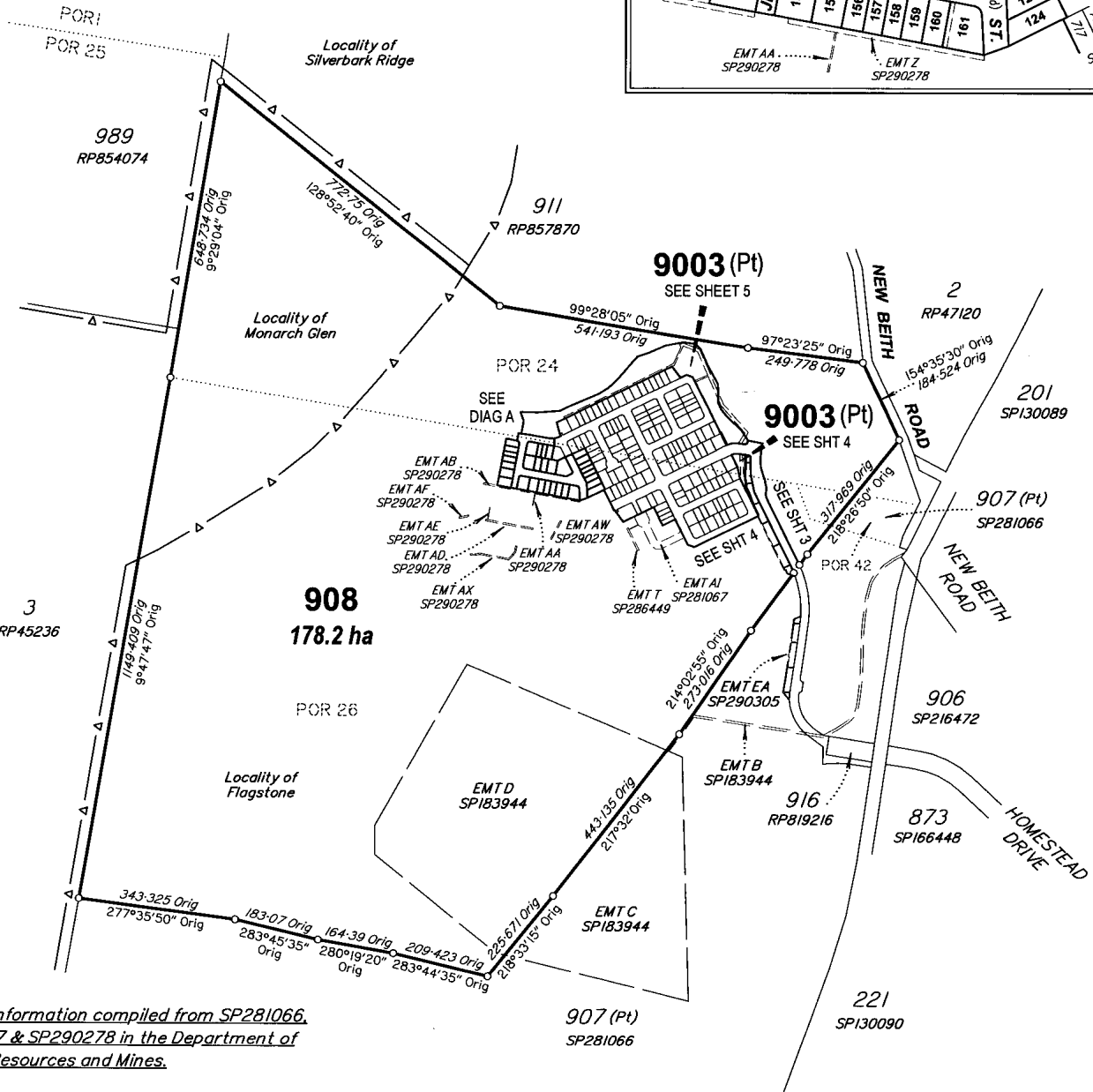
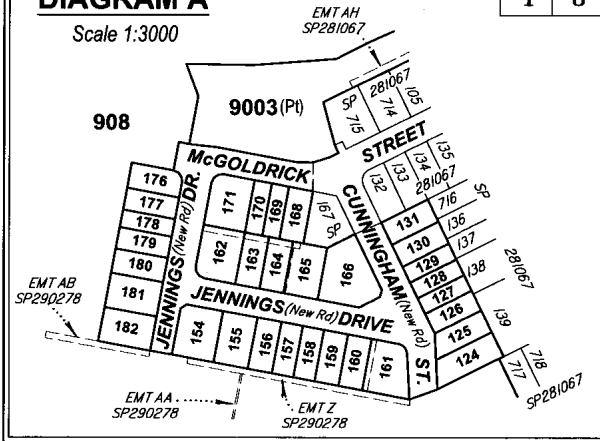


DIAGRAM A

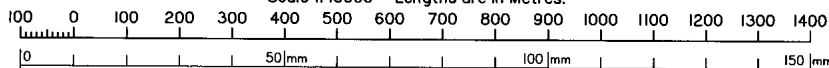
Scale 1:3000



Original information compiled from SP281066, SP281067 & SP290278 in the Department of Natural Resources and Mines.

In accordance with section 3.22 of the Cadastral Survey Requirements, corners have not been marked. For corner marks and reference marks see IS269896.

Scale 1:10000 - Lengths are in Metres.



QUEENSLAND SURVEYING PTY LTD (ACN 604 671 374) hereby certify that the land comprised in this plan was surveyed by the corporation, by Justin Phillip McGinty, registered surveyor, for whose work the corporation accepts responsibility, under the supervision of Malcolm Mackay Ross, cadastral surveyor and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 12/04/2017.

[Signature]
Authorised Delegate

Date: 26/4/2017

Plan of Lots 124-131, 154-166, 168-171, 176-182, 908 & 9003

Cancelling Lots 9000 & 9001 on SP281066 & Lot 908 on SP281067

LOCAL GOVERNMENT: LOGAN CITY COUNCIL LOCALITY: MONARCH GLEN

Meridian: MGA vide IS221510

Survey Records: No

Scale: 1:10000

Format: STANDARD



SP290279

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

718068727

BE 400

\$3478.00
06/06/2017 16:02

5. Lodged by *Lodger Code*
HWL Ebsworth Lawyers
Level 19, 480 Queen Street,
Brisbane Q 4000
GPO Box 2033, Brisbane Q 4001
Ph: (07) 3169 4700 Fax: 1300 368 717
REF=JOW=MKF=210593
(Include address, phone number, reference, and Lodger Code)

1. Certificate of Registered Owners or Lessees.

±/We **PEET FLAGSTONE CITY PTY LTD**
ACN 151 187 594

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

* as Lessees of this land agree to this plan.

Costas Alexandrou (Costas Alexandrou)
Michael Lawrence Stone (Michael Lawrence Stone)
Signature of *Registered Owners *Lessees

Peet Flagstone City Pty Ltd ACN 151 187 594 by its duly authorised attorney **COSTAS ALEXANDROU** - Development Manager - of Peet Limited Group B Attorney - under Power of Attorney No 714312761

Peet Flagstone City Pty Ltd ACN 151 187 594 by its duly authorised attorney **Michael Lawrence Stone** - General Manager - Developments, of Peet Limited (equivalent to State Operations Manager) - Group A Attorney - under Power of Attorney No. 714312761

* Rule out whichever is inapplicable

2. Planning Body Approval.

* **MINISTER FOR ECONOMIC DEVELOPMENT QUEENSLAND** hereby approves this plan in accordance with the:

ECONOMIC DEVELOPMENT ACT 2012

Dated this 2 day of June 2017

MINISTER FOR ECONOMIC DEVELOPMENT QUEENSLAND
BY ITS AUTHORISED DELEGATE

Jeanine Stone #
J.H. Hae #

* Insert the name of the Planning Body.

Insert designation of signatory or delegation.

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :

Name :

4. References :

Dept File :
Local Govt :
Surveyor : 30109-11055

Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51085232	Lot 908 on SP281067	124-131, 154-166, 168-171, 176-182, 908 & 9003	New Rd	-
51075464	Lot 9000 on SP281066	9003	-	-
51075465	Lot 9001 on SP281066	9003	-	-

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
717788838	124-131, 154-166, 168-171, 176-182, 908 & 9003	-
718028615	124-131, 154-166, 168-171, 176-182, 908 & 9003	-

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
709924656 (Emt D on SP183944)	908
717705641 (Emt I on SP286449)	908 & 9003
717705641 (Emt T on SP286449)	908
717705626 (Emt V on SP286449)	9003
718068708 (Emt W on SP290278)	161
718068708 (Emt X on SP290278)	162-165
718068703 (Emt Y on SP290278)	165
718068708 (Emt Z on SP290278)	908
718068703 (Emt AA on SP290278)	908
718068703 (Emt AB on SP290278)	908
718068708 (Emt AC on SP290278)	908
718068708 (Emt AD on SP290278)	908
718068703 (Emt AE on SP290278)	908
718068703 (Emt AF on SP290278)	908
718068708 (Emt AG on SP290278)	908
717639066 (Emt EC on SP290305)	908
717894417 (Emt AI on SP281067)	908
717894420 (Emt AH on SP281067)	9003
718068703 (Emt AJ on SP290278)	908
718068703 (Emt AK on SP290278)	908
718068703 (Emt AL on SP290278)	908

EXISTING ADMINISTRATIVE ADVISE ALLOCATIONS

Administrative Advice	Lots to be Encumbered
711464446	124-131, 154-166, 168-171, 176-182, 908 & 9003
712298369	124-131, 154-166, 168-171, 176-182, 908 & 9003
713408554	124-131, 154-166, 168-171, 176-182, 908 & 9003

Amendments by Queensland Surveying Pty Ltd.

P.G. Suddell (Delegate, Cadastral Surveyor)
5/6/2017

9. Building Format Plans only.

I certify that:
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining lots and road

908	PORS 24, 26 & 42 Parish of Maclean & Undullah
9003	PORS 24 & 26 Parish of Maclean & Undullah
124-131, 154-166, 168-171 & 176-182	POR 26 Parish of Undullah
Lots	Orig

Cadastral Surveyor/Director * Date
*delete words not required

10. Lodgement Fees :

Survey Deposit	\$
Lodgement	\$
..... New Titles	\$
Photocopy	\$
Postage	\$
TOTAL	\$

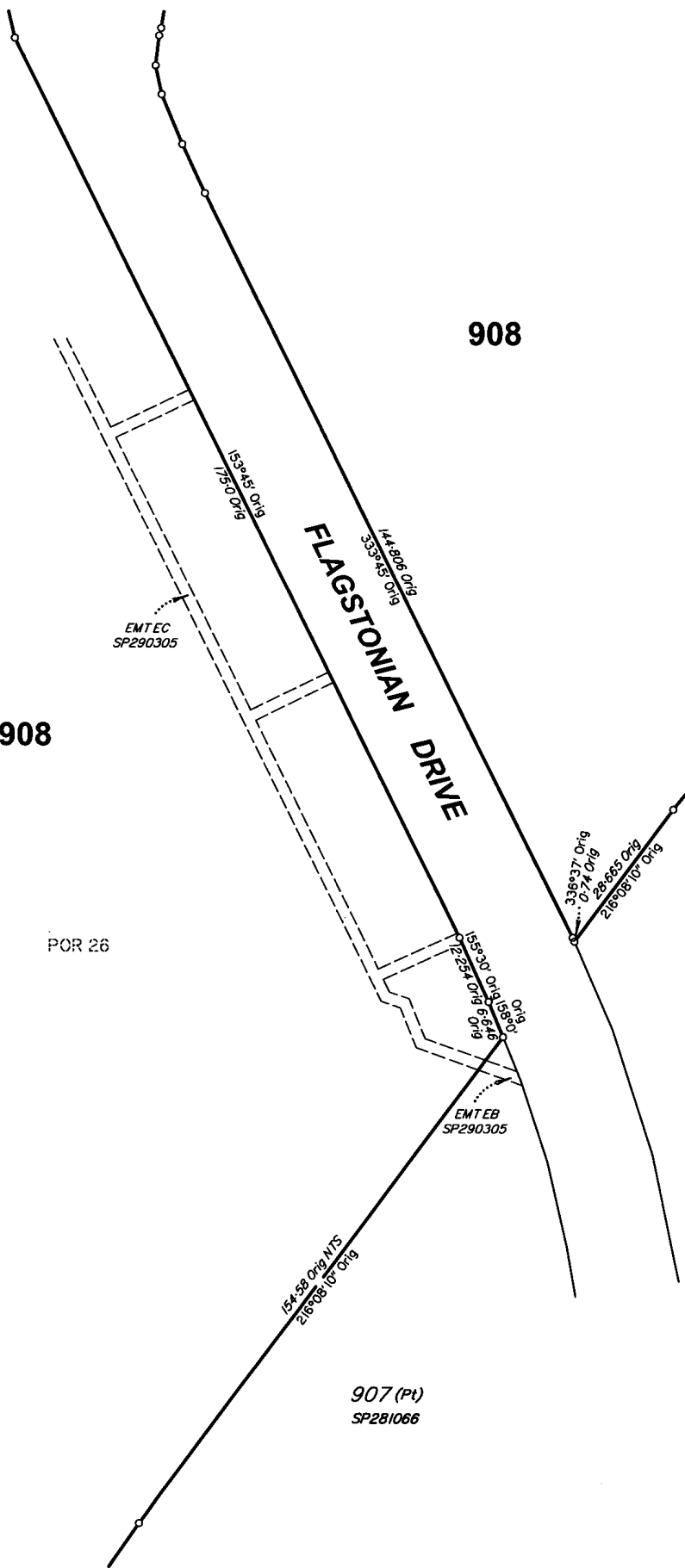
7. Orig Grant Allocation :

8. Passed & Endorsed :

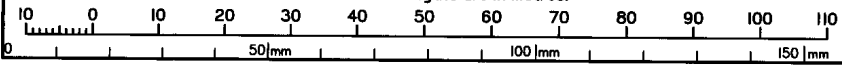
By: **Queensland Surveying Pty Ltd**
Date: *5/6/17*
Signed: *[Signature]*
Designation: **Cadastral Surveyor**

11. Insert Plan Number
SP290279

JOINS SHEET 4



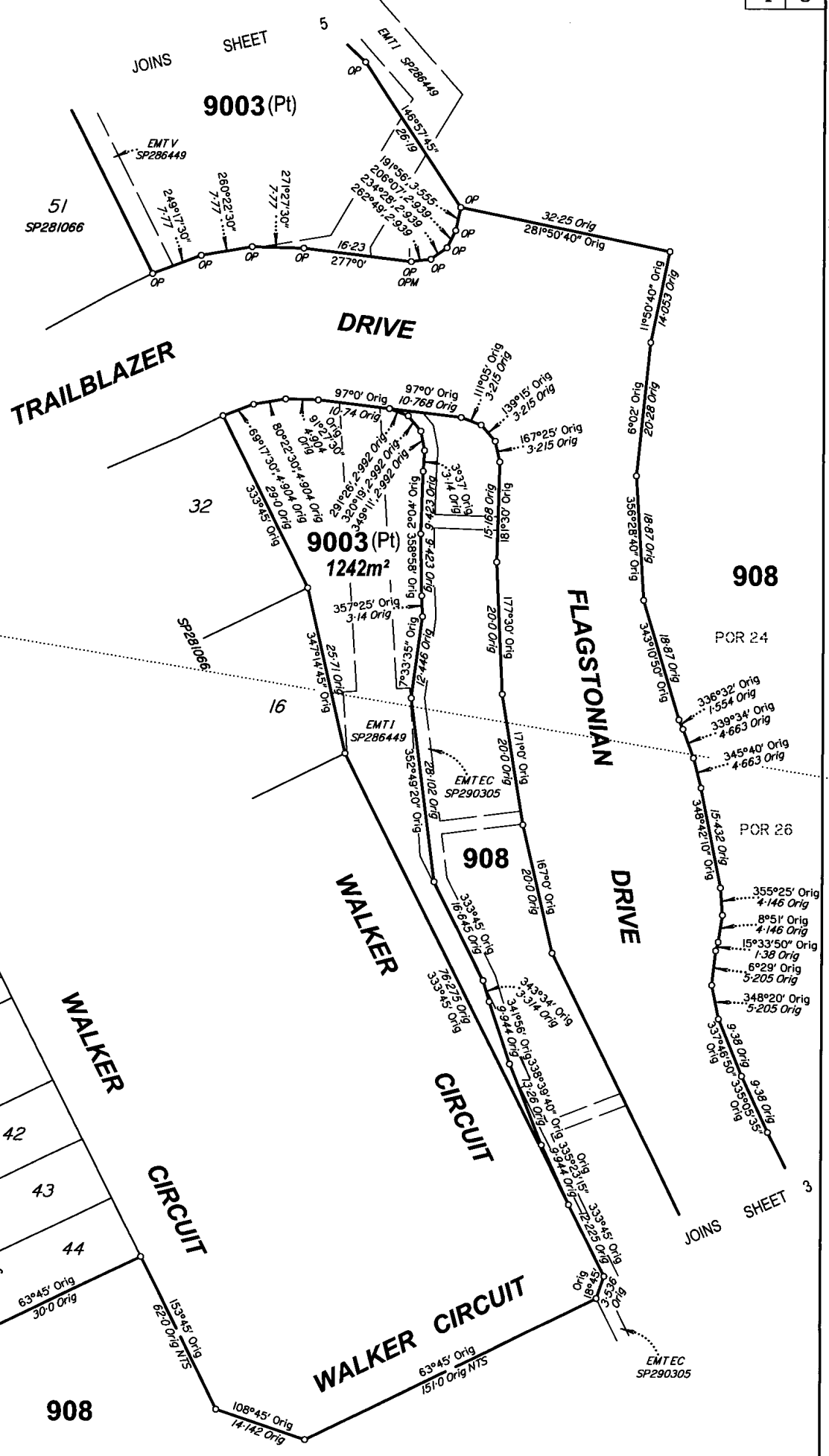
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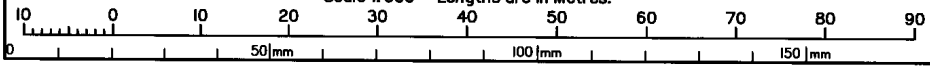
State copyright reserved.

Insert Plan Number **SP290279**

30109-11055 IE Final 10.04.2017



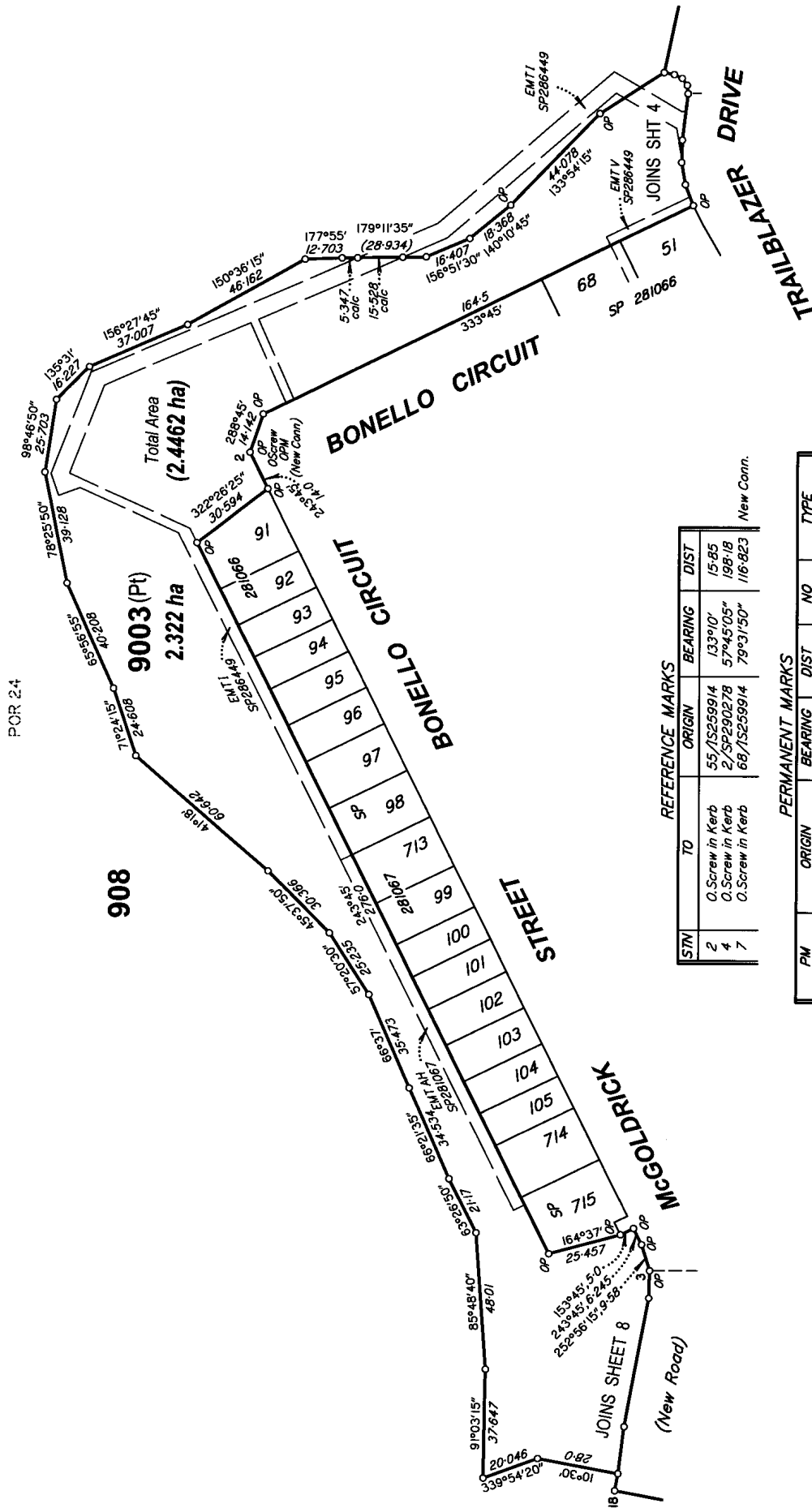
Scale 1:600 - Lengths are in Metres.



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Insert Plan Number **SP290279**

30109-11055 IE Final 10.04.2017



REFERENCE MARKS				
STN	TO	ORIGIN	BEARING	DIST
2	O.Screw in Kerb	55/1S25891/4	133°10'	15.85
4	O.Screw in Kerb	2/SP290278	57°45'05"	198.18
7	O.Screw in Kerb	68/1S25891/4	79°31'50"	116.823

New Conn.

PERMANENT MARKS					
PM	ORIGIN	BEARING	DIST	NO	TYPE
1-OPM	76/1S25891/4	216°13'	4.503	203296	Brass Plaque
2-OPM	5/RP819224	113°28'15"	628.336	107142	Brass Plaque
22-OPM	1S221510	258°31'25"	133.126	196252	Iron Pin in Conc.

New Conn.
New Conn.

M.G.A. COORDINATES GDA-94

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM107142	495042.666	6924708.248	56	0.009	Datum		Brass Plaque
PM196252	493929.695	6924691.417	56	0.009	Datum		Iron Pin in Conc.
PM203296	494588.796	6924804.618	56	0.015	Derived		Brass Plaque

Scale 1:1500 - Lengths are in Metres.

30109-11055 IE Final 10.04.2017



Scale 1:500 - Lengths are in Metres.

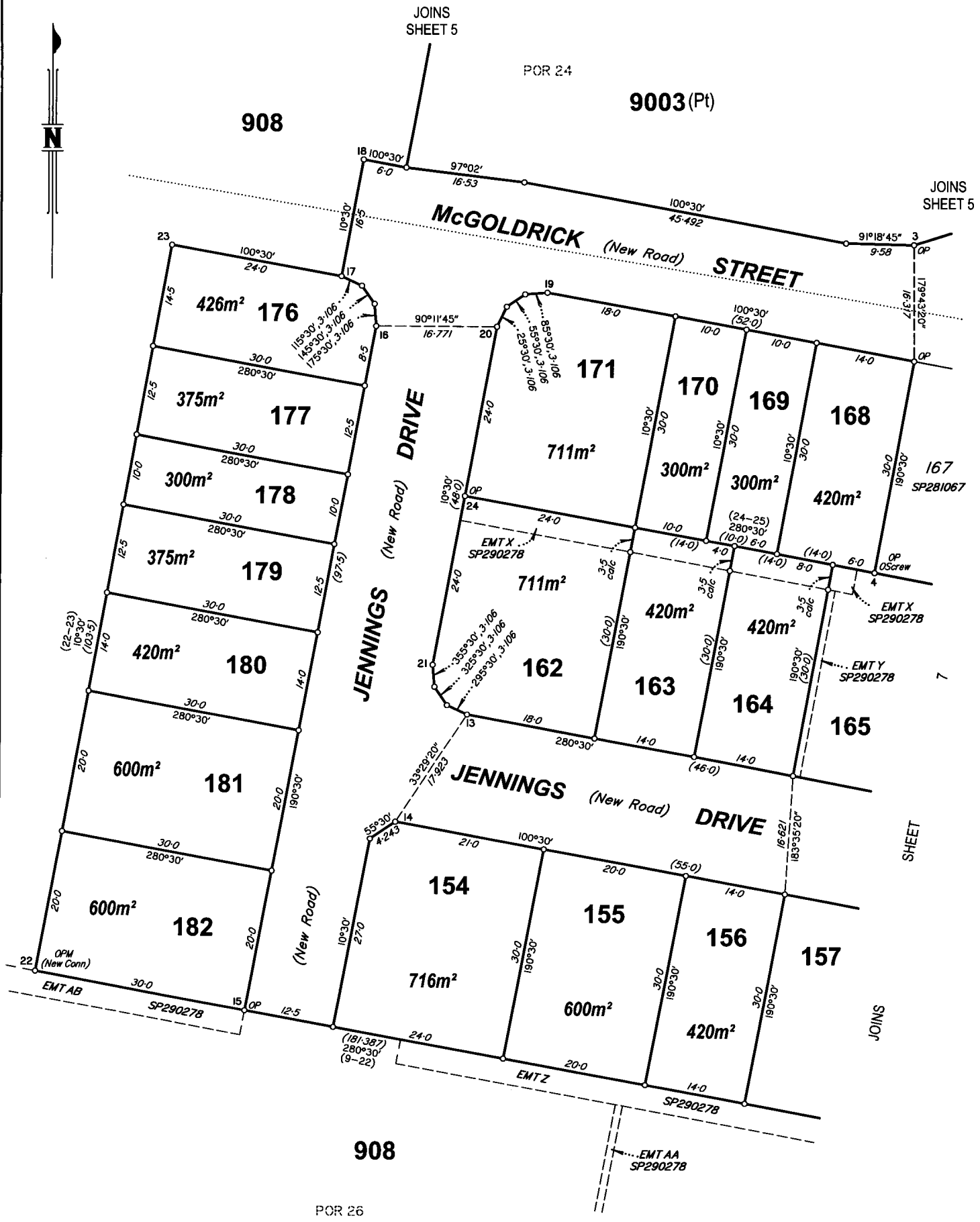
30109-11055 IE Final 10.04.2017



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Insert Plan Number SP290279

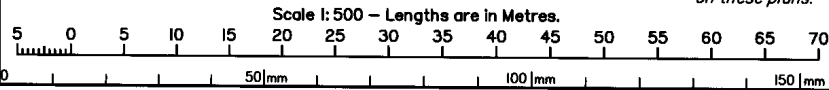
0 50mm 100mm 150mm



REINSTATEMENT REPORT

Existing boundaries have been reinstated from permanent marks, reference marks and original corner pegs shown on plans SP281066, SP281067 and IS259914. Surveyed boundary dimensions agree with original dimensions shown on these plans.

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Insert Plan Number **SP290279**

30109-11055 IE Final 10.04.2017