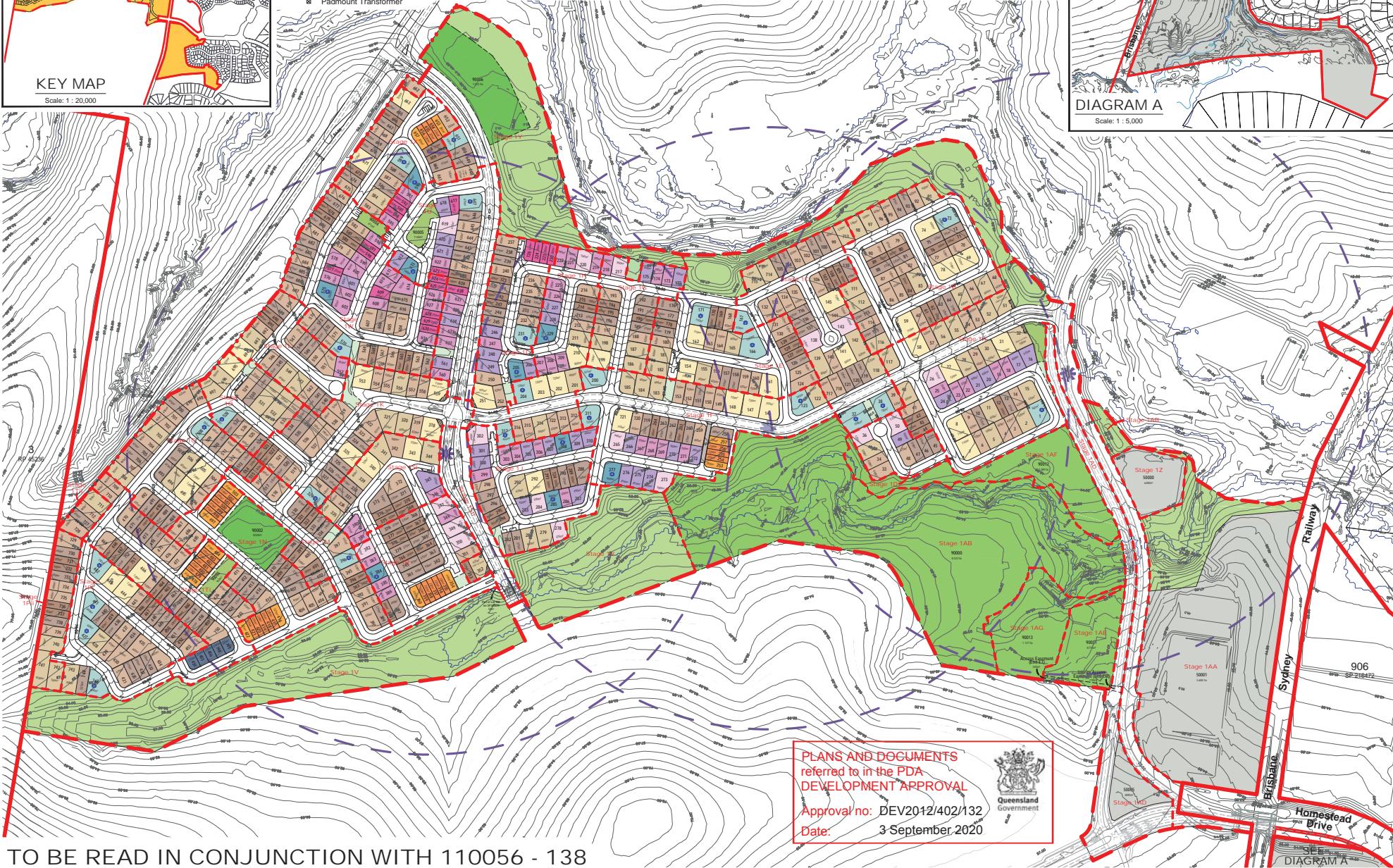
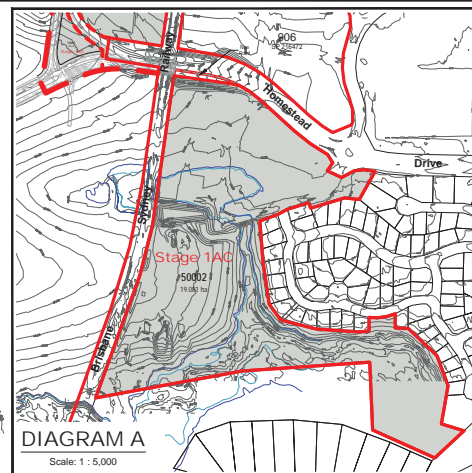


- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Super Stage Boundary
 - Proposed Sub Stage Boundary
 - Entry Statements - Lease
 - Existing Q5
 - Existing Q100
 - Alternative Road Alignment
 - 400m Catchment Area
 - Maximum Potential Residential Dwellings
 - Indicative In-line Bus Stop
 - Indicative Bus Stop Location
 - Padmount Transformer
- Open Space**
- Regional Recreation Park
 - Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
 - Entry Statements
 - Retained Vegetation - Flagstone & Sandy Creek (updated as per Saunders Havill email 10/11/14)
 - Retained Vegetation - Other Areas (updated as per Saunders Havill email 10/11/14)
- Legend**
- 20m Deep Allotments**
- Ascot Allotment
 - Villa Allotment
 - Courtyard Allotment
 - Premium Courtyard Allotment
 - Premium Traditional Allotment
 - Possible Multiple Residential Allotment
- 25m Deep Allotments**
- Villa Allotment
 - Courtyard Allotment
 - Premium Courtyard Allotment
 - Premium Traditional Allotment
 - Possible Multiple Residential Allotment
- 28m Deep Allotments**
- 7.5m Terrace Allotment
 - 9.5m End Terrace Allotment
- Allotments**
- 30m Deep Allotments**
- Villa Allotment
 - Premium Villa Allotment
 - Courtyard Allotment
 - Traditional Allotment
 - Premium Traditional Allotment
 - Possible Multiple Residential Allotment
- Super Allotments**
- Super Allotment

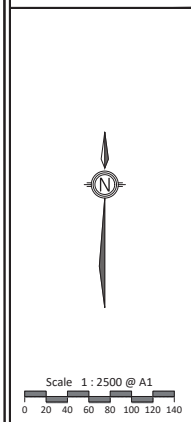


REVISION

AA: 17/05/19 Amend Stage 1P
 AB: 06/09/19 Amend Stage 1V, 1W, 1X, 1Y, 1Z
 AC: 24/01/19 Sub-Staging 1S & 1AG
 AD: 20/03/19 POD Amendments & 5m EM
 AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S
 AF: 19/08/19 POD Control Amendments
 AG: 16/12/19 POD Amendments Stage 1P
 AH: 1R, 1S and 1T
 AI: 23/06/20 Amend POD Lots 205 & 809
 AJ: 18/08/20 Amend POD Lot 84

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCCB.
 Contours: Carcho Bulk Earthworks



CLIENT
PEET

PROJECT
FLAGSTONE PRECINCT 1

PLAN OF SUBDIVISION
STAGE 1
ALLOTMENT LAYOUT

Date	18 August 2020
Comp By	WNW
Checked By	MD / DG
Draw Name	Precinct 1 Stage 1
Job Reference	110056
Local Authority	ECONOMIC DEVELOPMENT QUEENSLAND
Locality	JIMBOOMBA
Scale	1 : 2500
Sheet	A1
Plan Ref	110056 - 121
Rev	AI

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/402/132
 Date: 3-September-2020

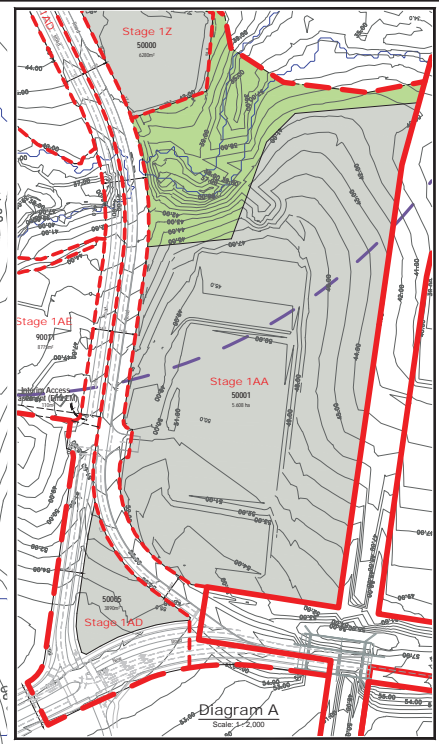
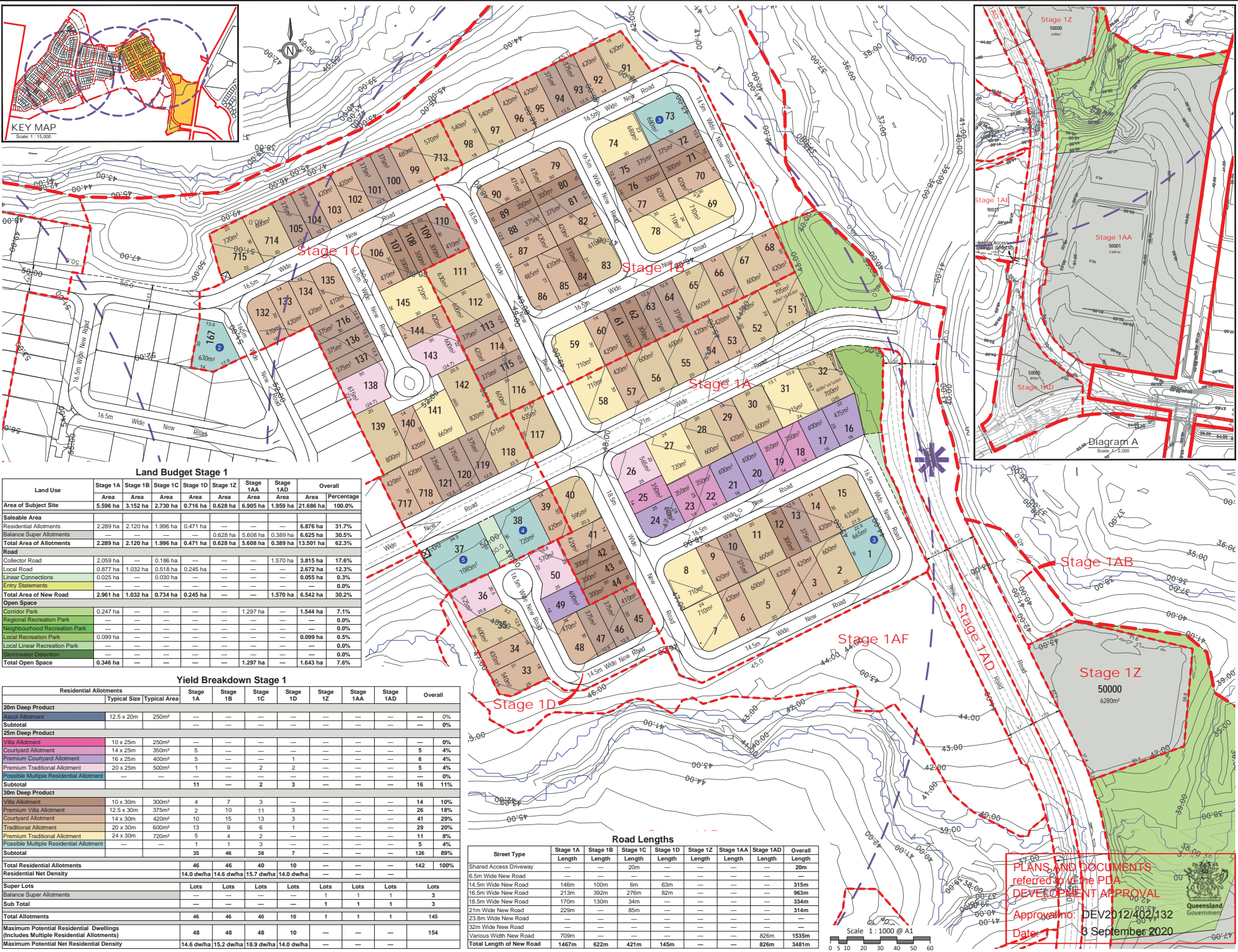
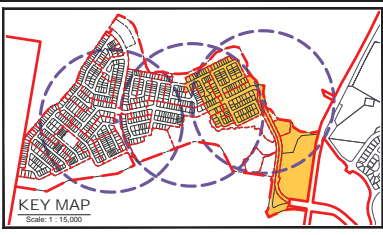
TO BE READ IN CONJUNCTION WITH 110056 - 138

RPS

RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762

Urban Design
 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

T +61 7 3539 9500
 W rpsgroup.com.au



Land Budget Stage 1

Land Use	Stage 1A	Stage 1B	Stage 1C	Stage 1D	Stage 1Z	Stage 1AA	Stage 1AD	Overall
	Area	Area	Area	Area	Area	Area	Area	
Area of Subject Site	5.596 ha	3.152 ha	2.730 ha	0.716 ha	0.628 ha	6.905 ha	1.959 ha	21.686 ha 100.0%
Saleable Area	2.289 ha	2.120 ha	1.996 ha	0.471 ha	—	—	—	6.876 ha 31.7%
Balance Super Allotments	—	—	—	—	0.628 ha	5.608 ha	0.389 ha	6.625 ha 30.5%
Total Area of Allotments	2.289 ha	2.120 ha	1.996 ha	0.471 ha	0.628 ha	5.608 ha	0.389 ha	13.501 ha 62.3%
Road	2.059 ha	—	0.186 ha	—	—	—	1.570 ha	3.815 ha 17.6%
Collector Road	0.877 ha	1.032 ha	0.518 ha	0.245 ha	—	—	—	2.672 ha 12.3%
Local Road	0.025 ha	—	0.030 ha	—	—	—	—	0.055 ha 0.3%
Entry Statements	—	—	—	—	—	—	—	0.0%
Total Area of New Road	2.961 ha	1.032 ha	0.734 ha	0.245 ha	—	—	1.570 ha	6.542 ha 30.2%
Open Space	—	—	—	—	—	—	—	0.0%
Corridor Park	0.247 ha	—	—	—	—	1.297 ha	—	1.544 ha 7.1%
Regional Recreation Park	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	0.0%
Local Recreation Park	0.099 ha	—	—	—	—	—	—	0.099 ha 0.5%
Local Linear Recreation Park	—	—	—	—	—	—	—	0.0%
Recreational Open Space	—	—	—	—	—	—	—	0.0%
Total Open Space	0.346 ha	—	—	—	—	1.297 ha	—	1.643 ha 7.6%

Yield Breakdown Stage 1

Residential Allotments	Stage							Overall
	Typical Size	Typical Area	1A	1B	1C	1D	1Z	
20m Deep Product								
Single Allotment	12.5 x 20m	250m ²	—	—	—	—	—	0%
Subtotal								0%
25m Deep Product								
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	0%
Courtyard Allotment	14 x 25m	350m ²	5	—	—	—	—	5
Premium Courtyard Allotment	16 x 25m	400m ²	5	—	—	—	—	6
Premium Traditional Allotment	20 x 25m	500m ²	1	—	2	—	—	5
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0%
Subtotal			11	—	2	3	—	16
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	4	7	3	—	—	14
Premium Villa Allotment	12.5 x 30m	375m ²	2	10	11	3	—	26
Courtyard Allotment	14 x 30m	420m ²	10	15	13	3	—	41
Traditional Allotment	20 x 30m	600m ²	13	9	6	1	—	29
Premium Traditional Allotment	24 x 30m	720m ²	5	4	2	—	—	11
Possible Multiple Residential Allotment	—	—	1	1	3	—	—	5
Subtotal			35	46	38	7	—	126
Total Residential Allotments			46	46	40	10	—	142
Residential Net Density			14.0 dwha	14.6 dwha	15.7 dwha	14.0 dwha	—	14.2
Super Lots			—	—	—	—	—	—
Balance Super Allotments			—	—	—	—	1	1
Sub Total			—	—	—	—	1	1
Total Allotments			46	46	40	10	1	145
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			48	48	48	10	—	154
Maximum Potential Net Residential Density			14.6 dwha	15.2 dwha	18.9 dwha	14.0 dwha	—	15.4

Road Lengths

Street Type	Stage 1A	Stage 1B	Stage 1C	Stage 1D	Stage 1Z	Stage 1AA	Stage 1AD	Overall
	Length	Length	Length	Length	Length	Length	Length	
Shared Access Driveway	—	—	20m	—	—	—	—	20m
6.5m Wide New Road	—	—	—	—	—	—	—	—
14.5m Wide New Road	146m	100m	6m	63m	—	—	—	315m
16.5m Wide New Road	213m	392m	276m	82m	—	—	—	963m
18.5m Wide New Road	170m	130m	34m	—	—	—	—	334m
21m Wide New Road	229m	—	85m	—	—	—	—	314m
23.8m Wide New Road	—	—	—	—	—	—	—	—
32m Wide New Road	—	—	—	—	—	—	—	—
Various Width New Road	709m	—	—	—	—	—	—	1535m
Total Length of New Road	1467m	622m	421m	145m	—	—	—	2655m

PLANS AND DOCUMENTS referred to in the PCA DEVELOPMENT APPROVAL

Approved: DEV2012/402/132

Date: 13 September 2020

REVISION

AA: 17/05/18 Amend Stage 1P
 AB: 06/06/18 Amend Stage 1P, 1B, 1C, 1A, 1D
 AC: 24/01/19 Sub-Staging 1S & 1AG
 AD: 20/03/19 POD Amendments & 5m Easement
 AE: 16/06/19 Amend Stage 1H, 1I, 1R, 1S
 AF: 19/08/19 POD Control Amendments
 AG: 16/12/19 POD Amendments Stage 1P
 AH: 19/12/19 Amend Stage 1P
 AI: 23/02/20 Amend POD Lots 205 & 80R
 AJ: 18/08/20 Amend POD Lot 84

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCCB, Contours: Cartho Bulk Earthworks

Legend

- Site Boundary
- - - Proposed Precinct Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing C/S
- Existing Q100
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location
- Padmount Transformer

CLIENT
PEET

PROJECT
 FLAGSTONE PRECINCT 1

PLAN OF SUBDIVISION
 STAGE 1A - 1D,
 1Z - 1AA & 1AD
 ALLOTMENT LAYOUT

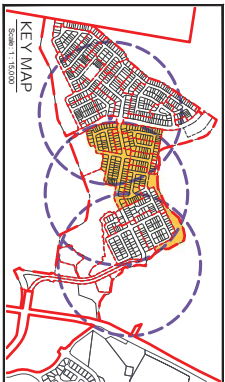
Date: 18 August 2020
 Comp By: WNW
 Checked By: MD / DG
 Drawn Name: Precinct 1 Stage 1
 Job Reference: 110056

Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA

Scale: 1:1000 Sheet: A1
 Plan Ref: 110056 - 122 Rev: AI

RPS

RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Urban Design
 Level 4 HQ South
 520 Wickham Street
 PO Box 1552 South
 Fortitude Valley QLD 4006
 T 417 7 359 9500
 W rpsgroup.com.au



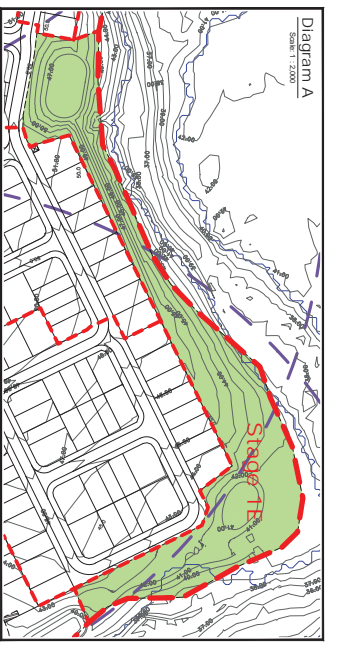
Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Existing OS
- Existing O100
- Early Staircase - Lease
- Restored Vegetation - Sand Creek
- Restored Vegetation - Other Areas
- 40m Catchment Area
- Possible Multiple Residential Allotment (Area no of dwellings)
- Indicative Main Bus Stop
- Indicative Bus Stop Location
- Padmount Transformer



Yield Breakdown Stage 1

Residential Allotments	Typical Size	Stage 1E	Stage 1F	Stage 1G	Stage 1H	Stage 1I	Stage 1J	Overall
20m Deep Product	12.5 x 20m	—	—	—	—	—	—	—
30m Deep Product	250m	—	—	—	—	—	—	—
20m Deep Product	10 x 20m	—	—	—	—	—	—	—
30m Deep Product	14 x 20m	—	—	—	—	—	—	—
Premium (no of dwellings)	16 x 20m	—	—	—	—	—	—	—
Premium (no of dwellings)	20 x 25m	—	—	—	—	—	—	—
20m - 30m Deep Product	210m	—	—	—	—	—	—	—
30m - 40m Deep Product	5 x 5 x 20m	—	—	—	—	—	—	—
30m Deep Product	10 x 30m	30m	6	2	—	2	—	3
Premium (no of dwellings)	12.5 x 30m	32m	6	2	4	1	7	6
Premium (no of dwellings)	14 x 30m	42m	11	6	3	7	7	3
Premium (no of dwellings)	20 x 30m	40m	4	4	3	3	3	17
Premium (no of dwellings)	24 x 30m	72m	3	4	1	3	1	13
Premium (no of dwellings)	—	—	3	4	3	2	2	16
Premium (no of dwellings)	—	—	3	3	3	1	2	12
Premium (no of dwellings)	—	—	2	2	1	1	1	7
Premium (no of dwellings)	—	—	2	1	1	1	2	7
Premium (no of dwellings)	—	—	13	6	12	10	18	59
Premium (no of dwellings)	—	—	—	—	—	—	—	31%
Total Residential Allotments	—	32	43	20	29	30	34	168
Total Residential Allotments	—	—	—	—	—	—	—	100%
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)	—	143 d.w./ha	163 d.w./ha	158 d.w./ha	193 d.w./ha	184 d.w./ha	164 d.w./ha	212
Maximum Potential Residential Density	—	163 d.w./ha	192 d.w./ha	188 d.w./ha	233 d.w./ha	224 d.w./ha	204 d.w./ha	212



Land Budget Stage 1

Land Use	Stage 1E	Stage 1F	Stage 1G	Stage 1H	Stage 1I	Stage 1J	Overall
Area	4,833 ha	3,410 ha	1,263 ha	1,892 ha	1,831 ha	2,184 ha	14,433 ha
Area of Subject Site	1,524 ha	2,027 ha	0,884 ha	1,376 ha	1,303 ha	1,515 ha	8,644 ha
Percentage of Allotments	31.5%	59.4%	69.9%	72.7%	72.8%	69.3%	65.5%
Area of Subject Site	1,524 ha	2,027 ha	0,884 ha	1,376 ha	1,303 ha	1,515 ha	8,644 ha
Area of Allotments	1,524 ha	2,027 ha	0,884 ha	1,376 ha	1,303 ha	1,515 ha	8,644 ha
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REVISION

Rev	Description
1	Initial Issue
2	Revised
3	Final

PROJECT

FLAGSTONE PRECINCT 1

110056

18 August 2020

WINW

DWG Name: Precinct 1 Stage 1

Created By: MJD/DG

Locally: JIMBOOMBA

ECONOMIC DEVELOPMENT QUEENSLAND

CLIENT

PEET

PLAN OF SUBDIVISION

STAGE 1E - 1J

ALLOTMENT LAYOUT

Scale 1:1000 @ A1

Approval

Approval no: DEV2012/402/132

Date: 3 September 2020

Queensland Government

Scale

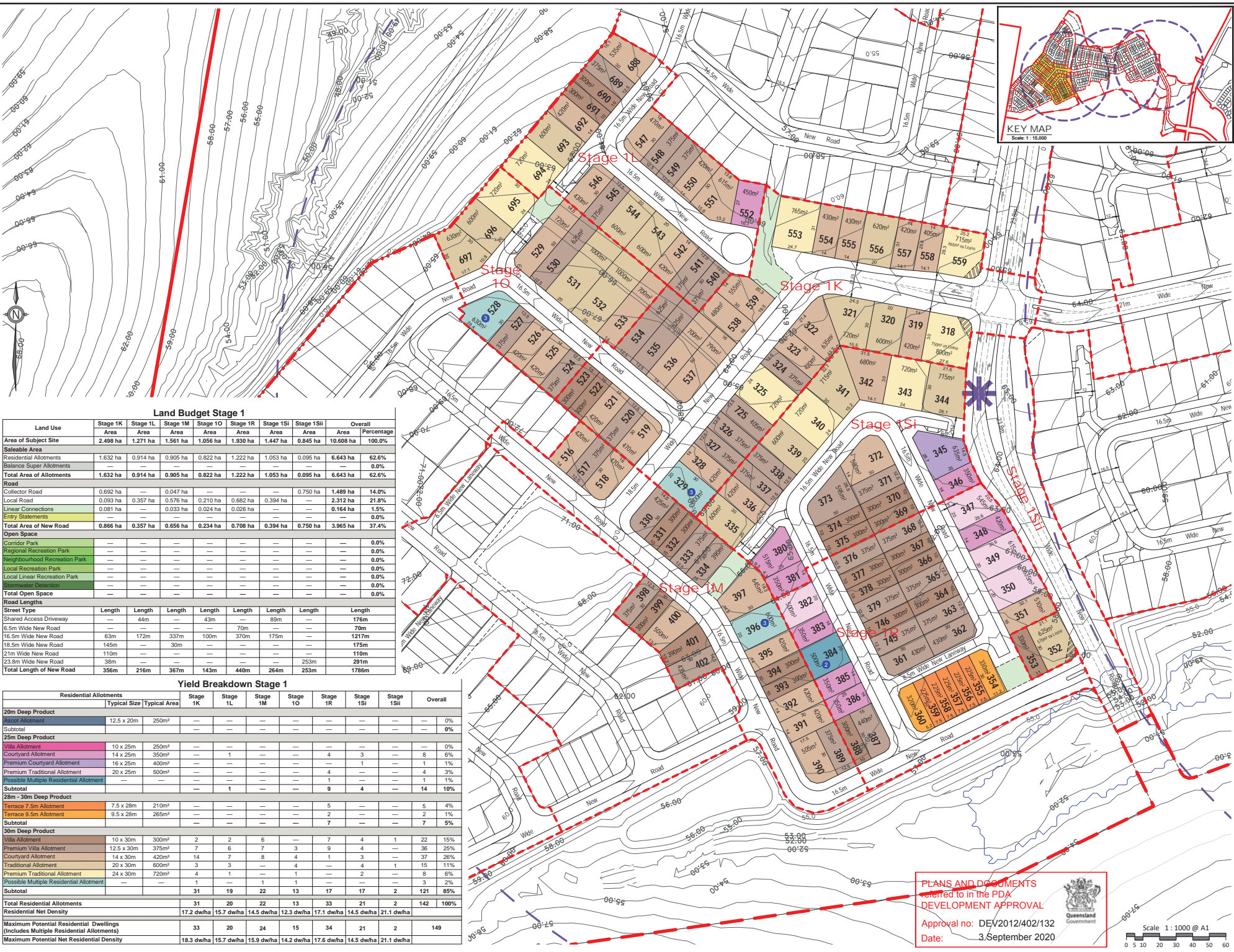
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Sheet A1

Plan Ref 1100556 - 123

Rev

A1



REVISION

AA: 17/05/18 Amend Stage 1P
 AB: 06/09/18 Amend Stage 1X, 1W, 1X, 1A, 1AE & 1AF
 AC: 24/01/19 Sub-Staging 1S & 1AG
 AD: 20/03/19 POD Amendments & 5m EM
 AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S
 AF: 18/09/19 POD Control Amendments
 AG: 16/12/19 POD Amendments Stage 1P
 AH: 22/08/20 Amend POD Lots 205 & 209
 AI: 16/08/20 Amend POD Lot 84

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Source Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCCB.
 Contours: Carbro Bulk Earthworks

Legend

- Site Boundary
- - - Proposed Precinct Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- ▨ Entry Statements - Lease
- Existing Q5
- Existing Q100
- ▨ Retained Vegetation - Flagstone & Sandy Creek
- ▨ Retained Vegetation - Other Areas
- 400m Catchment Area
- ① Possible Multiple Residential Allotment (Max. no. of dwellings)
- ✳ Indicative Bus Stop Location

Land Budget Stage 1

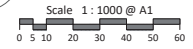
Land Use	Stage 1K		Stage 1L		Stage 1M		Stage 1O		Stage 1R		Stage 1S		Stage 1Si		Overall	
	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage	Area	Percentage
Area of Subject Site	2.498 ha		1.271 ha		1.561 ha		1.056 ha		1.930 ha		1.447 ha		0.845 ha		10.608 ha	100.0%
Residential Allotments	1.632 ha	65.3%	0.914 ha	72.0%	0.905 ha	58.3%	0.822 ha	78.0%	1.222 ha	63.2%	1.053 ha	72.9%	0.095 ha	11.2%	6.643 ha	62.6%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.632 ha		0.914 ha		0.905 ha		0.822 ha		1.222 ha		1.053 ha		0.095 ha		6.643 ha	62.6%
Road	0.692 ha	27.7%	—	—	0.047 ha	4.5%	—	—	—	—	0.750 ha	87.5%	1.489 ha	17.7%	14.0%	
Collector Road	0.692 ha	27.7%	—	—	0.047 ha	4.5%	—	—	—	—	0.750 ha	87.5%	1.489 ha	17.7%	14.0%	
Local Road	0.093 ha	3.7%	0.357 ha	27.9%	0.578 ha	44.9%	0.210 ha	16.2%	0.682 ha	53.7%	0.394 ha	30.7%	—	—	2.312 ha	21.8%
Linear Connections	0.061 ha	2.4%	—	—	0.033 ha	2.6%	0.024 ha	1.9%	—	—	—	—	—	—	0.164 ha	1.5%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.866 ha		0.357 ha		0.656 ha		0.234 ha		0.708 ha		0.394 ha		0.750 ha		3.965 ha	37.4%
Open Space	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Regional Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—		—		—		—		—		—		—		—	0.0%
Road Lengths																
Street Type	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length	Length
Shared Access Driveway	—	—	44m	—	—	43m	—	—	—	—	89m	—	—	—	—	176m
5.5m Wide New Road	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	70m
15.5m Wide New Road	—	—	63m	172m	—	337m	100m	—	—	—	370m	—	—	—	—	1217m
18.5m Wide New Road	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	175m
21m Wide New Road	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	110m
23.8m Wide New Road	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	291m
Total Length of New Road	356m	216m	367m	143m	440m	264m	253m	—	—	—	253m	—	—	—	1786m	

Yield Breakdown Stage 1

Residential Allotments	Typical Size	Typical Area	Stage					Overall									
			1K	1L	1M	1O	1R	1S	1Si	Overall							
20m Deep Product																	
Abscot Allotment	12.5 x 20m	250m ²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	0%
25m Deep Product																	
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0%
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0%
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	3%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	14%
28m - 30m Deep Product																	
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	7%
30m Deep Product																	
Villa Allotment	10 x 30m	300m ²	2	2	6	—	—	—	7	4	4	1	—	—	—	22	15%
Premium Villa Allotment	12.5 x 30m	375m ²	7	6	7	—	—	—	9	4	—	—	—	—	—	36	25%
Courtyard Allotment	14 x 30m	420m ²	14	7	8	4	—	—	4	1	3	—	—	—	—	37	26%
Traditional Allotment	20 x 30m	600m ²	3	3	—	—	—	—	4	—	—	—	—	—	—	15	11%
Premium Traditional Allotment	24 x 30m	720m ²	4	—	—	—	—	—	—	—	—	—	—	—	—	8	6%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	85%
Total Residential Allotments			31	20	22	13	—	—	33	21	2	—	—	—	—	142	100%
Residential Net Density			17.2 dwha	15.7 dwha	14.5 dwha	12.3 dwha	—	—	17.1 dwha	14.5 dwha	21.1 dwha	—	—	—	—	—	—
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			33	20	24	15	—	—	34	21	2	—	—	—	—	149	
Maximum Potential Net Residential Density			18.3 dwha	15.7 dwha	15.9 dwha	14.2 dwha	—	—	17.6 dwha	14.5 dwha	21.1 dwha	—	—	—	—	—	

PLANS AND DOCUMENTS
 referred to in the PDx
 DEVELOPMENT APPROVAL

Approval no: DEV/2012/402/132
 Date: 3 September 2020



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PROJECT
 FLAGSTONE
 PRECINCT 1

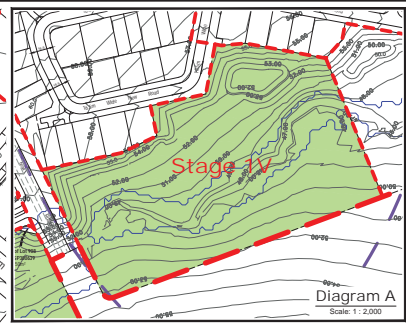
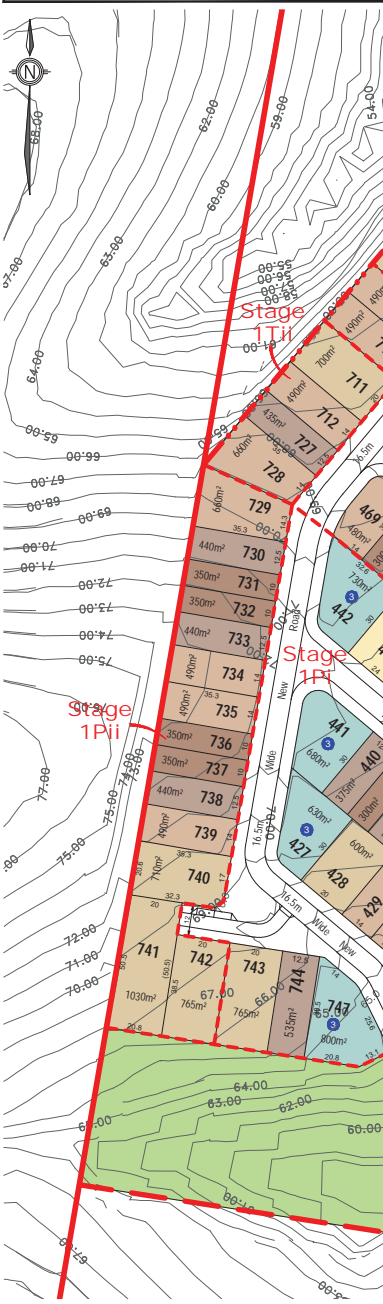
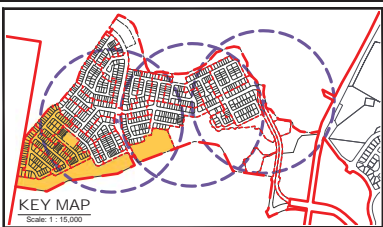
PLAN OF SUBDIVISION
 STAGE 1K - 1M &
 1O, 1R & 1S
 ALLOTMENT LAYOUT

Date: 18 August 2020
 Check By: WNW
 Checked by: MD / DG
 DWG Name: Precinct 1 Stage 1
 Job Reference: 110056
 Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA

Scale: 1 : 1000 Sheet: A1
 Plan Ref: 110056 - 124 Rev: AI

RPS

RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762
 Urban Design
 Level 4/102 South
 520 Wickham Street
 PO Box 150
 Fortitude Valley QLD 4006
 T +61 7 3539 9500
 W rpsgroup.com.au



Yield Breakdown Stage 1

Residential Allotments	Typical Size	Typical Area	Stage						Overall	
			1N	1PI	1P	1Q	1TI	1VI		
20m Deep Product										
Ascot Allotment	12.5 x 20m	250m ²	—	—	—	—	5	5	3%	
Subtotal	—	—	—	—	—	—	5	5	3%	
25m Deep Product										
Villa Allotment	10 x 25m	250m ²	—	—	—	—	—	—	0%	
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	—	—	0%	
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	—	—	0%	
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	—	0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0%	
Subtotal	—	—	—	—	—	—	—	—	0%	
28m - 30m Deep Product										
Terrace 7.5m Allotment	7.5 x 28m	210m ²	10	—	—	—	5	—	15	10%
Terrace 4.5m Allotment	9.5 x 28m	265m ²	4	—	—	—	2	—	6	4%
Subtotal	—	—	14	—	—	—	7	—	21	14%
30m Deep Product										
Villa Allotment	10 x 30m	300m ²	1	5	4	3	8	—	21	14%
Premium Villa Allotment	12.5 x 30m	375m ²	6	10	3	10	10	1	39	26%
Courtyard Allotment	14 x 30m	420m ²	9	8	4	12	11	2	44	30%
Traditional Allotment	20 x 30m	600m ²	—	2	3	4	—	1	9	6%
Premium Traditional Allotment	24 x 30m	720m ²	—	2	—	2	1	—	5	3%
Possible Multiple Residential Allotment	—	—	—	4	—	—	1	—	5	3%
Subtotal	—	—	16	31	14	32	30	4	123	83%
Total Residential Allotments			30	31	14	32	42	4	149	100%
Residential Net Density			14.0 dw/ha	13.1 dw/ha	18.9 dw/ha	15.9 dw/ha	17.2 dw/ha	17.5 dw/ha	—	—
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			30	39	14	33	42	4	158	—
Maximum Potential Net Residential Density			14.0 dw/ha	16.4 dw/ha	18.9 dw/ha	16.4 dw/ha	17.2 dw/ha	17.5 dw/ha	—	—

Land Budget Stage 1

Land Use	Stage						Overall	
	1N	1PI	1Q	1TI	1SI	1VI	Area	Percentage
Area of Subject Site	2.142 ha	2.373 ha	0.739 ha	2.012 ha	2.437 ha	0.229 ha	18.941 ha	100.0%
Saleable Area	1.027 ha	1.532 ha	0.739 ha	1.520 ha	1.512 ha	0.229 ha	7.613 ha	40.2%
Residential Allotments	1.027 ha	1.532 ha	0.739 ha	1.520 ha	1.512 ha	0.229 ha	7.613 ha	40.2%
Balance Super Allotments	—	—	—	—	—	—	—	—
Total Area of Allotments	1.027 ha	1.532 ha	0.739 ha	1.520 ha	1.512 ha	0.229 ha	7.613 ha	40.2%
Road	—	—	—	—	—	—	—	—
Collector Road	—	—	—	—	—	—	—	0.0%
Local Road	0.611 ha	0.840 ha	—	0.492 ha	0.829 ha	—	3.166 ha	16.7%
Linear Connections	—	—	—	—	—	—	—	0.0%
Entry Statements	—	—	—	—	—	—	—	0.0%
Total Area of New Road	0.611 ha	0.840 ha	—	0.492 ha	0.829 ha	—	3.166 ha	16.7%
Open Space	—	—	—	—	—	—	—	—
Corridor Park	—	—	—	—	—	—	7.562 ha	39.9%
Regional Recreation Park	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	0.504 ha	—	—	—	—	—	0.504 ha	2.7%
Local Recreation Park	—	—	—	—	0.096 ha	—	0.096 ha	0.5%
Local Linear Recreation Park	—	—	—	—	—	—	—	0.0%
Other Areas	—	—	—	—	—	—	—	0.0%
Total Open Space	0.504 ha	—	—	—	0.096 ha	—	7.562 ha	43.1%
Road Lengths	—	—	—	—	—	—	—	—
Street Type	Length	Length	Length	Length	Length	Length	Length	Length
6.5m Wide New Road	60m	—	—	—	60m	—	—	120m
16.5m Wide New Road	329m	471m	—	295m	445m	—	175m	1715m
18.5m Wide New Road	—	—	—	—	—	—	—	—
Total Length of New Road	389m	471m	—	295m	509m	—	175m	1835m

REVISION

AA: 17/05/18 Amend Stage 1P
 AB: 06/06/18 Amend Stage 1N, 1P, 1Q, 1TI, 1VI
 AC: 24/01/19 Sub-Stage 1S & 1AG
 AD: 20/03/19 POD Amendments & 5m EM
 AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S
 AF: 18/09/19 POD Control Amendments
 AG: 16/12/19 POD Amendments Stage 1P
 AH: 1R, 1S and 1T
 AI: 22/02/20 Amend POD Lots 205 & 209
 AJ: 18/08/20 Amend POD Lot 84

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineering design.

Source Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCCB.
 Contours: Carcho Bulk Earthworks

Legend

- Site Boundary
- Proposed Precinct Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Existing Q100
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location

CLIENT
PEET

PROJECT
 FLAGSTONE
 PRECINCT 1

PLAN OF SUBDIVISION
 STAGE 1N, 1P, 1Q,
 1T & 1V
 ALLOTMENT LAYOUT

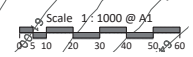
Date: 18 August 2020
 Comp By: WNW
 Checked by: MD / DG
 DWG Name: Precinct 1 Stage 1

Job Reference: 110056
 Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA

Scale: 1:1000 Sheet: A1
 Plan Ref: 110056 - 125 Rev: AI

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012402/132
 Date: 3 September 2020



RPS

RPS Australia East Pty Ltd
 ACN 140 292 762
 ABN 44 140 292 762

Urban Design
 Level 4/2 South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006

T +61 7 3539 9500
 W rpsgroup.com.au

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/402/132

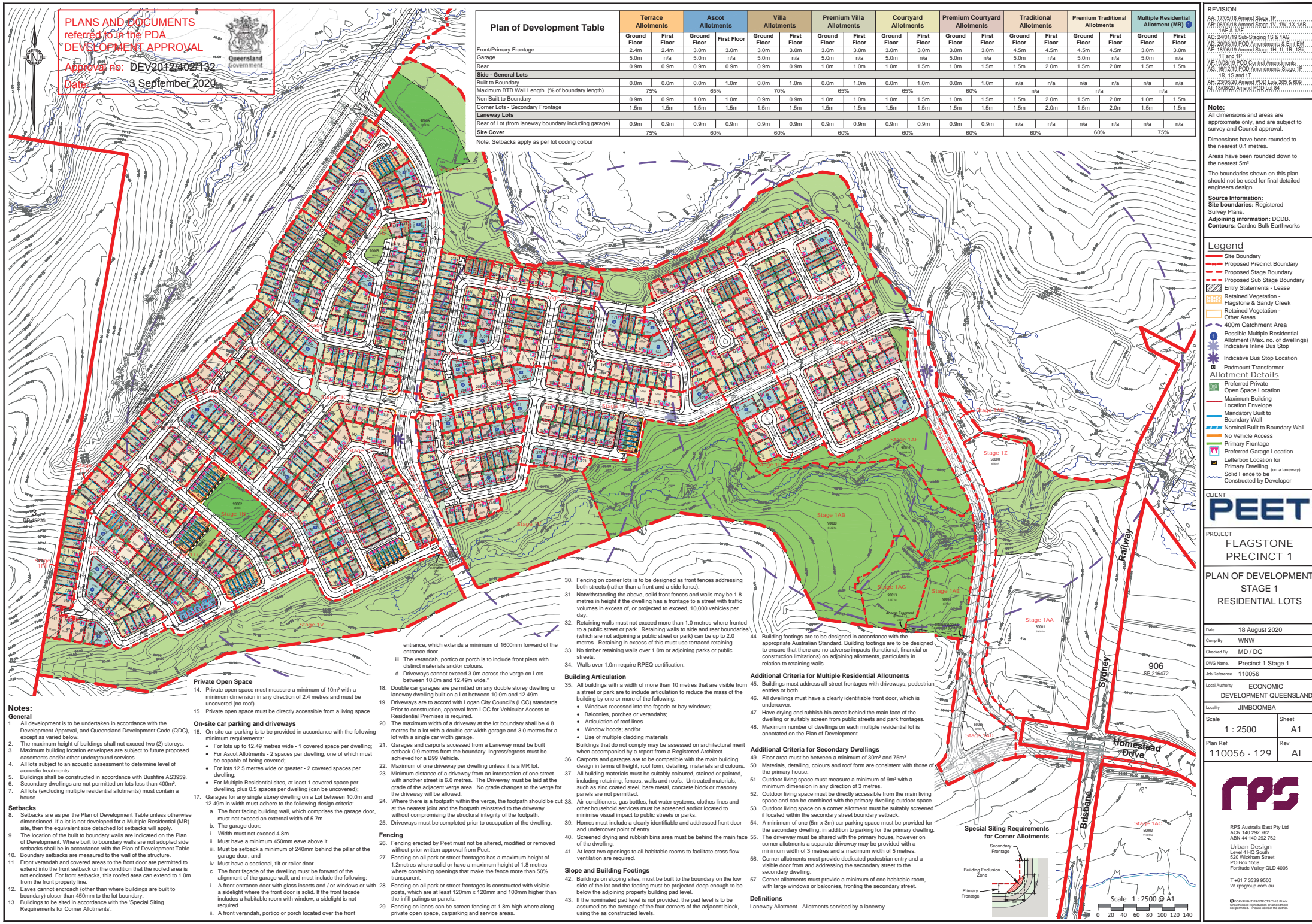
Date: 3 September 2020



Plan of Development Table

	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Built to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum STB Wall Length (% of boundary length)	75%	0.9m	65%	1.0m	70%	1.0m	65%	1.0m	65%	1.0m	60%	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
Laneway Lots																		
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	75%		60%		60%		60%		60%		60%		60%		60%		75%	

Note: Setbacks apply as per lot coding colour



- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Baseline AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - All lots (excluding multiple residential allotments) must contain a house.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.

The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.

Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach further than where buildings are built to boundary closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments':

Private Open Space

14. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).

15. Private open space must be directly accessible from a living space.

On-site car parking and driveways

16. On-site car parking is to be provided in accordance with the following minimum requirements:

- For lots up to 12.49 metres wide - 1 covered space per dwelling
- For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling.

17. For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered);

18. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:

- The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
- The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
- The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.

Driveways

19. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.

20. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.

21. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a 899 Vehicle.

22. Maximum of one driveway per dwelling unless it is a MR lot.

23. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.

24. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.

25. Driveways must be completed prior to occupation of the dwelling.

Fencing

26. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.

27. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.

28. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.

29. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.

- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence)
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining access of this must use terraced retaining. No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.
- Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling or laneway dwelling built on a Lot between 10.0m and 12.49m.

Building Articulation

35. All buildings with a width of more than 10 metres that are visible from a street or park are to be articulated to reduce the mass of the building by one or more of the following:

- Windows recessed into the facade or bay windows;
- Balconies, porches or verandahs;
- Articulation of roof lines
- Window hoods; and/or
- Use of multiple cladding materials

Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect

36. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

37. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.

38. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.

39. Homes must include a clearly identifiable and addressed front door and undercover point of entry.

40. Screened drying and rubbish bins area must be behind the main face of the dwelling.

41. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

42. Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.

43. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.

Additional Criteria for Multiple Residential Allotments

45. Buildings must address all street frontages with driveways, pedestrian entries or both.

46. All dwellings must have a clearly identifiable front door, which is undercover.

47. Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.

48. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

49. Floor area must be between a minimum of 30m² and 75m².

50. Materials, detailing, colours and roof form are consistent with those of the primary house.

51. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.

52. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.

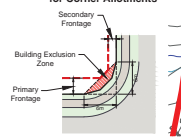
53. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.

54. A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.

56. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.

57. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Special Siting Requirements for Corner Allotments



REVISION

AA: 17/05/18 Amend Stage 1P
AB: 26/06/18 Amend Stage 1P, 1W, 1X, 1Y, 1Z
AC: 24/01/19 Sub-Staging 1S & 1AG
AD: 20/01/19 POD Amenity Bays & 5m EM
AE: 18/06/19 Amend Stage 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S and 1T
AF: 18/09/19 POD Control Amendments
AG: 16/12/19 POD Amendments Stage 1P
AH: 22/03/20 Amend Stage 1Q, 1R, 1S and 1T
AI: 18/03/20 Amend POD Lot 94

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCCB.
Contours: Carcho Bulk Earthworks

Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Entry Statements - Lease
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative In-line Bus Stop
- Indicative Bus Stop Location
- Padmount Transformer
- Allotment Details
- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Solid Fence to be Constructed by Developer

CLIENT

PEET

PROJECT

FLAGSTONE
PRECINCT 1

PLAN OF DEVELOPMENT STAGE 1 RESIDENTIAL LOTS

Date: 18 August 2020
Comp By: WNW
Checked by: MD / DG
DWG Name: Precinct 1 Stage 1
Job Reference: 110056
Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
Locality: JIMBOOMBA
Scale: 1 : 2500
Sheet: A1
Plan Ref: 110056 - 129
Rev: AI

RPS

RPS Australia East Pty Ltd
ADN 140 292 762
ABN 44 140 292 762
Urban Design
Level 14/2 South
520 Wickham Street
PO Box 105
Fortitude Valley QLD 4006
T 417 3539 9500
W rpsgroup.com.au

Scale 1 : 2500 @ A1

0 20 40 60 80 100 120 140

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - All lots (excluding multiple residential allotments) must contain a house.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments'.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).
 - Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.49 metres wide - 1 covered space per dwelling;
 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eaves above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door,
 - Must have a sectional, sit or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front steps with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.

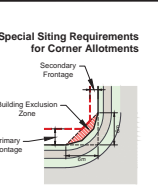
- Double car garages are permitted on any double storey dwellings or laneway dwelling built on a lot between 10.0m and 12.49m.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a loopback within the verge, the loopback should be cut at the nearest joint and the loopback reinstated to the driveway without compromising the structural integrity of the loopback.
- Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carport and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
 - Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining in excess of this must use terraced retaining.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.

- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - All at least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- Setbacks and Building Footings**
- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the building block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- Additional Criteria for Multiple Residential Allotments**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a viable door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.



- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.



Plan of Development Table	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	5.0m	n/a	5.0m	0.9m	5.0m	0.9m	5.0m	n/a	5.0m	0.9m	5.0m	n/a	5.0m	n/a	5.0m	0.9m	5.0m	n/a
Rear	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Side - General Lots	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Built to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum 6TB Wall Length (% of boundary length)	75%		65%		70%		65%		65%		60%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	75%		60%		60%		60%		60%		60%		60%		60%		75%	

Note: Setbacks apply as per lot coding colour

PLANS AND DOCUMENTS referred to by the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012400/132

Date: 18 September 2020



- REVISION**
- AA: 17/05/18 Amend Stage 1P
 - AR: 06/08/18 Amend Stage 1P, 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z
 - AC: 24/01/19 Sub-Staging 1S & 1AG
 - AD: 20/03/19 POD Amendments & 5m Easement
 - AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S, 1T and 1U
 - AF: 08/09/19 POD Control Amendments
 - AG: 16/12/19 POD Amendments Stage 1P
 - AH: 19/15 and 1T
 - AI: 22/02/20 Amend POD Lots 205 & 209
 - AJ: 18/08/20 Amend POD Lot 84
- Note:**
- All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
 Site boundaries: Registered Survey Plans.
 Adjoining information: DCDB.
 Contours: Cadmus Bulk Earthworks

- Legend**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing OS
 - Existing Q100
 - Retained Vegetation - Flagstone & Sandy Creek
 - Retained Vegetation - Other Areas
 - 400m Catchment Area
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Indicative Inline Bus Stop
 - Indicative Bus Stop Location
 - Padmount Transformer

- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)

CLIENT

PEET

PROJECT

FLAGSTONE PRECINCT 1

PLAN OF DEVELOPMENT

STAGE 1A - 1D RESIDENTIAL LOTS

Date	18 August 2020
Checked By	WNW
Drawn By	MD / DG
DRWG Name	Precinct 1 Stage 1
Job Reference	110056
Local Authority	ECONOMIC DEVELOPMENT QUEENSLAND
Locality	JIMBOOMBA
Scale	1 : 1000
Sheet	A1
Plan Ref	110056 - 130
Rev	AI

RPS

RPS Australia East Pty Ltd
 ACN 418 292 782
 ABN 44 140 292 782

Urban Design
 Level 4 HQ South
 520 Wickham Street
 Box 155
 Forbes Valley QLD 4006

T 411 3539 9500
 W rpsgroup.com.au

Notes:

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- All lots (excluding multiple residential allotments) must contain a house.

- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent site detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the Special Siting Requirements for Corner Allotments.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).
 - Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.49 metres wide - 1 covered space per dwelling;
 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered);

- Garages for any single detached dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling or laneway dwelling built on a Lot between 10.0m and 12.49m.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessible from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a 899 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
 - Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining in excess of this must use terraced retaining.

- No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Un treated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- Slope and Building Footings**
- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or constraint limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments**
- Buildings must address all street frontages with driveways, pedestrian entries to both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 2 metres and a maximum width of 4 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
Laneway Allotment - Allotments serviced by a laneway.



Plan of Development Table	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR) 1	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	4.5m	4.5m	5.0m	4.5m	5.0m	3.0m	3.0m
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m	1.5m	2.0m	2.0m	1.5m	2.0m	1.5m	1.5m	1.5m
Side - General Lots																		
Built to Boundary	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	75%		65%		70%		65%		65%		60%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																		
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	75%		60%		60%		60%		60%		60%		60%		60%		75%	

Note: Setbacks apply as per lot coding colour

REVISION

AA: 17/05/18 Amend Stage 1P
 AB: 06/07/18 Amend Stage 1P, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 AC: 24/01/19 Sub-Staging 1S & 1AG
 AD: 20/03/19 POD Amendments & Easements
 AE: 18/06/19 Amend Stage 1K, 11, 1R, 1S, 1T and 1U
 AF: 18/08/19 POD Control Amendments
 AG: 16/12/19 POD Amendments Stage 1P
 AH: 22/03/20 Amend POD Lots 208 & 80R
 AI: 18/08/20 Amend POD Lot 84

Note:
 All dimensions and areas are approximate only and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
 Site boundaries: Registered Survey Plans
 Adjoining information: DCCB
 Contours: Cardno Bulk Earthworks

Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Entry Statements - Lease
- Retained Vegetation -
- Flagstones & Sandy Creek
- Retained Vegetation -
- Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location

Allotment Details

- Preferred Privation
- Open Space Location
- Maximum Building
- Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)

CLIENT
PEET

PROJECT
 FLAGSTONE
 PRECINCT 1

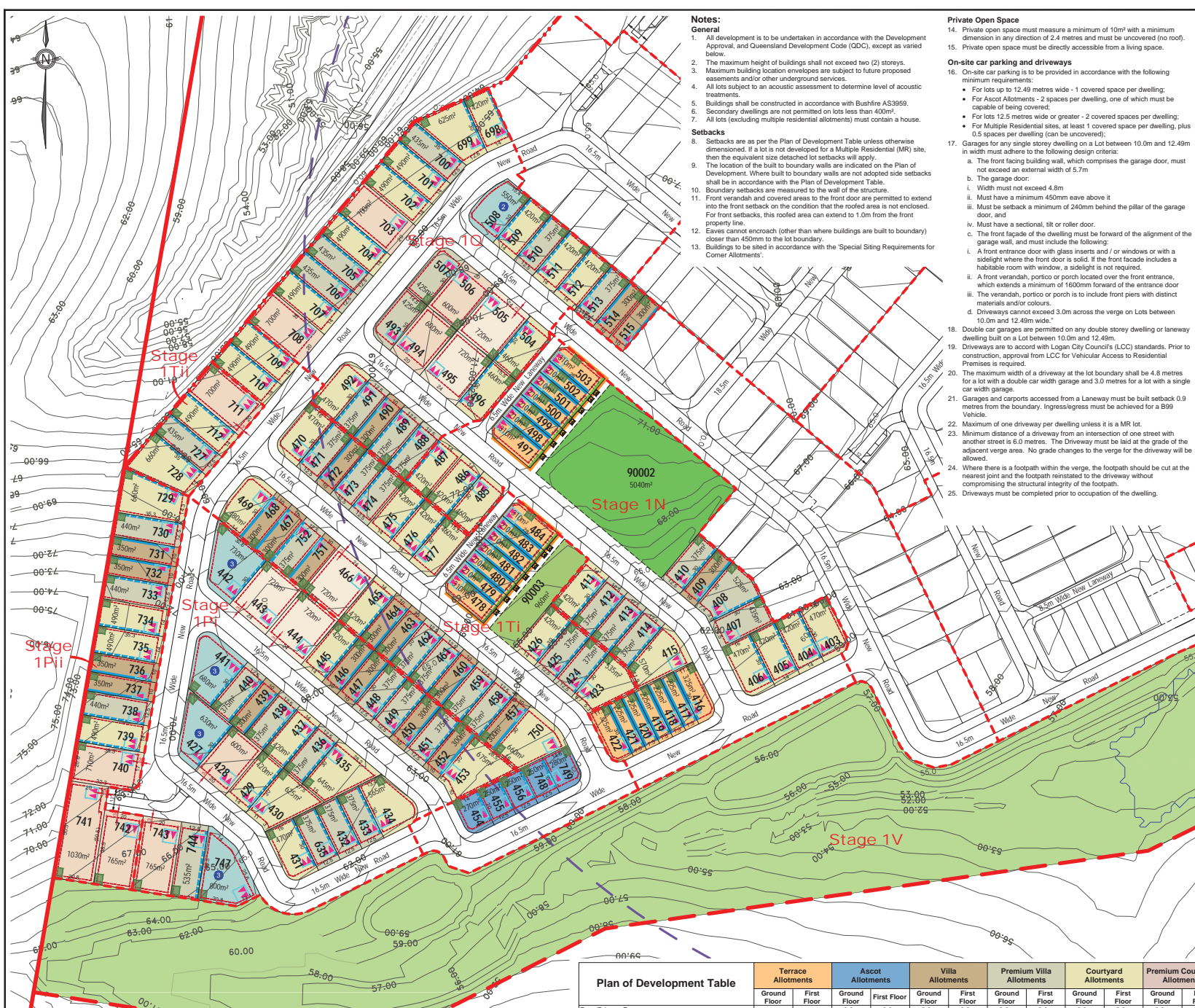
PLAN OF DEVELOPMENT
 STAGE 1K - 1M &
 10, 1R - S
 RESIDENTIAL LOTS

Date: 18 August 2020
 Created by: WNW
 Checked by: MD / DG
 DWG Name: Precinct 1 Stage 1
 Job Reference: 110056
 Local Authority: ECONOMIC DEVELOPMENT QUEENSLAND
 Locality: JIMBOOMBA
 Scale: 1 : 1000 Sheet A1
 Plan Ref: 110056 - 132 Rev AI

PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL

Approval no: DEV2012/402/132
 Date: 3 September 2020

Scale 1 : 1000 @ A1



- Notes:**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - All lots (excluding multiple residential allotments) must contain a house.
- Setbacks:**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Saves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the Special Siting Requirements for Corner Allotments.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).
 - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.49 metres wide - 1 covered space per dwelling;
 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered);
 - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm save above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and /or windows or with a side light where the front door is solid. If the front facade includes a habitable room with windows, a side light is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
 - Double car garages are permitted on any double storey dwelling or laneway dwelling built on a Lot between 10.0m and 12.49m.
 - Driveways are to be constructed in accordance with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a B99 Vehicle.
 - Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of or projected to exceed 10,000 vehicles per day.
 - Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining in excess of this must use terraced retaining.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - All-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and understorey point of access.
 - Screened drying and rubbish bins must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

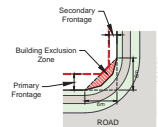
- Slope and Building Footings**
- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

Special Siting Requirements for Corner Allotments



Plan of Development Table	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	5.0m
Rear	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Side - General Lots	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	75%		65%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																		
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a
Site Cover		75%		60%		60%		60%		60%		60%		60%	n/a	60%	n/a	75%

Note: Setbacks apply as per lot coding colour

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/402/132-06-99

Date: 3 September 2020



- REVISION**
- AA: 17/05/18 Amend Stage 1P
 - AB: 06/07/18 Amend Stage 1P, 1Q, 1R, 1S, 1T, 1V
 - AC: 24/01/19 Sub-Stage 1S & 1Q
 - AD: 20/03/19 POD Amendments & 5m EM
 - AE: 18/06/19 Amend Stage 1H, 1I, 1R, 1S, 1T and 1V
 - AF: 18/03/19 POD Amendments
 - AG: 16/12/19 POD Amendments Stage 1P
 - AH: 1R, 1S and 1T
 - AI: 18/03/20 Amend POD Lot 208 & RR
 - AJ: 18/03/20 Amend POD Lot 94

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineering design.

Source Information:
Site boundaries: Registered Survey Plans.
Adjoining information: DCDB.
Contours: Cadbro Bulk Earthworks

Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing C5
- Existing O100
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Normal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)

CLIENT

PEET

PROJECT

FLAGSTONE PRECINCT 1

PLAN OF DEVELOPMENT STAGE 1N, 1P, 1Q & 1T RESIDENTIAL LOTS

Date:	18 August 2020
Comp By:	WNW
Checked by:	MD / DG
DWG Name:	Precinct 1 Stage 1
Job Reference:	110056
Local Authority:	ECONOMIC DEVELOPMENT QUEENSLAND
Locality:	JIMBOOMBA
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	110056 - 133
Rev:	AI

RPS

RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762

Urban Design
Level 4/2 South
520 Wickham Street
PO Box 1029
Fortitude Valley QLD 4006

T 417 3539 9500
W rpsgroup.com.au

Plan of Development Table	Terrace Allotments		Ascot Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR) 1	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Rear	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Side - General Lots	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Build to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	0.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	75%		65%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																		
Rear of Lot (from laneway boundary including garage)	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover		75%		60%		60%		60%		60%		60%	n/a	n/a	n/a	60%	n/a	75%

Note: Setbacks apply as per lot coding colour

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (DDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments.
 - Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - All lots (excluding multiple residential allotments) must contain a house.

- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table. Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
 - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - Buildings to be sited in accordance with the 'Special Siting Requirements for Corner Allotments'.

- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres and must be uncovered (no roof).
 - Private open space must be directly accessible from a living space.

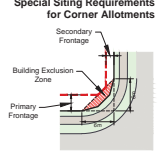
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.49 metres wide - 1 covered space per dwelling;
 - For Ascot Allotments - 2 spaces per dwelling, one of which must be capable of being covered;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered);
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 160mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."

- Double car garages are permitted on any double storey dwelling or laneway dwelling built on a Lot between 10.0m and 12.49m.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary. Ingress/egress must be achieved for a 800V Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
 - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
 - Corner lots to be sited as per the Plan of Development Table unless otherwise dimensioned (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
 - Retaining walls must not exceed more than 1.0 metres where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0 metres. Retaining in excess of this must use terraced retaining.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.

- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 Buildings that do not comply may be assessed on architectural merit when accompanied by a report from a Registered Architect
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.

- Special Siting Requirements for Corner Allotments**
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites, must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.



- Additional Criteria for Multiple Residential Allotments**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary house.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (6m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions
Laneway Allotment - Allotments serviced by a laneway.

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Approval no: DE 2012/402/132

Date: 3 September 2020



REVISION

AA: 17/05/18 Amend Stage 1P
AB: 06/01/18 Amend Stage 1P, 1Y, 1W, 1X, 1Z, 1AA, 1AE & 1AF
AC: 24/01/19 Sub-Staging 1S & 1AG
AD: 20/03/19 POB Amendments & 5m EM
AE: 18/06/19 Amend Stage 1H, 1I, 1J, 1SA, 1T and 1P
AF: 18/03/19 POB Control Amendments
AG: 16/12/19 POB Amendments Stage 1P
AH: 1R, 1S and 1T
AI: 22/06/20 Amend POB Lots & ROP
AJ: 18/08/20 Amend POB Lot 84

Note: All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information: Site boundaries: Registered Survey Plans. Adjoining information: DCDB. Contours: Cadco Bulk Earthworks

Legend

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Entry Statements - Lease
- Existing O100
- Retained Vegetation - Flagstone & Sandy Creek
- Retained Vegetation - Other Areas
- 400m Catchment Area
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Bus Stop Location

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)

CLIENT: **PEET**

PROJECT: **FLAGSTONE PRECINCT 1**

PLAN OF DEVELOPMENT: **STAGE 1U & 1W - 1Y RESIDENTIAL LOTS**

Date: 18 August 2020
Comp By: WNW
Checked by: MD / DG
DWG Name: Precinct 1 Stage 1
Job Reference: 110056

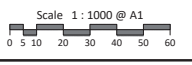
Local Authority: **ECONOMIC DEVELOPMENT QUEENSLAND**

Locality: **JIMBOOMBA**

Scale: 1 : 1000 Sheet A1
Plan Ref: 110056 - 134 Rev AI

RPS

RPS Australia East Pty Ltd
ACN 140 292 762
ABN 44 140 292 762
520 Wickham Street
PO Box 1028
Fortitude Valley QLD 4006
T +61 7 3539 9500
W rpsgroup.com.au



Legend

General

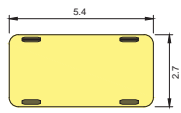
- Site Boundary
- - - Proposed Precinct Boundary
- - - - Proposed Super Stage Boundary
- - - - - Proposed Sub Stage Boundary
- - - - - 400m Catchment Area
- * Indicative Bus Stop Location
- Padmount Transformer

Open Space

- Regional Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections
- Entry Statements

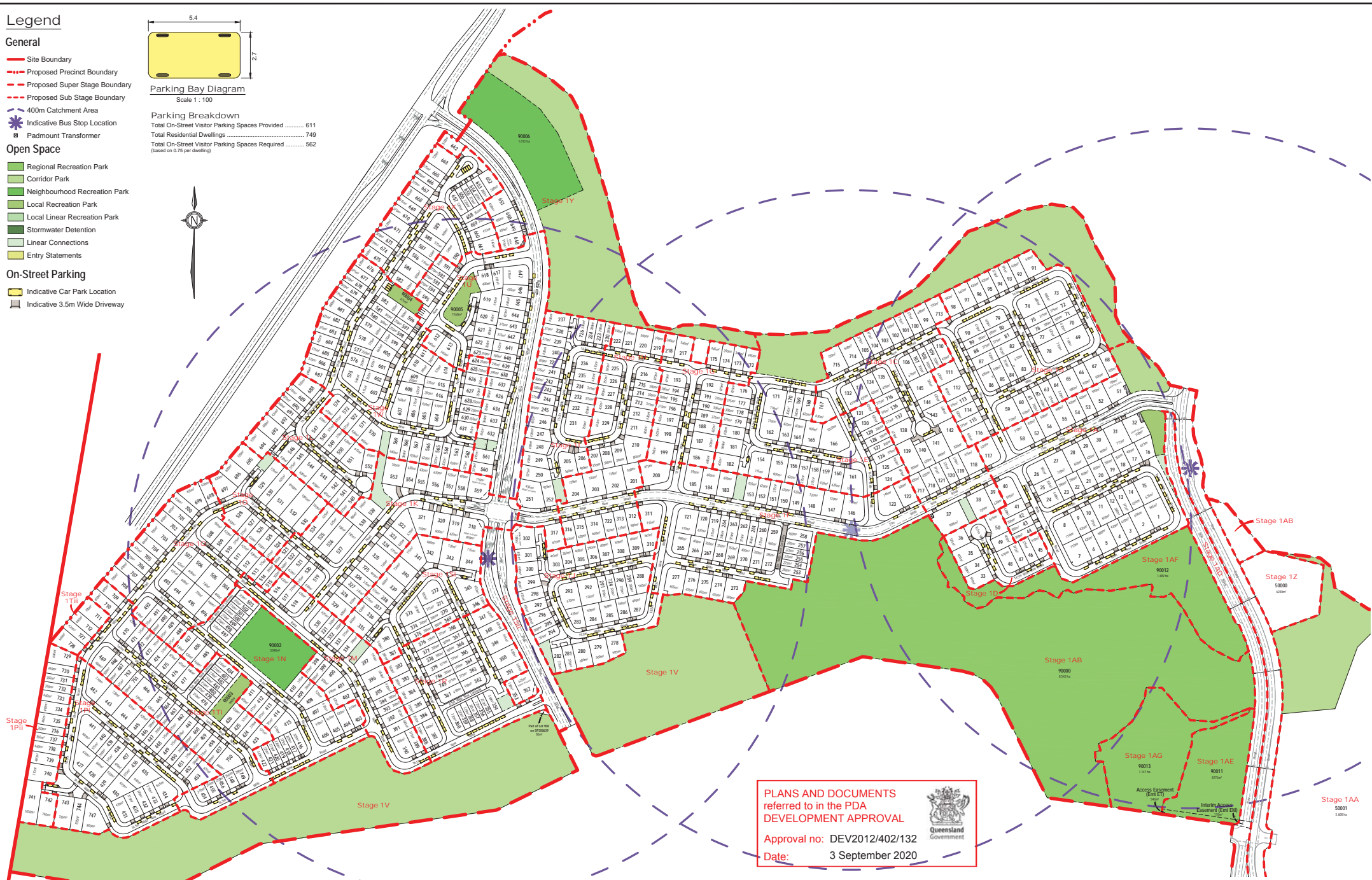
On-Street Parking

- Indicative Car Park Location
- Indicative 3.5m Wide Driveway




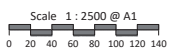
Parking Bay Diagram
Scale 1 : 100

Parking Breakdown
 Total On-Street Visitor Parking Spaces Provided 611
 Total Residential Dwellings 749
 Total On-Street Visitor Parking Spaces Required 562
 (based on 0.75 per dwelling)



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/402/132
 Date: 3 September 2020

REVISION
AK: 17/09/18 Amend Stage 1P
AB: 06/09/18 Amend Stage 1V, 1W, 1X, 1AB, 1AE & 1AF
AC: 24/07/19 Sub-Staging 1B & 1AG
AD: 20/03/19 POA Amendments & Entry E&I
AE: 18/09/19 Amend Stage 1H, 1I, 1R, 1S, 1T and 1U
AF: 19/09/19 POA Control Amendments
AG: 16/12/19 POA Amendments Stage 1P, 1R, 1S and 1T
AH: 23/06/20 Amend POA Lots 206 & 609
AI: 18/08/20 Amend POA Lot 84

PROJECT		CLIENT	
FLAGSTONE PRECINCT 1		PEET	
Job Ref. 110056	Date 18 August 2020	PLAN OF DEVELOPMENT STAGE 1 PARKING MANAGEMENT PLAN	
Comp By: WNW	DWG Name: Precinct 1 Stage 1		
Checked By: MD / DG	Locality JIMBOOMBA		
Local Authority ECONOMIC DEVELOPMENT QUEENSLAND			

 RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 530 Wickham Street Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com.au	Scale	Sheet	Plan Ref	Rev
	1 : 2000	A1	110056 - 137	AI