



This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 446 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

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П		No.	by	Date	Description
П	S	Α	TBG	15/11/16	Original Issue
	ssne	В	TBG	02/02/17	Some contours removed
	<u> S</u>	С	TBG	21/02/17	Council approval status updated.



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Scale 1:250 - Lengths are in Metres.

18 20 22 24 26 28 30 32 34 36 38

Disclosure Plan for Proposed Lot 446 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

Scale @A3 1: 250

Dwg No. 8353 S 26 DP C 446

Level Datum: AHD der.

RL of Origin: 78.888

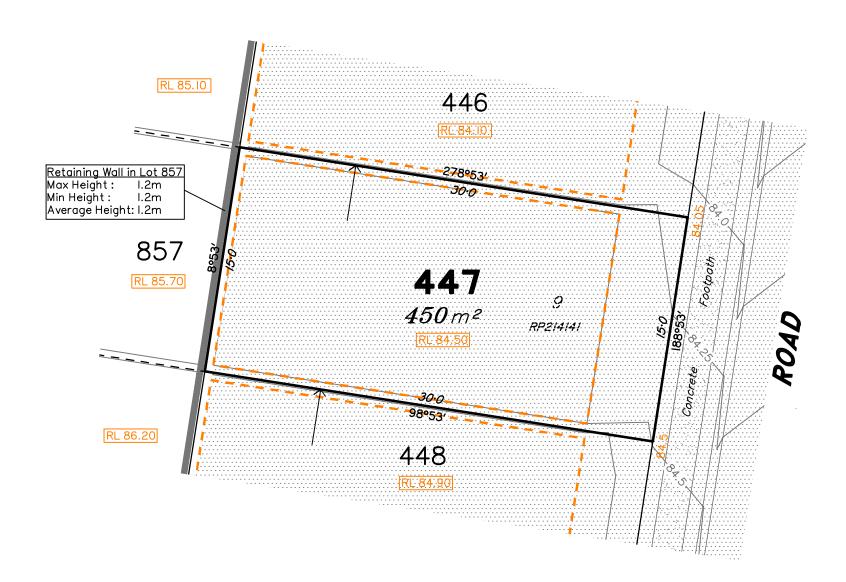
Contour Interval: 0.25m

Origin of Levels: PM161439

Locality of Redbank Plains







# LEGEND Area of Cut Design Contours Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### NOTES

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Lot 447 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

A TBG 15/11/16 Original Issue B TBG 02/02/17 Some contours removed C TBG 21/02/17 Council approval status updated.	П		No.	by	Date	Description
B TBG 02/02/17 Some contours removed	П	S	Α	TBG	15/11/16	Original Issue
C TBG 21/02/17 Council approval status undated		sne	В	TBG	02/02/17	Some contours removed
= 0 1BC 270277 Council approval states apacted.	П	sı	O	TBG	21/02/17	Council approval status updated.



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Scale 1:250 - Lengths are in Metres.

18 20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 447 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417
Existing Title Reference: 51016185

Locality of Redbank Plains

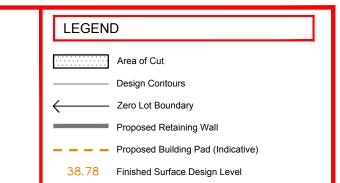
Level Datum: AHD der.
Origin of Levels: PM161439
RL of Origin: 78.888
Contour Interval: 0.25m

Scale @A3 1: 250









RL 38.78 Finished Pad Design Level

#### NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 448 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

ı		No.	by	Date	Description
ı	ဖွ	Α	TBG	15/11/16	Original Issue
	sne	В	TBG	02/02/17	Some contours removed
ı	<u>s</u>	С	TBG	21/02/17	Council approval status updated.
•	뜨	U	IDG	21/02/11	Courier approvar status upuateu.



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Scale 1:250 - Lengths are in Metres.

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20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 448 (Restricted) on SP292395

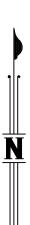
Described as part of Lot 855 (Restricted) on SP279417
Existing Title Reference: 51016185

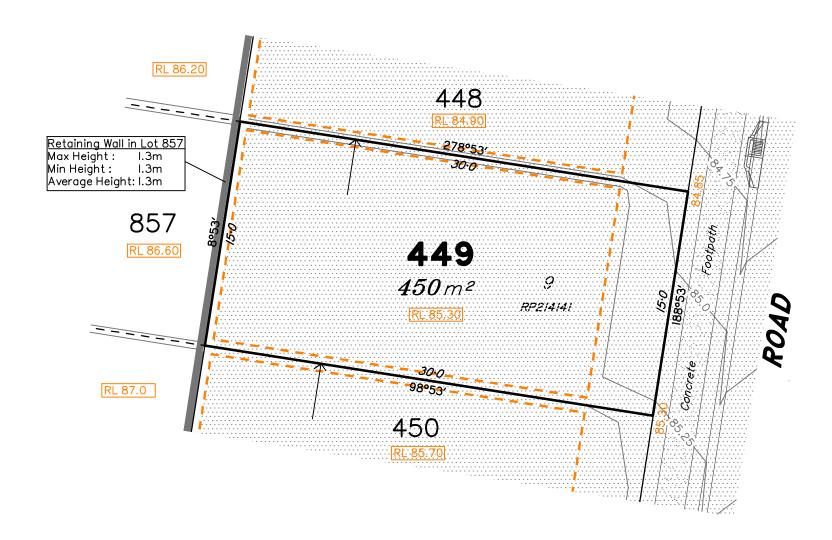
Locality of Redbank Plains

Level Datum: AHD der.
Origin of Levels: PM161439
RL of Origin: 78.888
Contour Interval: 0.25m

Scale @A3 1: 250









Zero Lot Boundary Proposed Retaining Wall

 Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 449 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

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2	0	2	4	6	8	10	12	14	16	18	20	22	24	26	28	30	32	34	36	3

	No.	by	Date	Description
s,	Α	TBG	15/11/16	Original Issue
senss	В	TBG	02/02/17	Some contours removed
\s	С	TBG	21/02/17	Council Approval status amended.



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Disclosure Plan for Proposed Lot 449 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

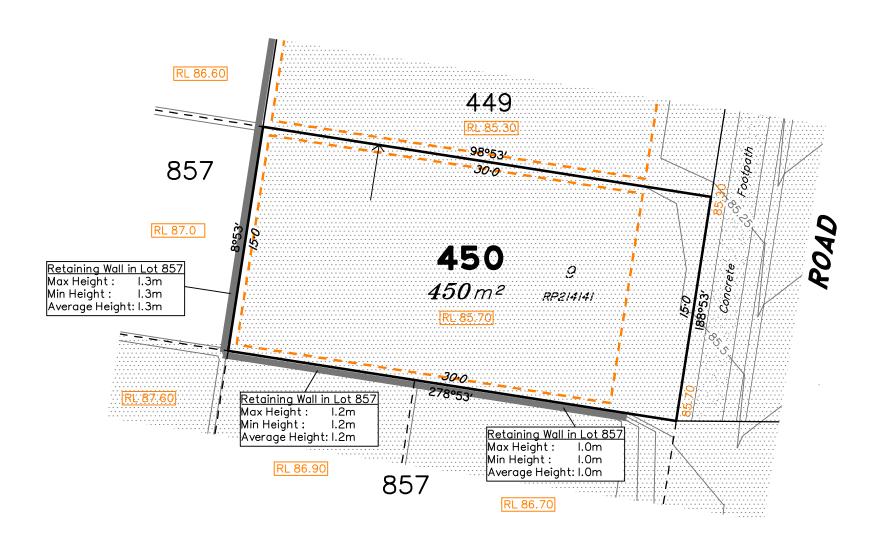
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









Area of Cut

Design Contours

 Zero Lot Boundary Proposed Retaining Wall

Proposed Building Pad (Indicative)

38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 450 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

П		No.	by	Date	Description
П	S	Α	TBG	15/11/16	Original Issue
	sne	В	TBG	02/02/17	Some contours removed
	IS	O	TBG	21/02/17	Council Approval status amended.



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Scale 1:250 - Lengths are in Metres.

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20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 450 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

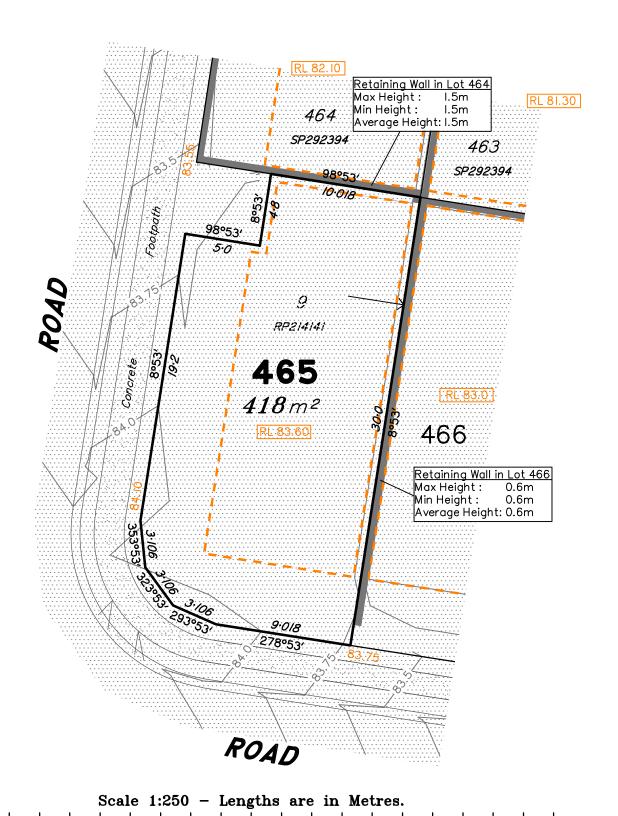
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250 Dwg No. 8353 S 26 DP C 450







20 22 24 26 28 30 32 34 36 38

LEGEND

Area of Cut

Design Contours

Zero Lot Boundary

Proposed Retaining Wall

Proposed Building Pad (Indicative)

38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering; and by Robin Russell and Associates P/L on the 09/02/2017.

Lot 465 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

	No.	by	Date	Description
S	С	TBG	21/02/17	PMT Site Added. Ret Wall moved to 464.
ene	D	TBG	27/02/17	Dimensions amended as per SP. Area recalc
Issi	Ε	TBG	02/03/17	Ret Wall & Pad heights reduced



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Disclosure Plan for Proposed Lot 465 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

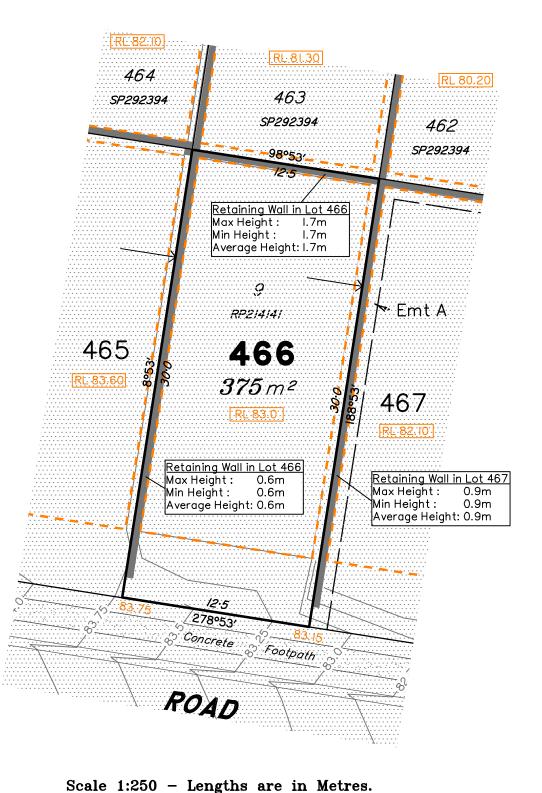
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







20 22 24 26 28 30 32 34 36 38

LEGEND

Area of Cut

Design Contours

Zero Lot Boundary

Proposed Retaining Wall

Proposed Building Pad (Indicative)

38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 & 02/03/17 by ETS Engineering.

Lot 466 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

	No.	by	Date	Description
S	В	TBG	02/02/17	Some contours removed
enss	С	TBG	21/02/17	Council Approval status amended.
<u>88</u>	D	TBG	02/03/17	Ret wall on western bdy reduced.



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# Disclosure Plan for Proposed Lot 466 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

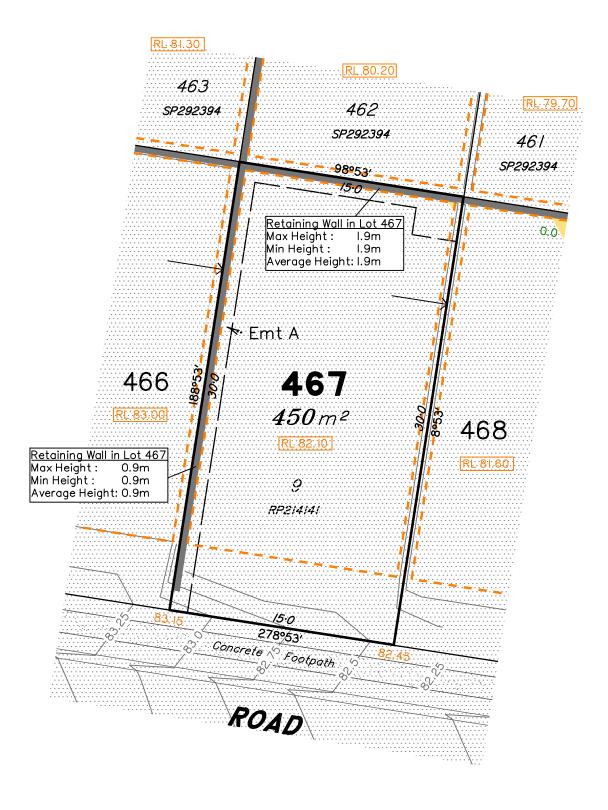
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







# A TBG 15/11/16 Original Issue C TBG 21/02/17 Council Approval status amended.

LEGEND

**NOTES** 

Engineering.

Area of Cut Design Contours Zero Lot Boundary Proposed Retaining Wall

Proposed Building Pad (Indicative)

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS

Lot 467 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for

Reconfiguration of a Lot for the proposed lot

Operational Works for the proposed lot.

Lot 467 contains Emt A on SP292395 for services benefiting Queensland Urban Utilities.

Development Approval has not been granted for

(Application 733/2016/CA)

38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level



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Disclosure Plan for Proposed Lot 467 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

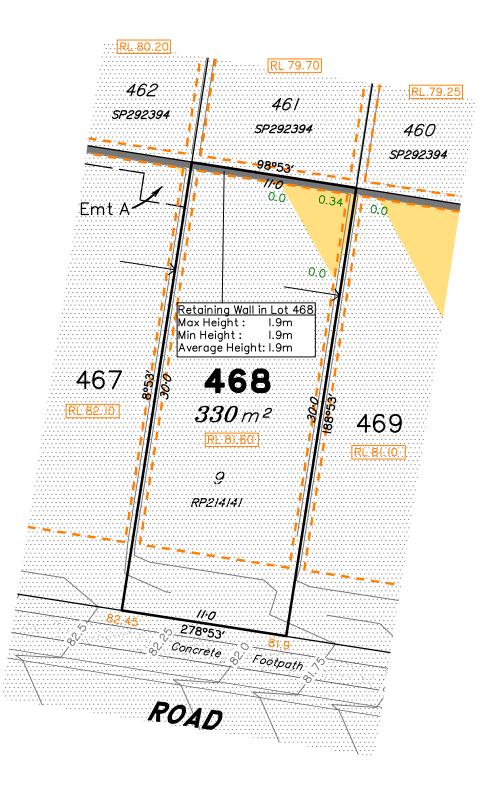
Locality of Redbank Plains

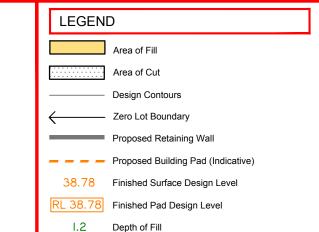
Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

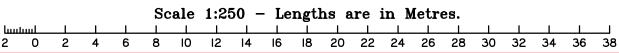
Lot 468 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

g A TBG 15/11/16 Original Issue	
B TBG 02/02/17 Some contours i	removed
Ö C TBG 21/02/17 Council Approva	al status amended.





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# Disclosure Plan for Proposed Lot 468 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

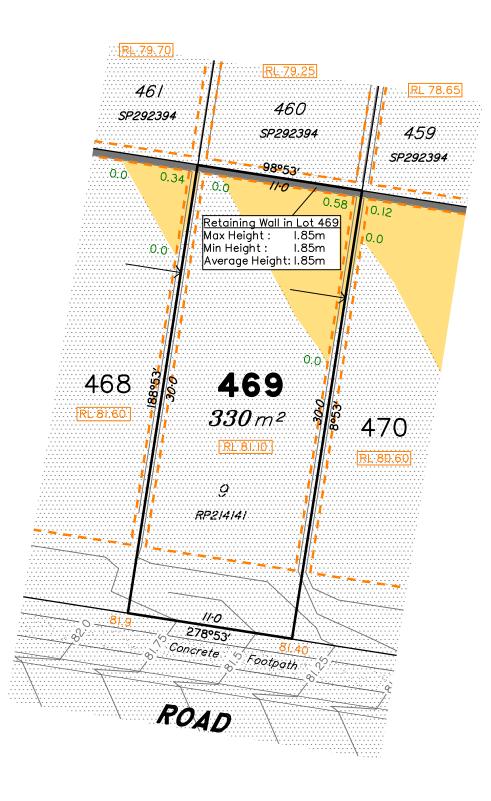
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 469 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

		No.	by	Date	Description
	S	Α	TBG	15/11/16	Original Issue
	sne	В	TBG	02/02/17	Some contours removed
	sı	O	TBG	21/02/17	Council Approval status amended.
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Scale 1:250 - Lengths are in Metres.

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20 22 24 26 28 30 32 34 36 38

## Disclosure Plan for Proposed Lot 469 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417
Existing Title Reference: 51016185

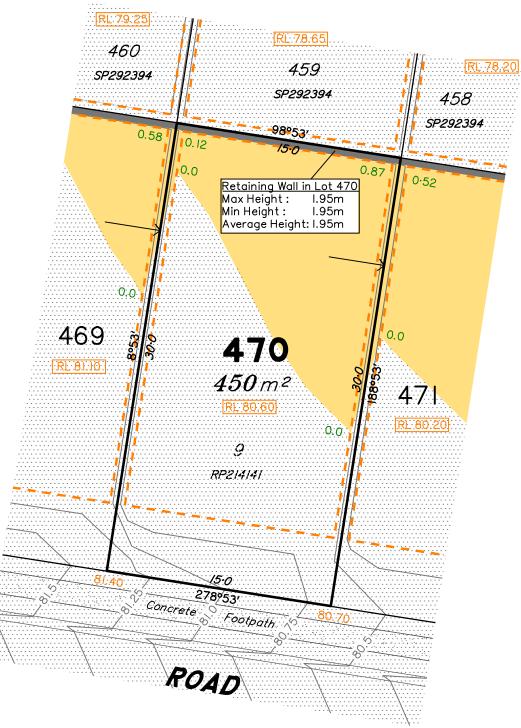
Locality of Redbank Plains

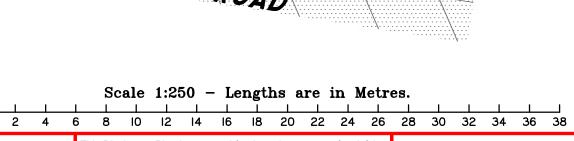
Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









LEGENI	)
	Area of Fill
	Area of Cut
	Design Contours
$\leftarrow$	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.2	Depth of Fill

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 470 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

		No.	by	Date	Description
	S	Α	TBG	15/11/16	Original Issue
	sne	В	TBG	02/02/17	Some contours removed
	sı	O	TBG	21/02/17	Council Approval status amended.
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Disclosure Plan for Proposed Lot 470 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

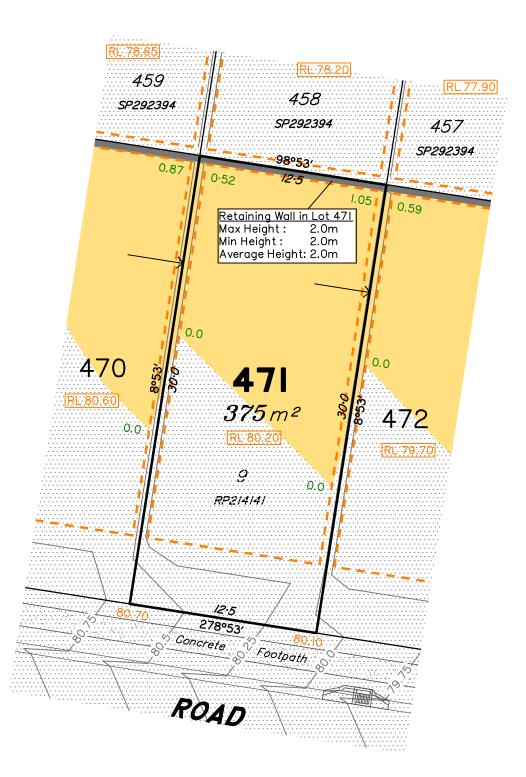
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







LEGEND Area of Cut **Design Contours**  Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level Finished Pad Design Level

Depth of Fill

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 471 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

		No.	by	Date	Description
	S	Α	TBG	15/11/16	Original Issue
	sne	В	TBG	02/02/17	Some contours removed
	sı	O	TBG	21/02/17	Council Approval status amended.
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# Disclosure Plan for Proposed Lot 471 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

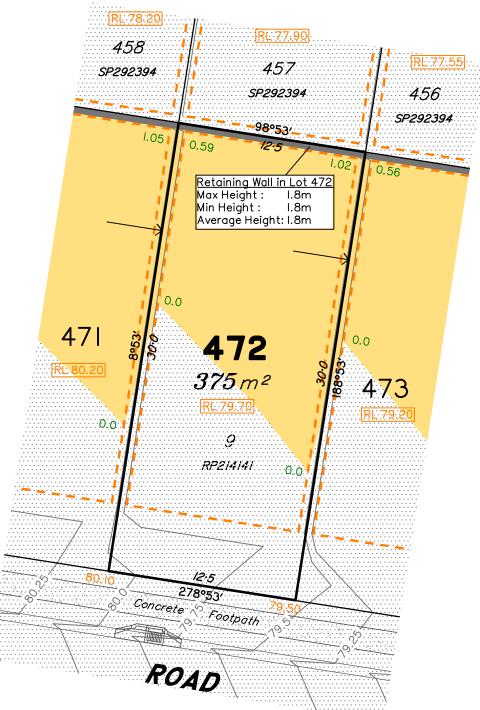
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







LEGEN	D
	Area of Fill
	Area of Cut
	Design Contours
$\leftarrow$	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad (Indicative)
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.2	Depth of Fill

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 472 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

g A TBG 15/11/16 Original Issue	
B TBG 02/02/17 Some contours i	removed
Ö C TBG 21/02/17 Council Approva	al status amended.



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Disclosure Plan for Proposed Lot 472 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

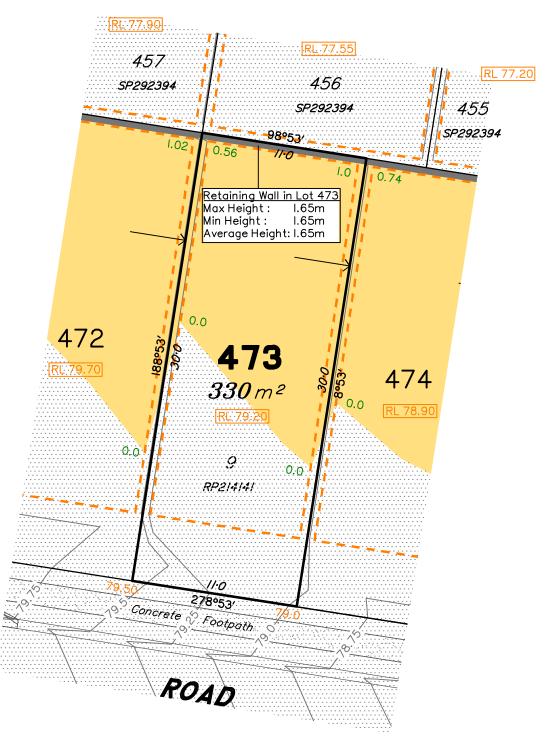
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







LEGEND Area of Fill Area of Cut **Design Contours**  Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level Finished Pad Design Level Depth of Fill

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 473 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

			.,	Date	Description
و ا	s [	Α	TBG	15/11/16	Original Issue
7	sne 🗆	В	TBG	02/02/17	Some contours removed
_	Si T	С	TBG	21/02/17	Council Approval status amended.



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Disclosure Plan for Proposed Lot 473 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

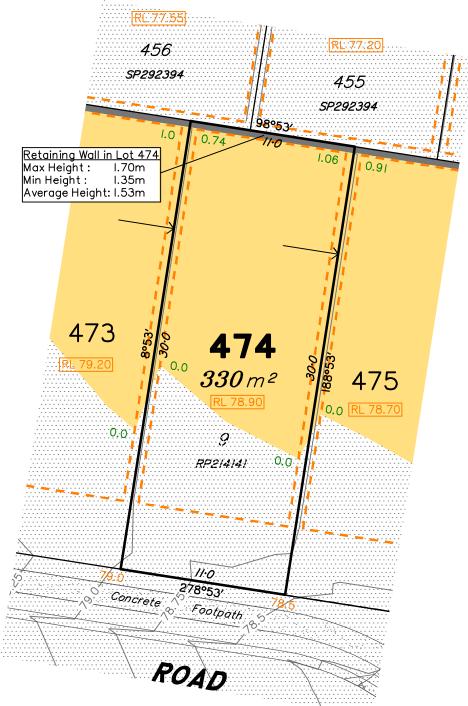
Locality of Redbank Plains

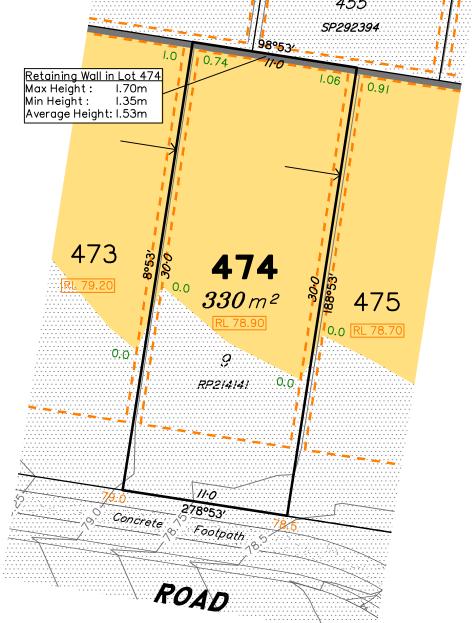
Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









Area of Fill Area of Cut **Design Contours**  Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level Finished Pad Design Level Depth of Fill

#### **NOTES**

LEGEND

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 474 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

П		No.	by	Date	Description
П	S	Α	TBG	15/11/16	Original Issue
	sne	В	TBG	02/02/17	Some contours removed
	88	С	TBG	21/02/17	Council Approval status amended.
•	_				



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Scale 1:250 - Lengths are in Metres.

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20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 474 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

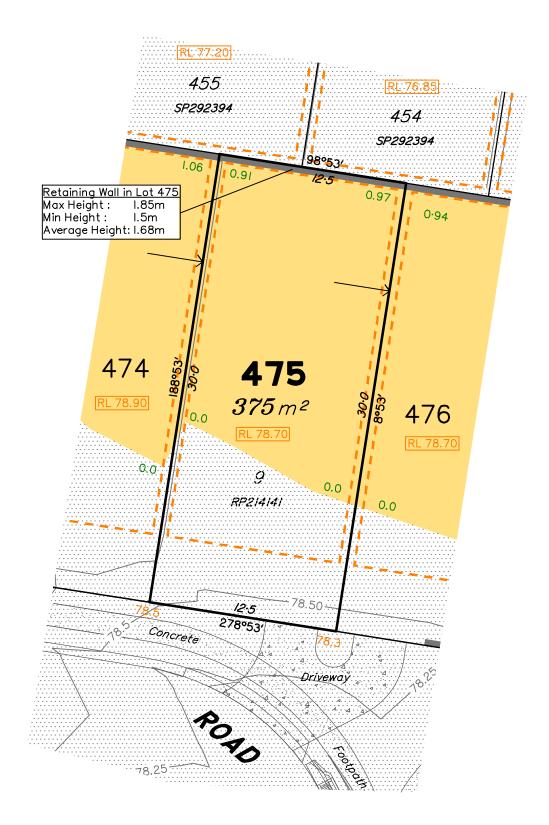
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 12/10/16, 01/11/16, 04/11/16, 10/11/16 & 15/02/17 by ETS Engineering.

Lot 475 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

		No.	by	Date	Description
	S	В	TBG	02/02/17	Some contours removed
ı	sne	С	TBG	21/02/17	Driveway Added. Council approval updated.
L	ISS	ם	TBG	27/02/17	Emt B in adjoining Lot 476 removed



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Scale 1:250 - Lengths are in Metres.

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20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 475 (Restricted) on SP292395

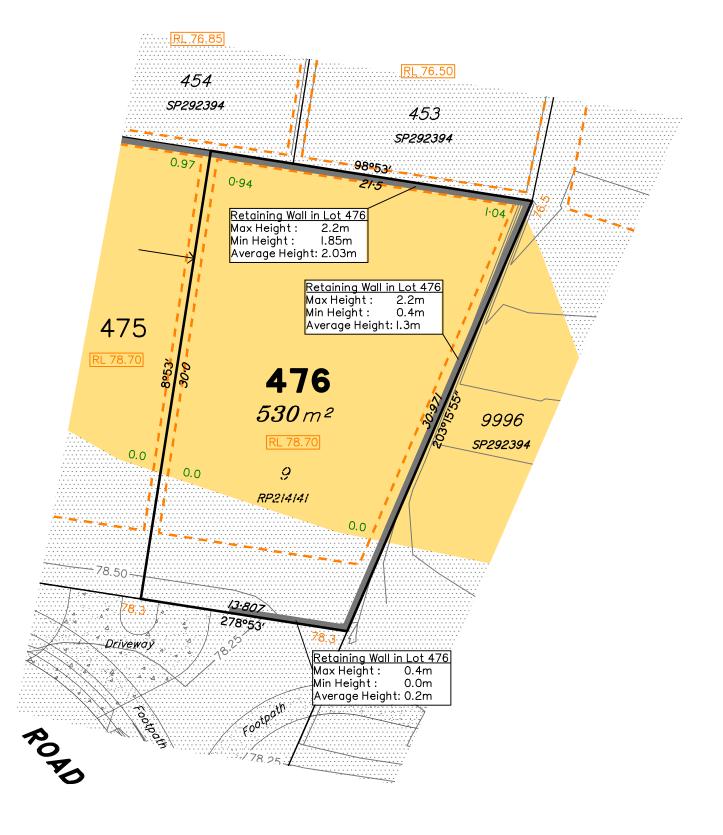
Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250





18 20 22 24 26 28 30 32 34 36 38



#### NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 12/10/16, 01/11/16, 04/11/16, 10/11/16 & 15/02/17 by ETS Engineering.

Lot 476 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

	No.	by	Date	Description
S	В	TBG	02/02/17	Some contours removed
sne	С	TBG	21/02/17	Driveway added. Council approval updated.
SSI	D	TBG	27/02/17	Emt B Removed



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Scale 1:250 - Lengths are in Metres.

# Disclosure Plan for Proposed Lot 476 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417
Existing Title Reference: 51016185

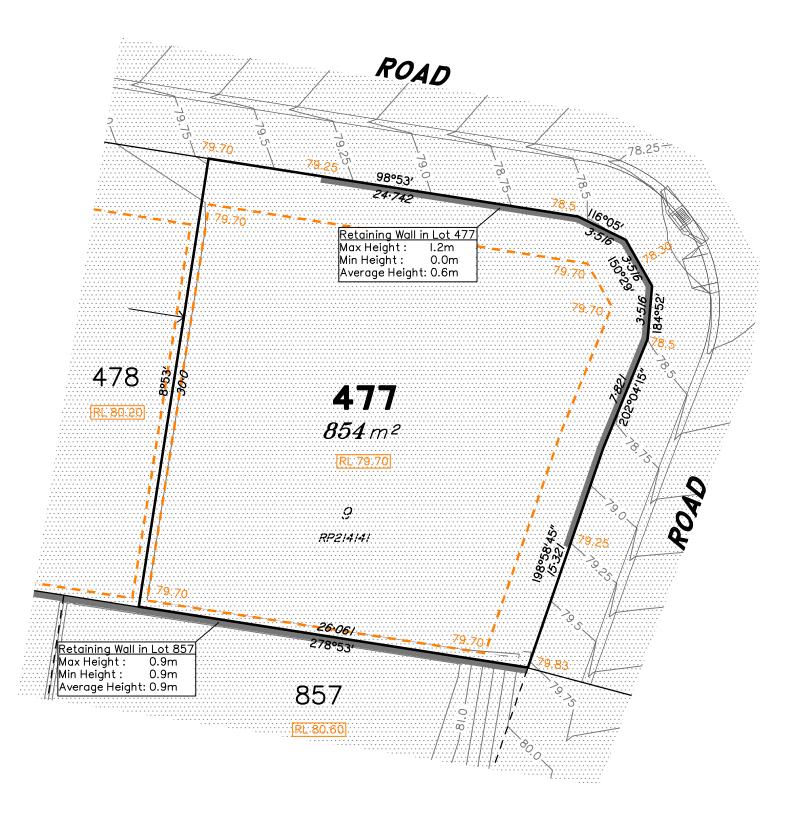
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







Area of Cut Design Contours Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level RL 38.78 Finished Pad Design Level

#### NOTES

LEGEND

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 477 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

The building pad shown on this plan is indicative only. For building setback restrictions, purchasers are advised to refer to the approved building envelope plans for this development, with Ipswich City Council.

П		No.	by	Date	Description
П	S	В	TBG	02/02/17	Some contours removed
	sne	С	TBG	21/02/17	Building Pad amended. Council approval updated
ll	IS	Δ	TBG	01/03/17	Earthworks amended



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Disclosure Plan for Proposed Lot 477 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

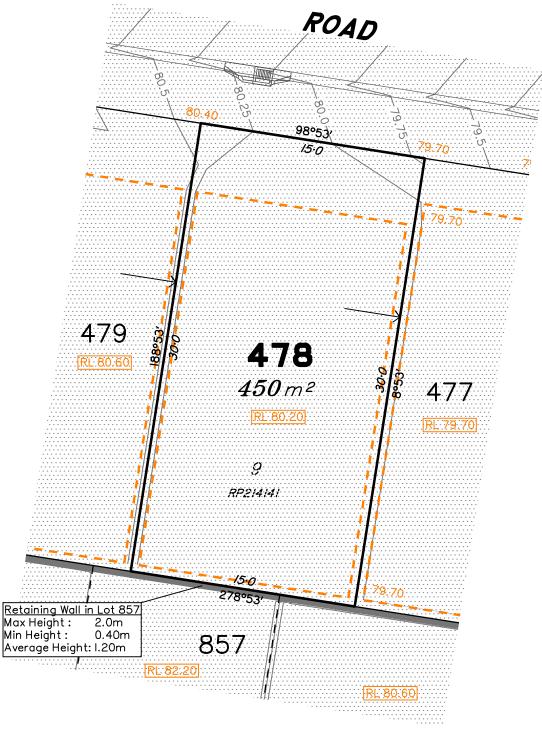
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







LEGEND
Area of Cut
———— Design Contours
Zero Lot Boundary
Proposed Retaining Wall
Proposed Building Pad (Indicative)
38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 478 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

B TBG 02/02/17 Some contours removed C TBG 21/02/17 Council Approval status amended. D TBG 01/03/17 Earthworks amended.	П		No.	by	Date	Description
ਰੂ C TBG 21/02/17 Council Approval status amended.	П	S	В	TBG	02/02/17	Some contours removed
□ D TBG 01/03/17 Earthworks amended.		sne	С	TBG	21/02/17	Council Approval status amended.
		IS	Δ	TBG	01/03/17	Earthworks amended.



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Disclosure Plan for Proposed Lot 478 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

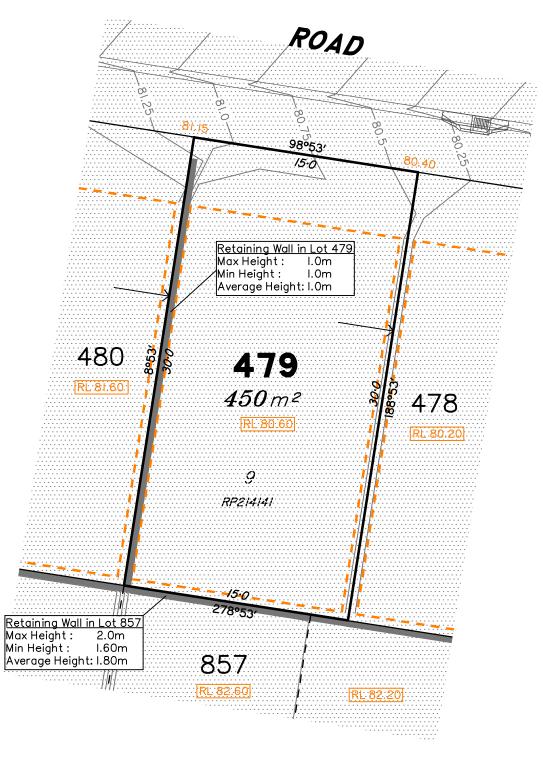
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







LEGEND Area of Cut Design Contours Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 479 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

A TBG 15/11/16 Original Issue B TBG 02/02/17 Some contours removed			No.	by	Date	Description
B TBG 02/02/17   Some contours removed		S	Α	TBG	15/11/16	Original Issue
			В	TBG	02/02/17	Some contours removed
<u>∞</u> C TBG 21/02/17 Council Approval status amended.	ΙL	sı	O	TBG	21/02/17	Council Approval status amended.



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Disclosure Plan for Proposed Lot 479 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

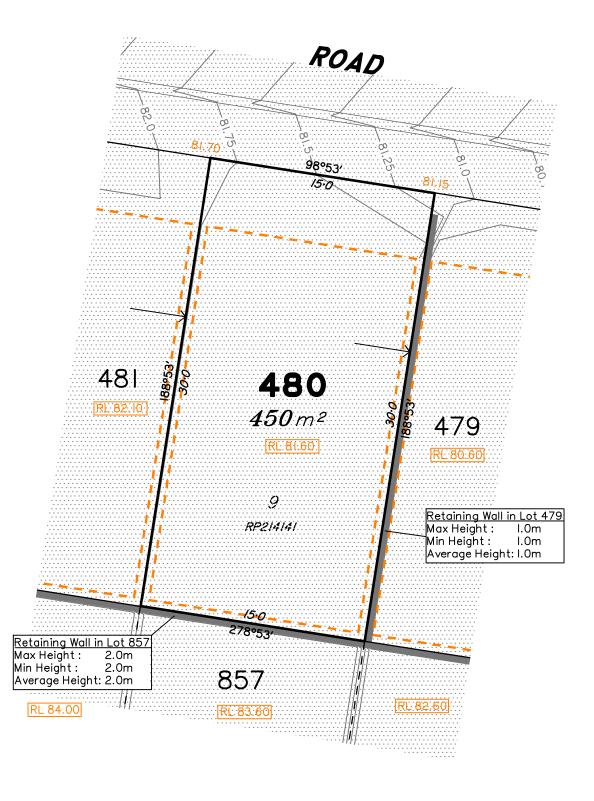
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







Area of Cut Design Contours Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level RL 38.78 Finished Pad Design Level

#### **NOTES**

LEGEND

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 480 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

П		No.	by	Date	Description
П	S	Α	TBG	15/11/16	Original Issue
	ens	В	TBG	02/02/17	Some contours removed
	<u>8</u>	С	TBG	21/02/17	Council Approval status amended.



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Scale 1:250 - Lengths are in Metres.

18 20 22 24 26 28 30 32 34 36 38

Disclosure Plan for Proposed Lot 480 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

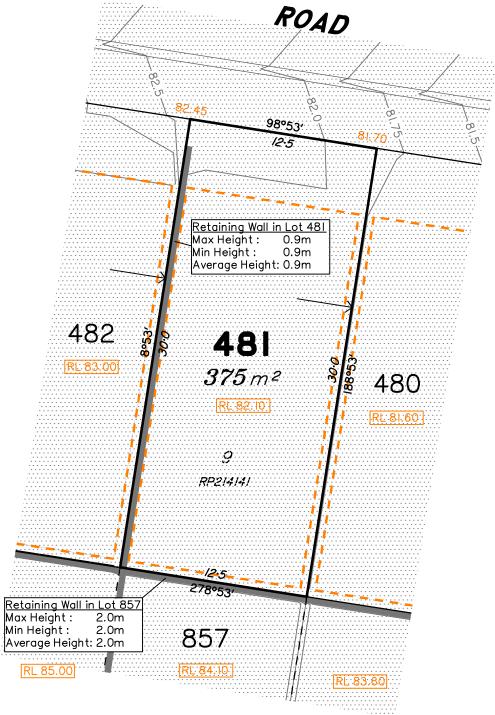
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







Disclosure Plan for Proposed Lot 481 (Restricted) on SP292395 Described as part of Lot 855 (Restricted) on SP279417

Existing Title Reference: 51016185

Locality of Redbank Plains

LEGEND
Area of Cut
———— Design Contours
Zero Lot Boundary
Proposed Retaining Wall
— — — Proposed Building Pad (Indicative)
38.78 Finished Surface Design Level
RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 481 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

П		No.	by	Date	Description
П	sər	В	TBG	02/02/17	Some contours removed
	Issue	С	TBG	21/02/17	Council Approval status amended.
		ם	TBG	01/03/17	Earthworks amended.
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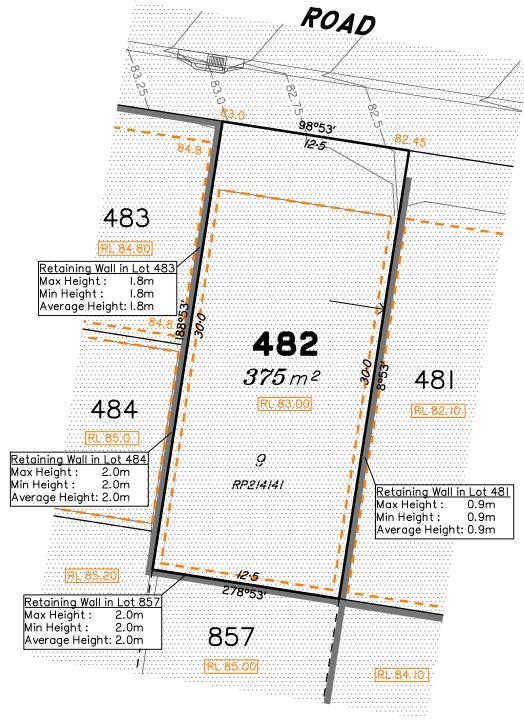
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Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







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RL 38.78 Finished Pad Design Level

#### NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 & 02/03/17 by ETS Engineering.

Lot 482 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

B TBG 02/02/17 Some contours removed C TBG 21/02/17 Council Approval status amended. D TBG 02/03/17 Wall heights amended.			No.	by	Date	Description
ਨੇ C TBG 21/02/17   Council Approval status amended.		ā	В	TBG	02/02/17	Some contours removed
D TBG 02/03/17 Wall heights amended.			С	TBG	21/02/17	Council Approval status amended.
			Δ	TBG	02/03/17	Wall heights amended.



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20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 482 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417
Existing Title Reference: 51016185

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Level Datum: AHD der.
Origin of Levels: PM161439
RL of Origin: 78.888
Contour Interval: 0.25m

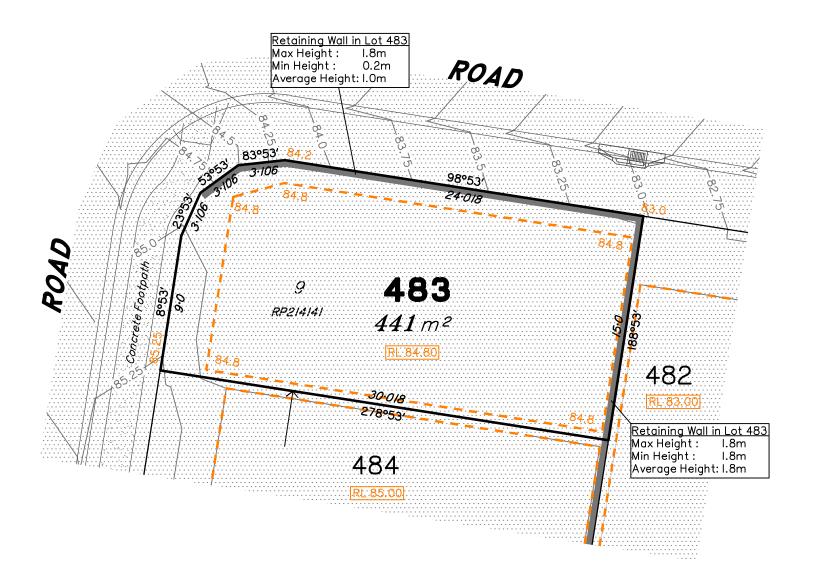
<u>Scale @A3 1: 250</u> Dwg No. 8353 S 26 DP D 482

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

Locality of Redbank Plains







### LEGEND

Area of Cut

Design Contours

Zero Lot Boundary

Proposed Retaining Wall

- - - Proposed Building Pad (Indicative)

38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### NOTES

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 483 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

The building pad shown on this plan is indicative only. For building setback restrictions, purchasers are advised to refer to the approved building envelope plans for this development, with Ipswich City Council.

		No.	by	Date	Description
П	Issues	В	TBG	02/02/17	Some contours removed
		С	TBG	21/02/17	Building pad amended. Council approval updated.
		D	TBG	27/02/17	Dims amended as per Survey Plan



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Scale 1:250 - Lengths are in Metres.

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20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 483 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417
Existing Title Reference: 51016185

Locality of Redbank Plains

Level Datum: AHD der.
Origin of Levels: PM161439
RL of Origin: 78.888
Contour Interval: 0.25m

Scale @A3 1: 250







# LEGEND Area of Cut Design Contours Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative) 38.78 Finished Surface Design Level RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 484 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

		No.	by	Date	Description
	es	В	TBG	02/02/17	Some contours removed
	Issue	С	TBG	21/02/17	Council Approval status amended.
		ם	TBG	27/02/17	Lot dims amended as per Survey Plan.
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Scale 1:250 - Lengths are in Metres.

18 20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 484 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

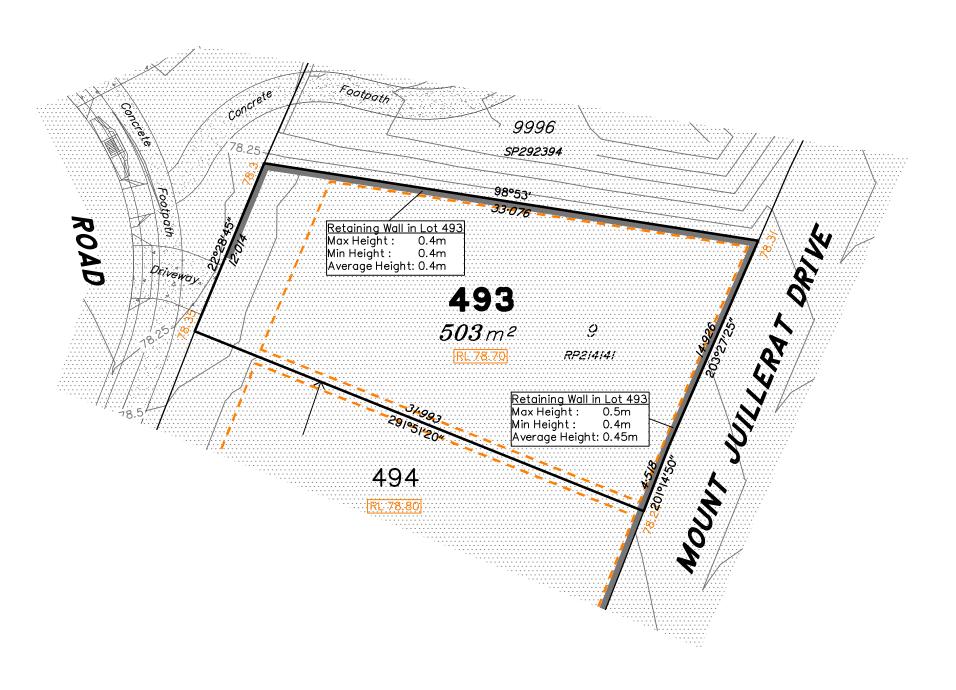
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









Proposed Building Pad (Indicative)

38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 12/10/16, 01/11/16, 04/11/16, 10/11/16 & 15/02/17 by ETS Engineering.

Lot 493 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

	sens	No.	by	Date	Description
		Α	TBG	15/11/16	Original Issue
		В	TBG	02/02/17	Some contours removed
	IS	С	TBG	21/02/17	Driveway Added. Council approval updated.



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Scale 1:250 - Lengths are in Metres.

18 20 22 24 26 28 30 32 34 36 38

Disclosure Plan for Proposed Lot 493 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

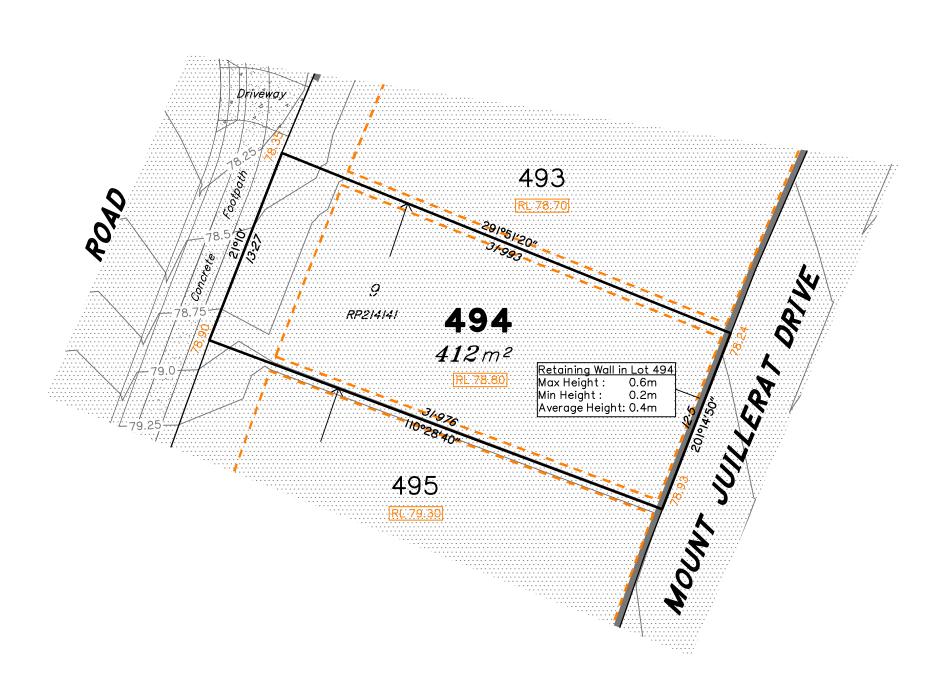
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250









Area of Cut

Design Contours

Zero Lot Boundary

Proposed Retaining Wall Proposed Building Pad (Indicative)

38.78 Finished Surface Design Level

RL 38.78 Finished Pad Design Level

**NOTES** 

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 494 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

П		No.	by	Date	Description				
П	S	Α	TBG	15/11/16	Original Issue				
	Issue	В	TBG	02/02/17	Some contours removed				
		С	TBG	21/02/17	Council approval status updated.				
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Scale 1:250 - Lengths are in Metres.

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20 22 24 26 28 30 32 34 36 38

Disclosure Plan for Proposed Lot 494 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

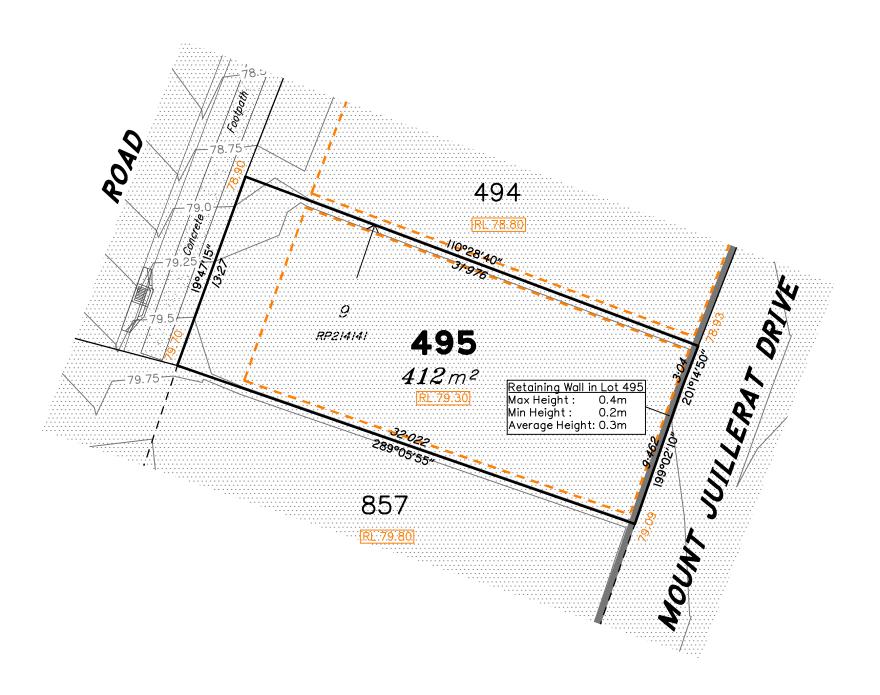
Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250







# LEGEND Area of Cut Design Contours Zero Lot Boundary Proposed Retaining Wall Proposed Building Pad (Indicative)

38.78 Finished Surface Design Level RL 38.78 Finished Pad Design Level

#### **NOTES**

This plan has been prepared from preliminary survey plan (SP292395) and engineering plans provided on the 22/02/2017 by ETS Engineering.

Lot 495 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

П		No.	by	Date	Description
П	S	Α	TBG	15/11/16	Original Issue
	Issue	В	TBG	02/02/17	Some contours removed
		O	TBG	21/02/17	Council approval status updated.



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This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

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Scale 1:250 - Lengths are in Metres.

18

20 22 24 26 28 30 32 34 36 38

# Disclosure Plan for Proposed Lot 495 (Restricted) on SP292395

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

Locality of Redbank Plains

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250