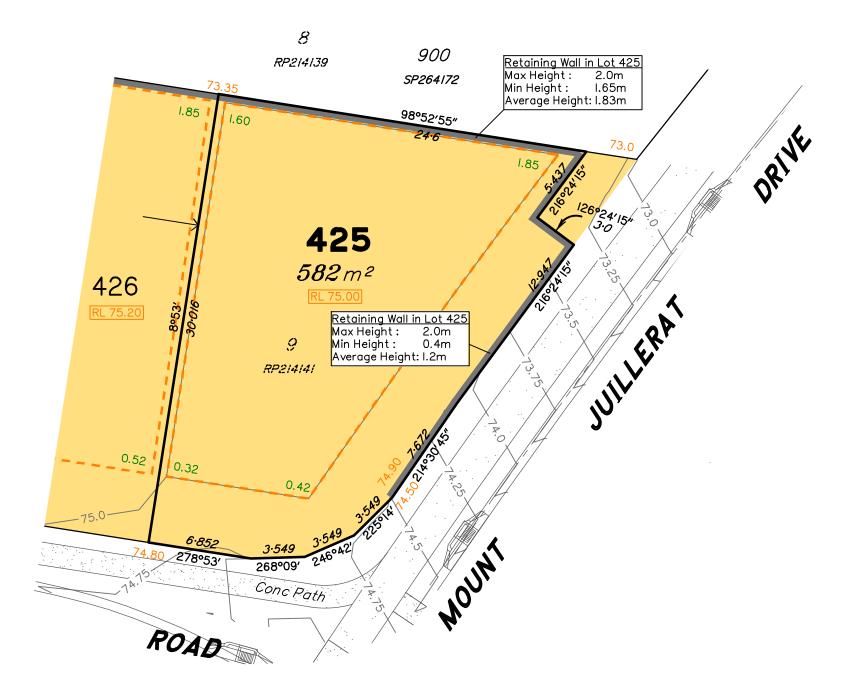
APPROVED	APPROVED
COMPANY	COMPANY
ISO9001	ISO14001
Quality	Environmental
Management Systems	Management Systems
QMS Certification	QMS Certification
Services	Services



## Scale 1:250 - Lengths are in Metres.

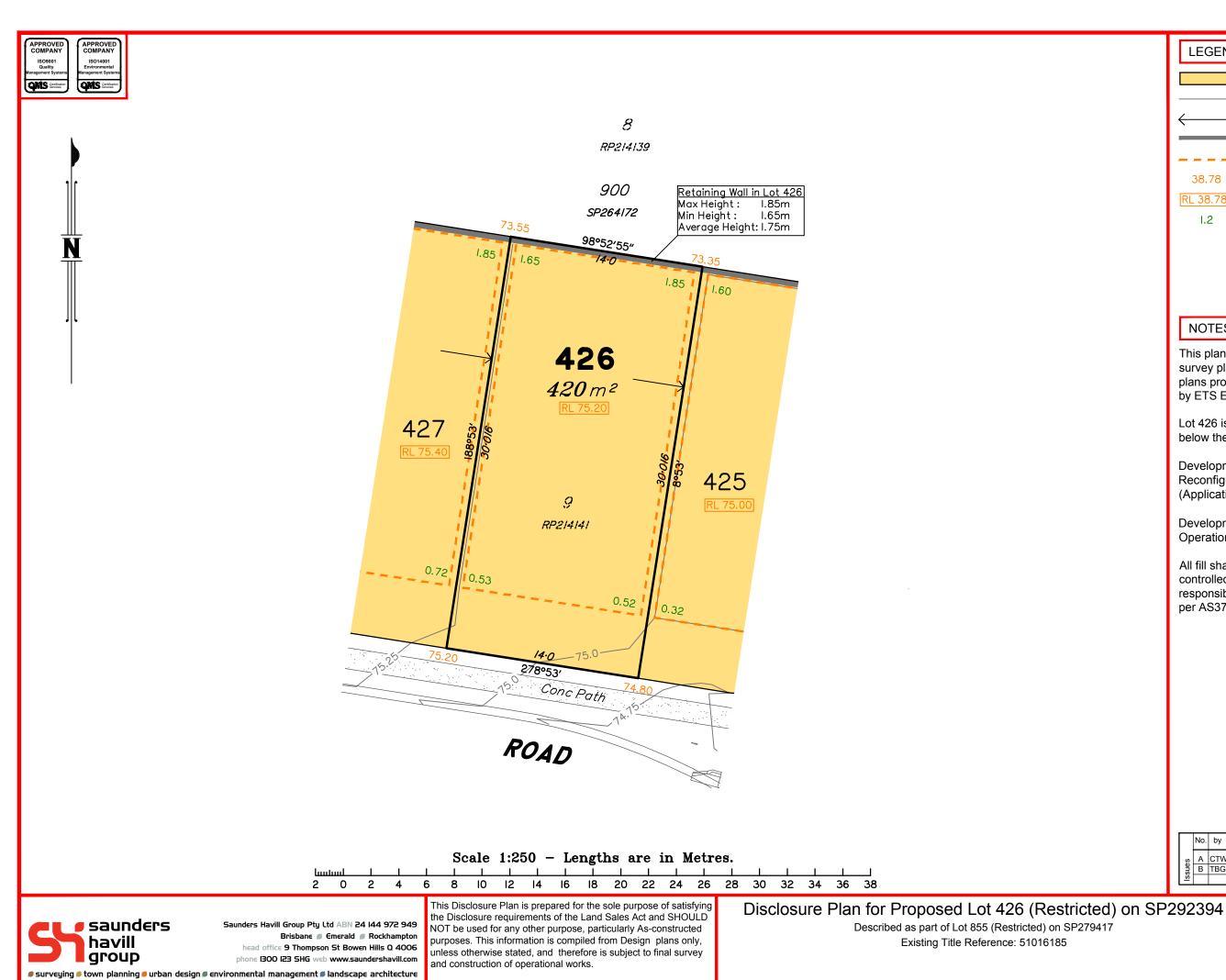
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		2	0	2	4	6	8	10	12	14	16	18	20	22	24	26	28	30	32	34	36	38	
surveying • town planning • urban design • e	head office 9 Thor phone I300 I23 SHG	npson St 5 web ww	Bowe ww.sau	n Hills C ndersha	2 4006 avill.com	the NO pur unle and	Discl T be i poses ess of	osure used f s. This therwis	require or any inform se stat	ements other p nation i	s of the ourpos s com d there	or the s E Land se, parti piled fro efore is orks.	Sales cularly om De	Act and As-co sign p	d SHO Instruct	ULD ted nly,		Disc	closi	ure		n for Proposed Lot 425 (Restric Described as part of Lot 855 (Restricted) on SP2 Existing Title Reference: 51016185	
																						Locality of Redbank Plains	





ted) on SP292394 79417

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B 425



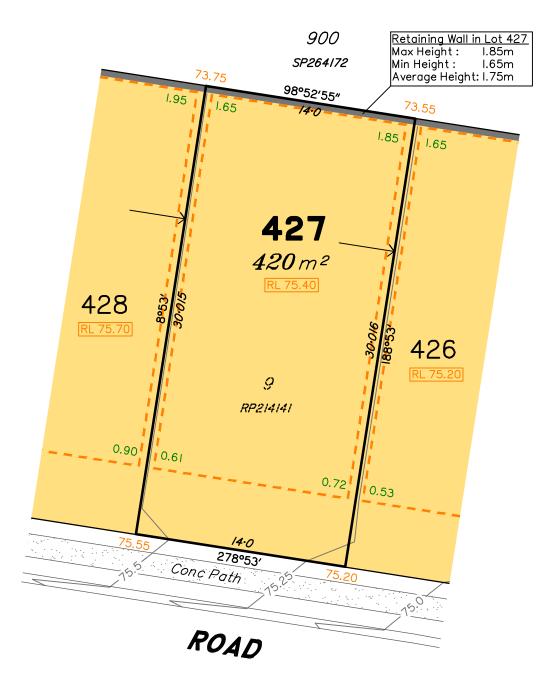
LEGEND											
Area of Fill											
Design Contours											
← Zero Lot Boundary											
Proposed Retaining Wall											
Proposed Building Pad											
38.78 Finished Surface Design Level											
RL 38.78 Finished Pad Design Level											
1.2 Depth of Fill											
NOTES											
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.											
Lot 426 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.											
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)										
Development Approval has not been gra Operational Works for the proposed lot.	anted for										
All fill shall be placed and compacted in a controlled manner so that Level 1 level or responsibility may be achieved and certifiper AS3798-2007.	f										
No. by Date Description											
A CTW 04/11/16 Original Issue											
B TBG 22/02/17 Contours amended. Path added.											

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B\_426





RP214139

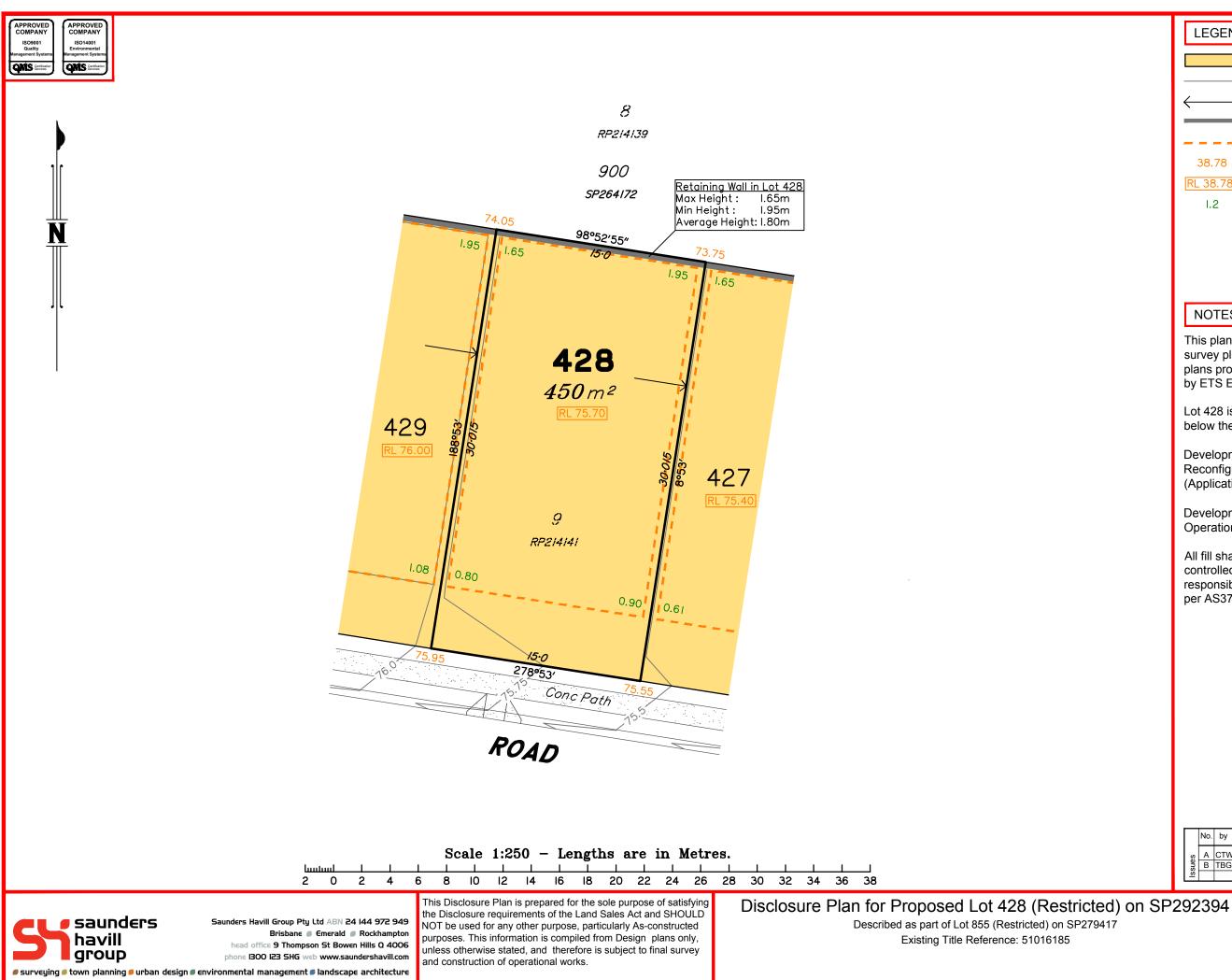


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surveying • town planning • urban design • e	phone I300 I23 SHG	Emer Son St I	ald 🟉 Roo Bowen Hill w.saunders	ckhampto s Q 400 shavill.co	19 th Non pu 06 ur 07 ar	e Disc OT be urpose nless o	losure used f s. This therwi	I2 Plan i require or any inform se state on of op	ements other p ation i ed, and	s of the purpos is comp d there	e Land e, par piled fi efore i	Sales ticularl rom De	urpose Act ar ly As-c esign	e of sa nd SH constr plans	satisfyi HOUL ructed s only,	ing D d	28	30 Diso	32 Clos	 		art of Lot 8 ng Title Re	855 (Restr eference:	ricted) on 5101618	SP2794
																					Lo	ocality of F	Redbank	Plains	

LEGEND
Area of Fill
Design Contours
Cero Lot Boundary
Proposed Retaining Wall
Proposed Building Pad
38.78 Finished Surface Design Level
RL 38.78 Finished Pad Design Level
I.2 Depth of Fill
NOTES
This plan has been prepared from preliminary
survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016
by ETS Engineering.
Lot 427 is restricted to the depth of 15.24 metres
below the surface, as defined on the plan M3172.
Development Approval has been granted for
Reconfiguration of a Lot for the proposed lot
(Application 733/2016/CA)
Development Approval has not been granted for Operational Works for the proposed lot.
All fill shall be placed and compacted in a
controlled manner so that Level 1 level of responsibility may be achieved and certified as
per AS3798-2007.
No. by Date Description
A CTW 04/11/16 Original Issue B TBG 22/02/17 Contours amended. Path added.
P292394 Level Datum: AHD der.

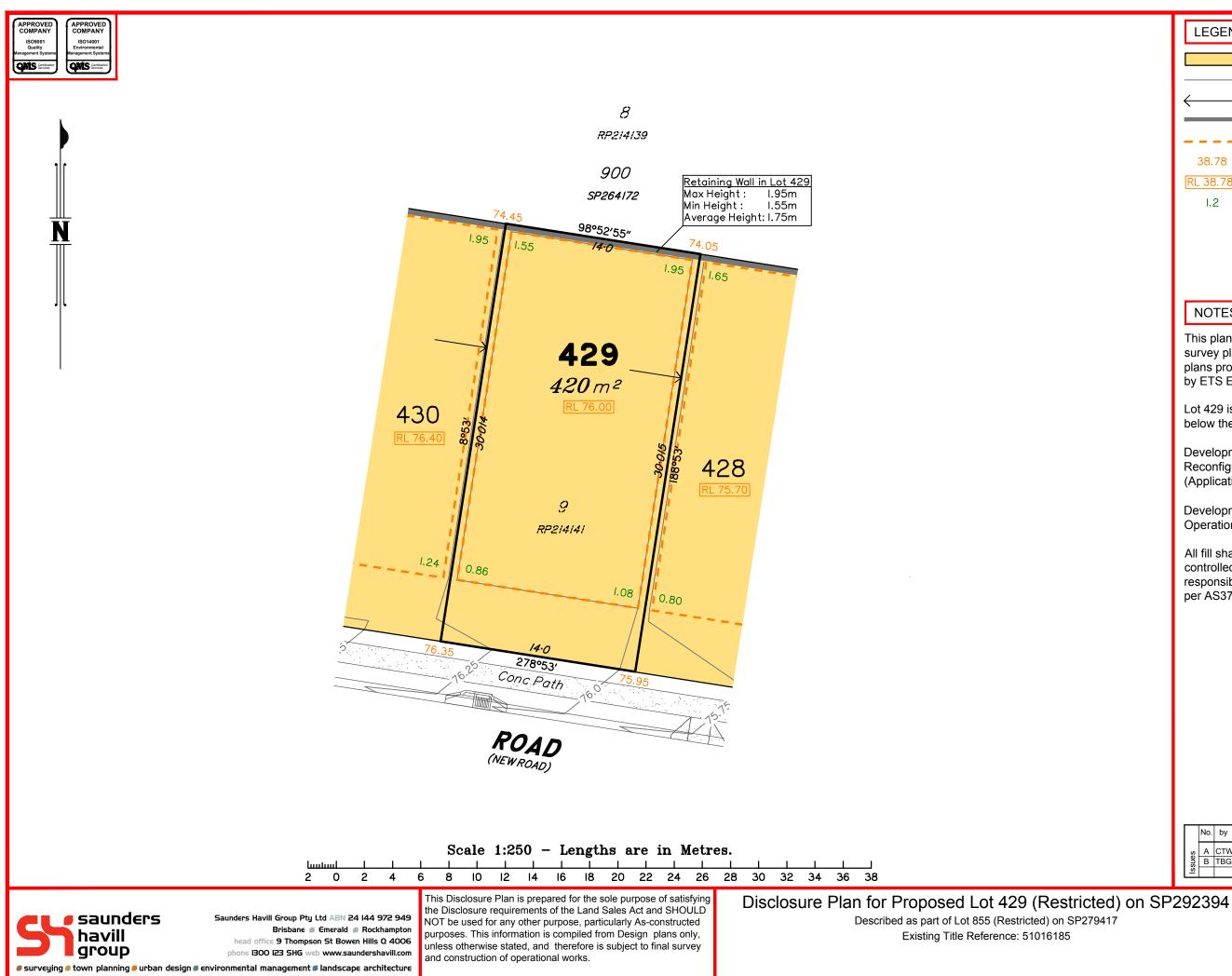
ted) on SI 9417

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B\_427



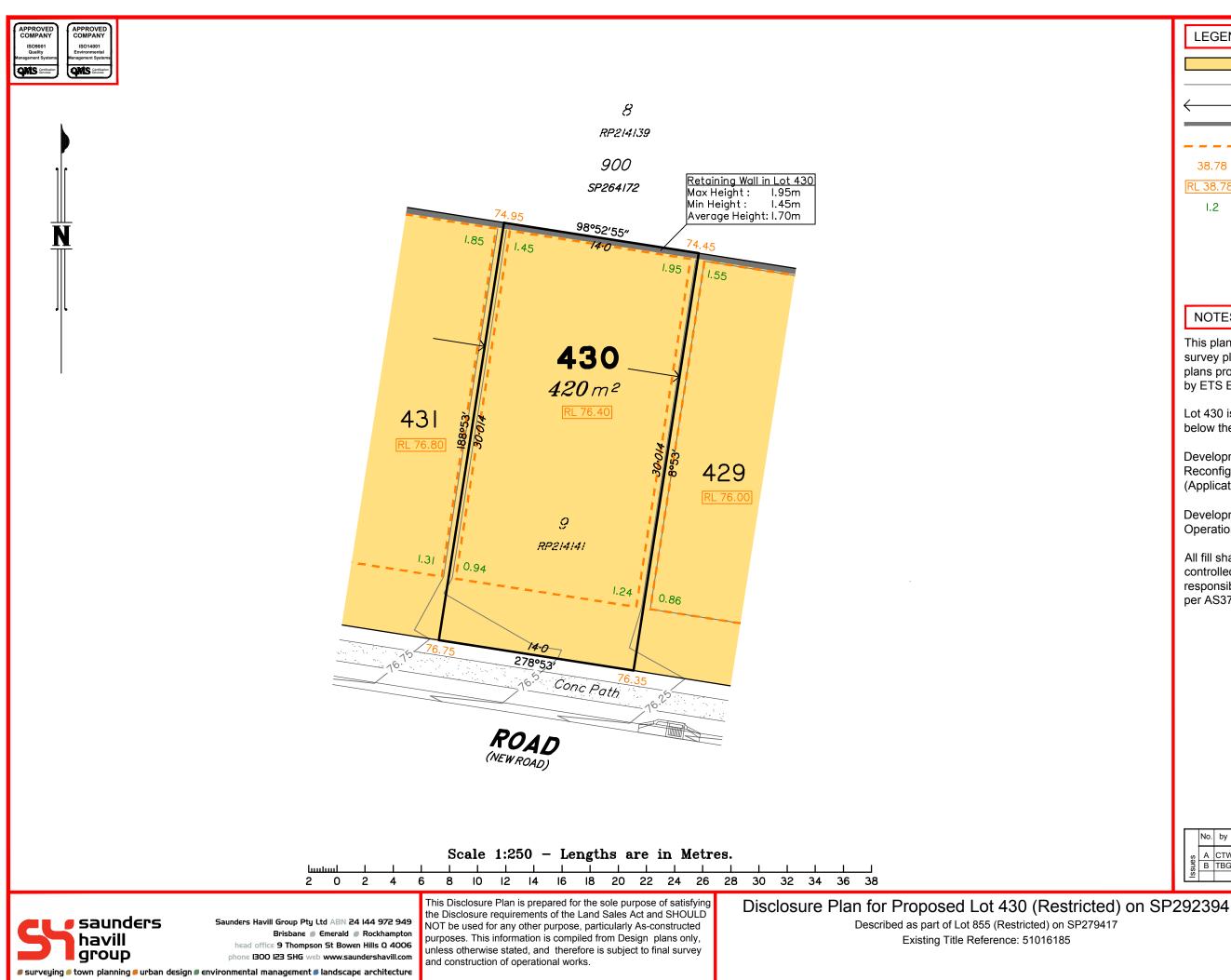
LEGEND
Area of Fill
Design Contours
Cero Lot Boundary
Proposed Retaining Wall
Proposed Building Pad
38.78 Finished Surface Design Level
RL 38.78 Finished Pad Design Level
I.2 Depth of Fill
NOTES
This plan has been prepared from preliminary
survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016
by ETS Engineering.
Lot 428 is restricted to the depth of 15.24 metres
below the surface, as defined on the plan M3172.
Development Approval has been granted for
Reconfiguration of a Lot for the proposed lot
(Application 733/2016/CA)
Development Approval has not been granted for Operational Works for the proposed lot.
All fill shall be placed and compacted in a
controlled manner so that Level 1 level of responsibility may be achieved and certified as
per AS3798-2007.
No. by Date Description
A CTW 04/11/16 Original Issue
B TBG 22/02/17 Contours amended. Path added.
· · · · · · · · · · · · · · · · · · ·

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B 428



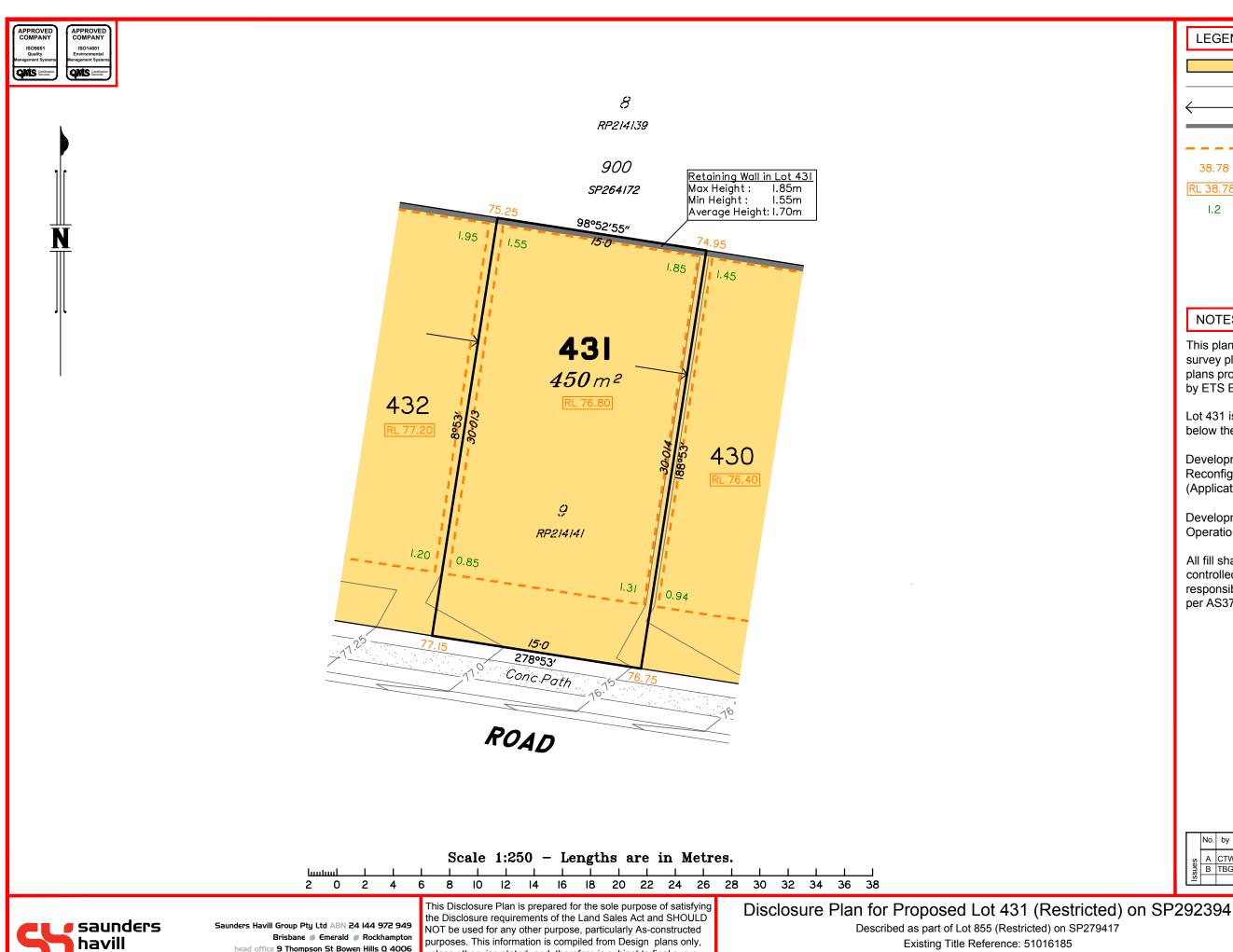
LEGEND
Area of Fill
Design Contours
Cero Lot Boundary
Proposed Retaining Wall
Proposed Building Pad
38.78 Finished Surface Design Level
RL 38.78 Finished Pad Design Level
I.2 Depth of Fill
NOTES
This plan has been prepared from preliminary
survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016
by ETS Engineering.
Lot 429 is restricted to the depth of 15.24 metres
below the surface, as defined on the plan M3172.
Development Approval has been granted for
Reconfiguration of a Lot for the proposed lot
(Application 733/2016/CA)
Development Approval has not been granted for Operational Works for the proposed lot.
All fill shall be placed and compacted in a controlled manner so that Level 1 level of
responsibility may be achieved and certified as
per AS3798-2007.
No. by Date Description
A CTW 04/11/16 Original Issue B TBG 22/02/17 Contours amended. Path added.

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B 429



LEGEND											
Area of Fill											
Design Contours											
Cero Lot Boundary											
Proposed Retaining Wall											
Proposed Building Pad											
38.78 Finished Surface Design Level											
RL 38.78 Finished Pad Design Level											
I.2 Depth of Fill											
NOTES											
This plan has been prepared from preliminary											
survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016											
by ETS Engineering.											
Lot 430 is restricted to the depth of 15.24 metres											
below the surface, as defined on the plan M3172.											
Development Approval has been granted for											
Reconfiguration of a Lot for the proposed lot											
(Application 733/2016/CA)											
Development Approval has not been granted for											
Operational Works for the proposed lot.											
All fill shall be placed and compacted in a											
controlled manner so that Level 1 level of											
responsibility may be achieved and certified as per AS3798-2007.											
No. by Date Description											
B TBG 22/02/17 Contours amended. Path added.											
2202204 Level Datum: AHD der											

Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B\_430



unless otherwise stated, and therefore is subject to final survey

and construction of operational works.

Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185

// surveying // town planning // urban design // environmental management // landscape architecture

group

head office 9 Thompson St Bowen Hills Q 4006

phone I300 I23 SHG web www.saundershavill.com

Locality of Redbank Plains

LEGEND
Area of Fill
Design Contours
∠ Zero Lot Boundary
Proposed Retaining Wall
Proposed Building Pad
38.78 Finished Surface Design Level
RL 38.78 Finished Pad Design Level
1.2 Depth of Fill
NOTES
This plan has been prepared from preliminary
survey plan (SP292394) and engineering
plans provided on the 12/10/2016 & 01/11/2016
by ETS Engineering.
Lot 431 is restricted to the depth of 15.24 metres
below the surface, as defined on the plan M3172.
Development Approval has been granted for
Reconfiguration of a Lot for the proposed lot
(Application 733/2016/CA)
Development Approval has not been granted for
Operational Works for the proposed lot.
All fill shall be placed and compacted in a
controlled manner so that Level 1 level of
responsibility may be achieved and certified as
per AS3798-2007.
No. by Date Description
A CTW 04/11/16 Original Issue B TBG 22/02/17 Contours amended. Path added.
2202304 Level Datum: AHD der.

Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B\_431



## 900 Retaining Wall in Lot 432 Max Height : 1.95m Min Height : 1.60m Average Height: 1.78m SP264172 75.60 98°52′55″ 1.90 1.60 1.95 1.55 432 **420** m² RL 77.20 433 RL 77.50 30-013 1880 431 RL 76.80 9 RP214141 0.89 0.63 1.20 0.85 14.0 278°53' Conc Path ROAD

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Brisbane 9 Thomps 123 SHG w	Emeral son St Bo /eb www.	ld 🟉 Ro owen Hill saunder	s Q 400 shavill.co	9 N 9 N 9 PI 9 UI 9 UI 9 A	his Disclo le Disclos OT be us urposes. <sup>-</sup> nless othe nd constru	ure requ ed for an This infor rwise st	irement y other mation ated, ar	ts of the purpos is com nd ther	e Land se, parti piled fro efore is	Sales icularly om De	Act an Act an As-co sign p	d SHC onstruc plans o	OULD cted only,		Diso	clos	ure			r Proposed Lot 432 (Restric ibed as part of Lot 855 (Restricted) on SP27 Existing Title Reference: 51016185	
																				Locality of Redbank Plains	

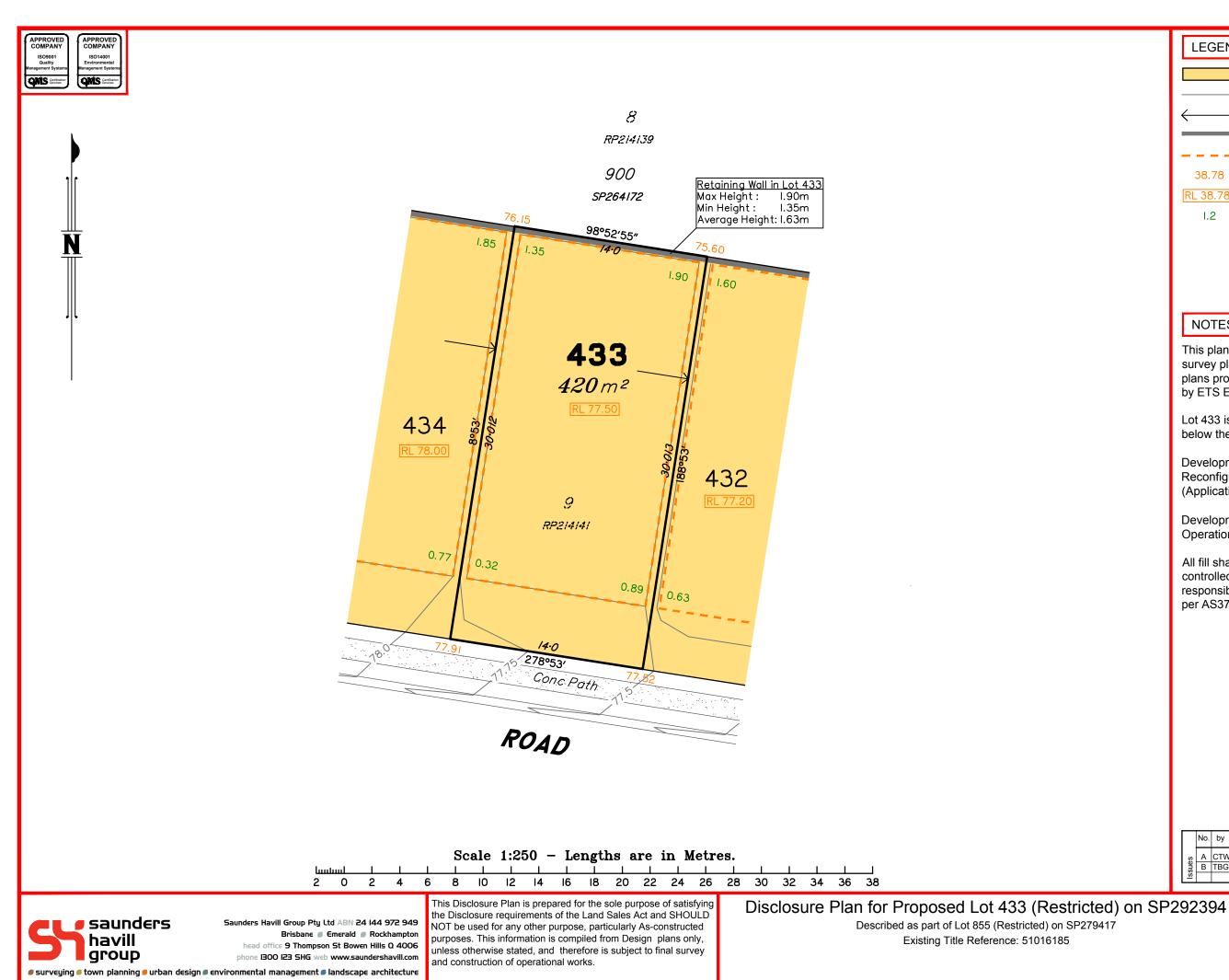
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RP214139

LEGEND											
Area of Fill											
Design Contours											
Cero Lot Boundary											
Proposed Retaining Wall											
Proposed Building Pad											
38.78 Finished Surface Design Level											
RL 38.78 Finished Pad Design Level											
1.2 Depth of Fill											
NOTES											
This plan has been prepared from preliminary											
survey plan (SP292394) and engineering											
plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.											
Lot 432 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.											
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot											
(Application 733/2016/CA)											
Development Approval has not been granted for											
Operational Works for the proposed lot.											
All fill shall be placed and compacted in a											
controlled manner so that Level 1 level of											
responsibility may be achieved and certified as per AS3798-2007.											
per A33730-2007.											
No. by Date Description											
A CTW 04/11/16 Original Issue											
202204 Lovel Datum: AHD dor											

cted) on SP292394 79417

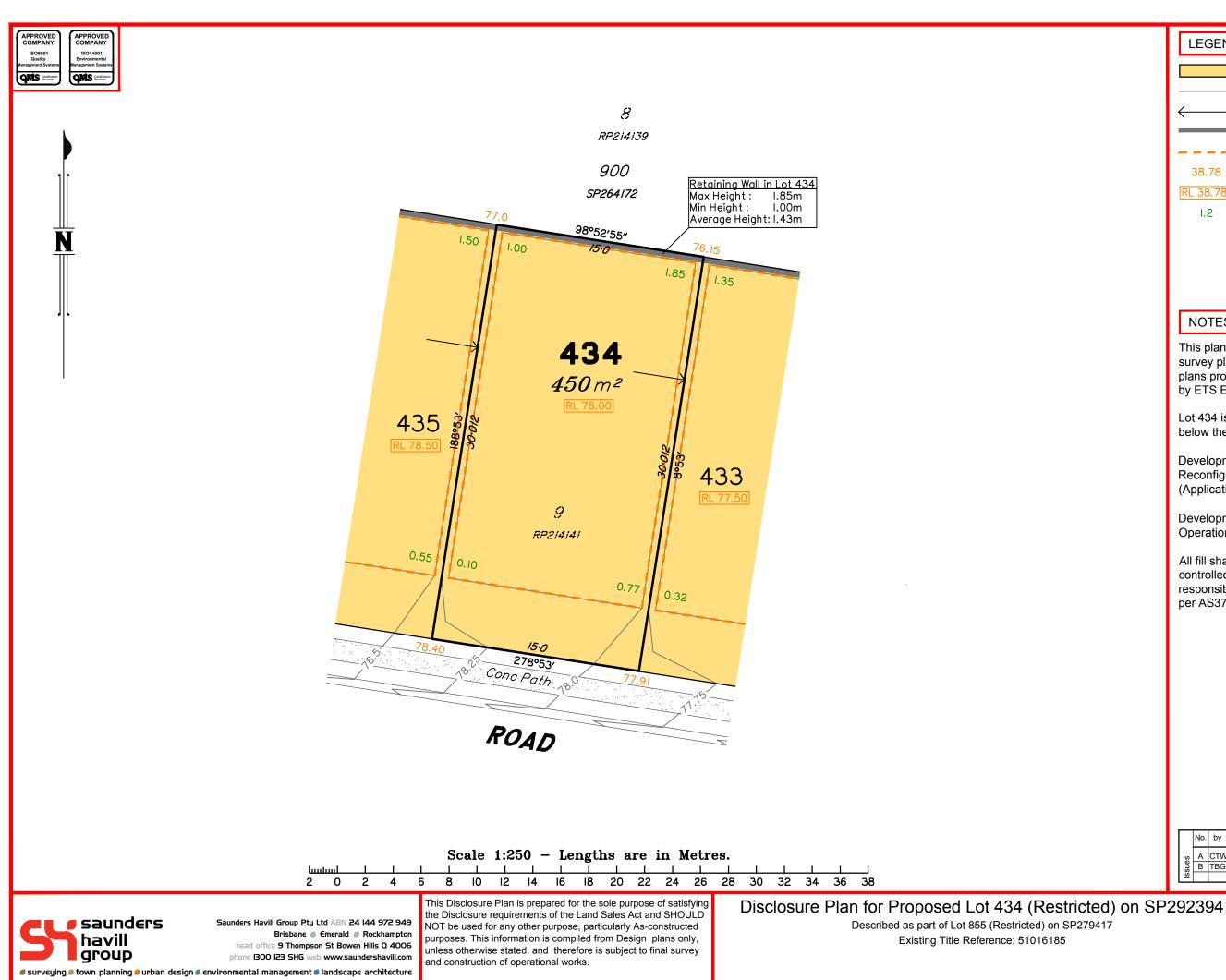
Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B\_432



Locality of Redbank Plains

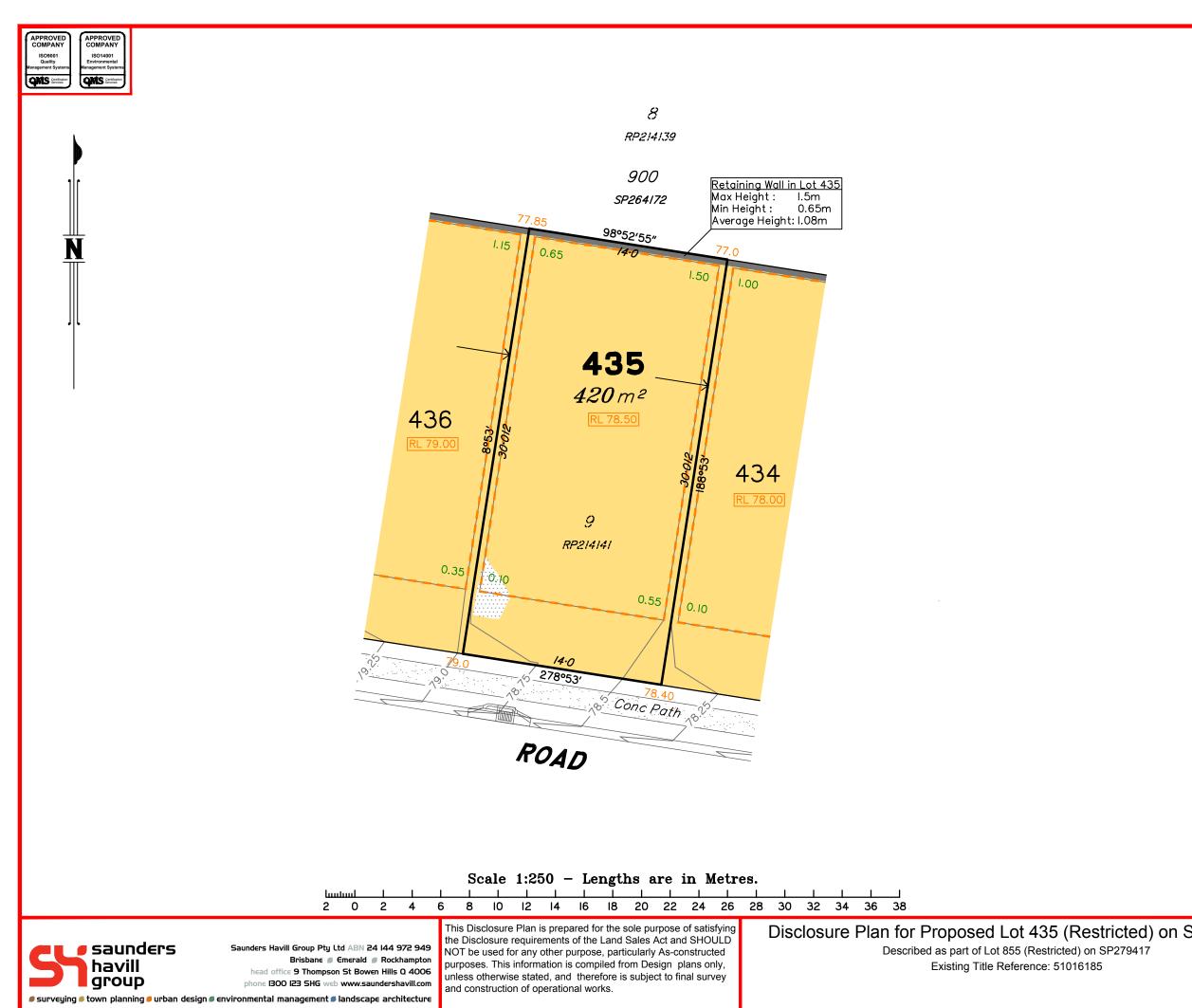
LEGEND
Area of Fill
Design Contours
Cero Lot Boundary
Proposed Retaining Wall
Proposed Building Pad
38.78 Finished Surface Design Level
RL 38.78 Finished Pad Design Level
1.2 Depth of Fill
NOTES
This plan has been prepared from preliminary
survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016
by ETS Engineering.
Lot 433 is restricted to the depth of 15.24 metres
below the surface, as defined on the plan M3172.
Development Approval has been granted for
Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
Development Approval has not been granted for Operational Works for the proposed lot.
All fill shall be placed and compacted in a controlled manner so that Level 1 level of
responsibility may be achieved and certified as
per AS3798-2007.
No. by Date Description
g         A         CTW         04/11/16         Original Issue           B         BB         22/02/17         Contours amended. Path added.

Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B 433

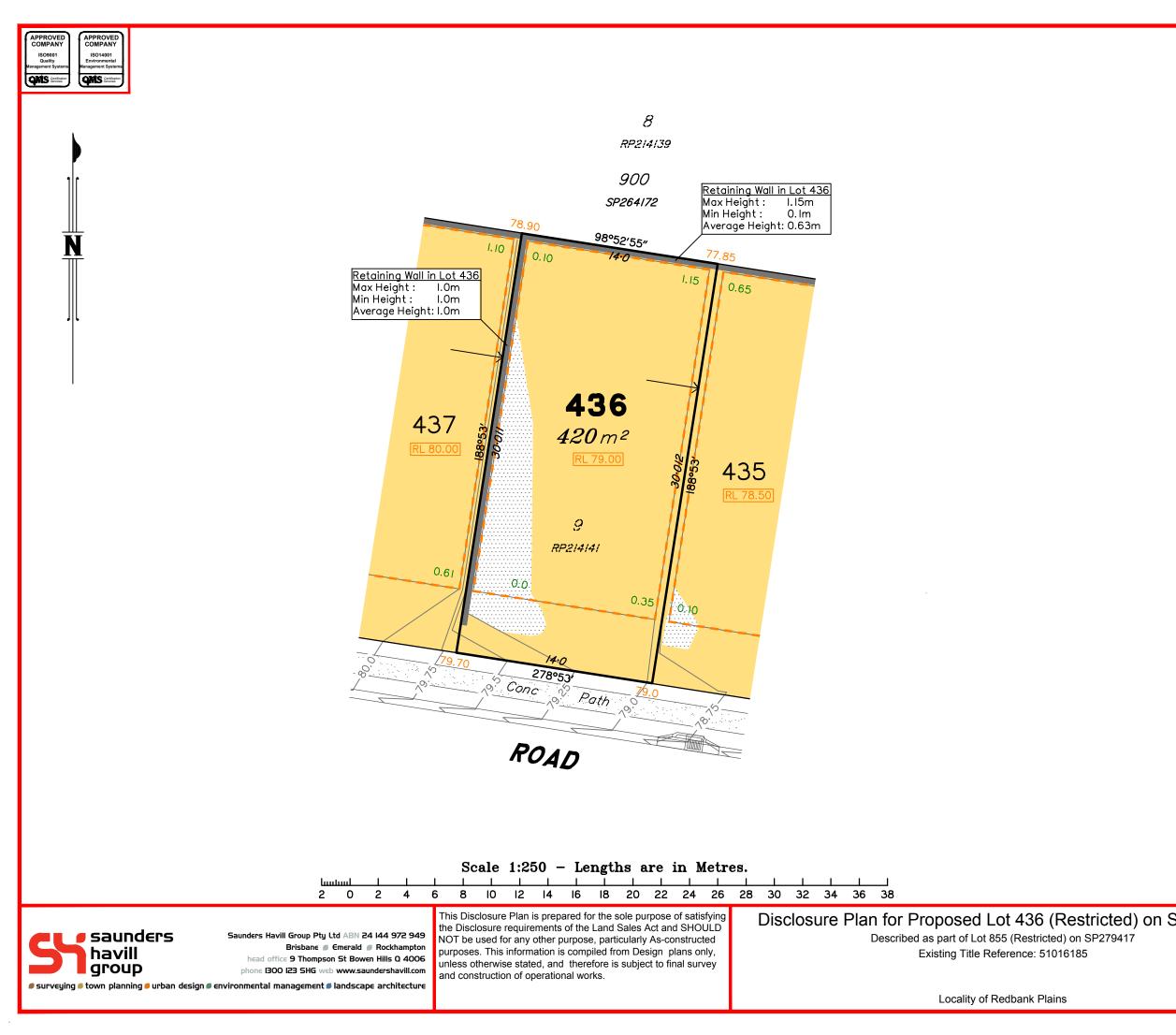


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			_		6 F.11	
			Area		Contours	
4					ot Boundary	
					ed Retaining Wall	
_	_				ed Building Pad	
	38.	78	Finis	she	d Surface Design Level	
RL	_ 38	3.78	Finis	she	ed Pad Design Level	
	١.	2	Dep	th o	of Fill	
	NO	TES	5			
su pla	rve ans	y pla pro	an (S	P2	en prepared from preliminary 292394) and engineering n the 12/10/2016 & 01/11/2016 ring.	6
					ted to the depth of 15.24 metre e, as defined on the plan M317	
Re	eco	nfigu	uratic	n	oproval has been granted for of a Lot for the proposed lot /2016/CA)	
					pproval has not been granted f ks for the proposed lot.	or
co res	ntro spo	olled	l mar	ine na	aced and compacted in a er so that Level 1 level of ly be achieved and certified as 7.	
	No.	by	Date		Description	
ssues	A B	CTW TBG	04/11/ 22/02/ <sup>·</sup>		Original Issue Contours amended. Path added.	
<u>ب</u>						
200	<u> </u>	~ ~			evel Datum: AHD der	

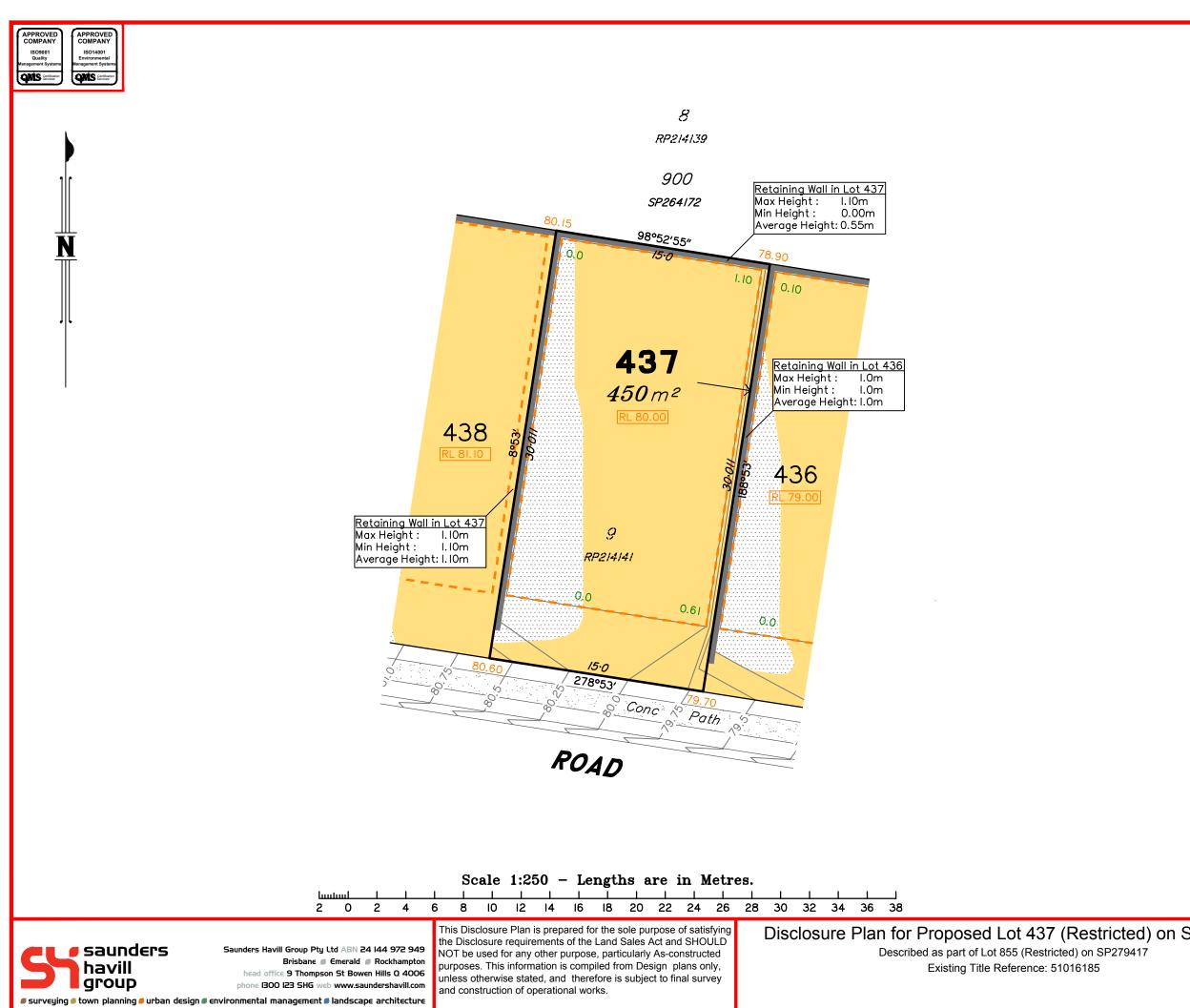
Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP B 434



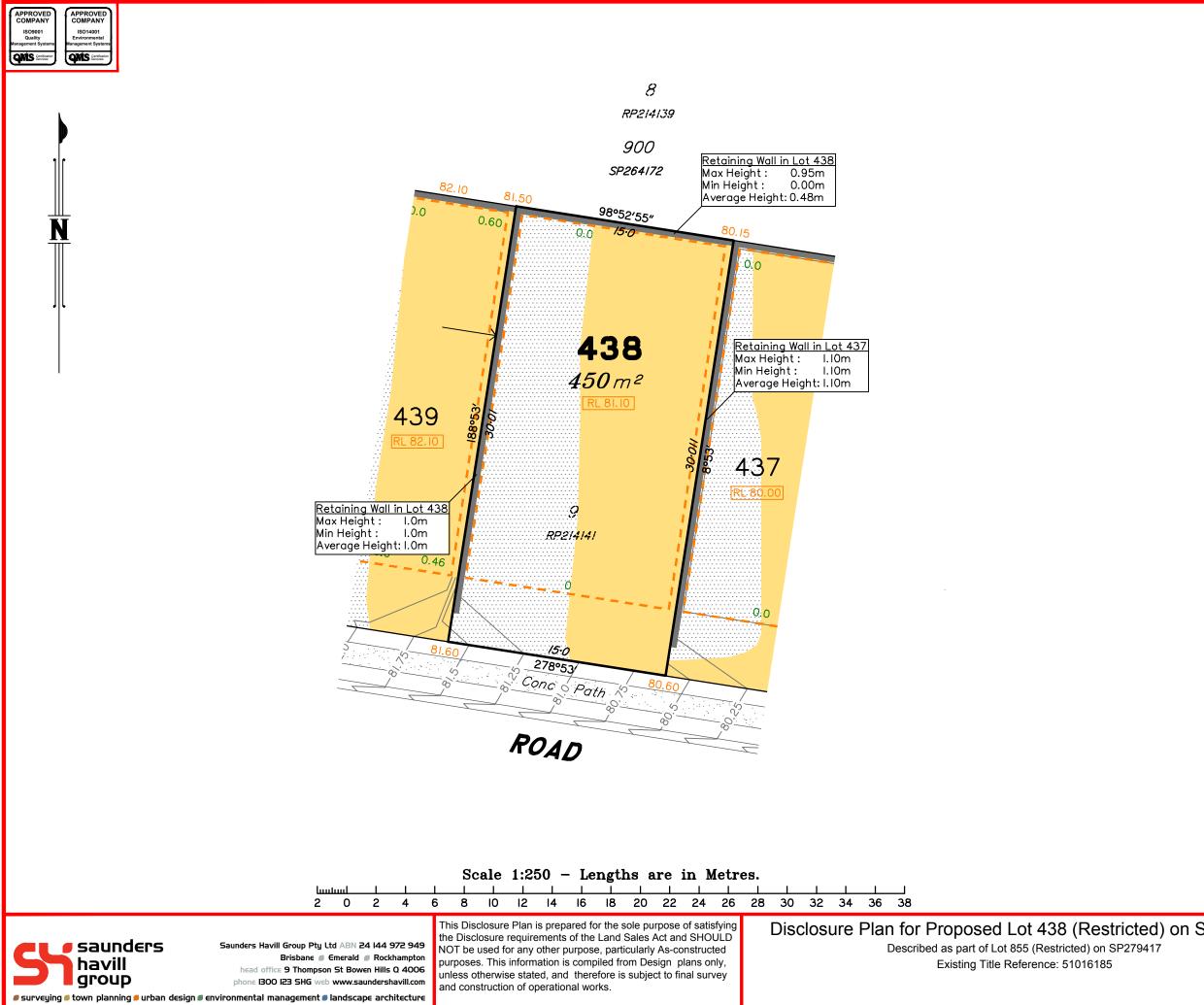
	LEGEND	
	Area of Fill	
	Area of Cut	
	——— Design Contours	
	Cero Lot Boundary	
	Proposed Retaining Wall	
	Proposed Building Pad	
	38.78 Finished Surface Design Level	
	RL 38.78 Finished Pad Design Level	
	I.2 Depth of Fill	
	NOTEO	
	NOTES	
	This plan has been prepared from survey plan (SP292394) and engi plans provided on the 12/10/2016 by ETS Engineering.	neering
	Lot 435 is restricted to the depth of below the surface, as defined on t	
	Development Approval has been Reconfiguration of a Lot for the p (Application 733/2016/CA)	
	Development Approval has not b Operational Works for the propos	
	All fill shall be placed and compact controlled manner so that Level 1 responsibility may be achieved an per AS3798-2007.	level of
	No. by Date Description	
	A CTW 04/11/16 Original Issue	h added.
SP	P292394 Level Datum: Al	
	Origin of Levels:	PM161439
	RL of Origin: 78.8 Contour Interval:	



	LEGEND	
	Are	a of Fill
	Are	a of Cut
	Des	sign Contours
	Cerre Zer	o Lot Boundary
	Pro	posed Retaining Wall
		posed Building Pad
		shed Surface Design Level
		ished Pad Design Level
	I.2 De	oth of Fill
	NOTEO	
	NOTES	
	survey plan (S	been prepared from preliminary SP292394) and engineering d on the 12/10/2016 & 01/11/2016 eering.
		ricted to the depth of 15.24 metres face, as defined on the plan M3172.
		Approval has been granted for on of a Lot for the proposed lot 33/2016/CA)
		Approval has not been granted for /orks for the proposed lot.
	controlled ma	placed and compacted in a nner so that Level 1 level of may be achieved and certified as 007.
	No. by Date	Description
	A CTW 04/11 B TBG 22/02	
	<u>s</u> <u>100 22/02</u>	
SP	292394	Level Datum: AHD der.
		Origin of Levels: PM161439
		RL of Origin: 78.888 Contour Interval: 0.25m

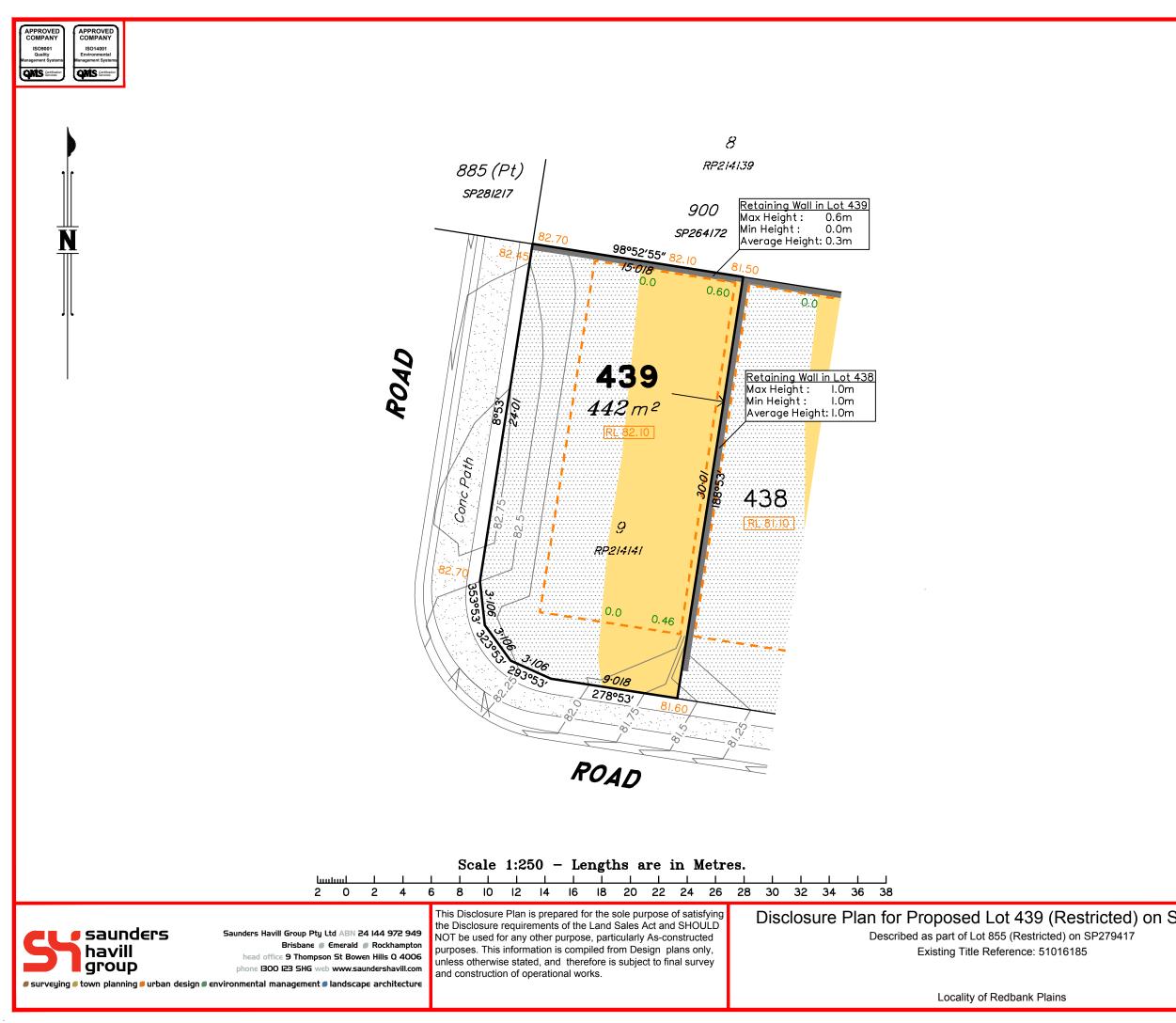


	LEGEND	
	Area	of Fill
	Area	of Cut
	Desig	n Contours
	<−−−− Zero	Lot Boundary
	Propo	osed Retaining Wall
	· ·	osed Building Pad
		ned Surface Design Level
		hed Pad Design Level
	I.2 Depth	n of Fill
	NOTES	
	NOTES	
	survey plan (SF	een prepared from preliminary 292394) and engineering on the 12/10/2016 & 01/11/2016 ering.
		cted to the depth of 15.24 metres ce, as defined on the plan M3172.
		approval has been granted for n of a Lot for the proposed lot 3/2016/CA)
		pproval has not been granted for orks for the proposed lot.
	controlled man	placed and compacted in a her so that Level 1 level of ay be achieved and certified as 07.
	No. by Date	Description
	A CTW 04/11/1	
	B TBG 22/02/13	7 Contours amended. Path added.
2D	292394	Level Datum: AHD der.
רכ	232334	Origin of Levels: PM161439
		RL of Origin: 78.888 Contour Interval: 0.25m

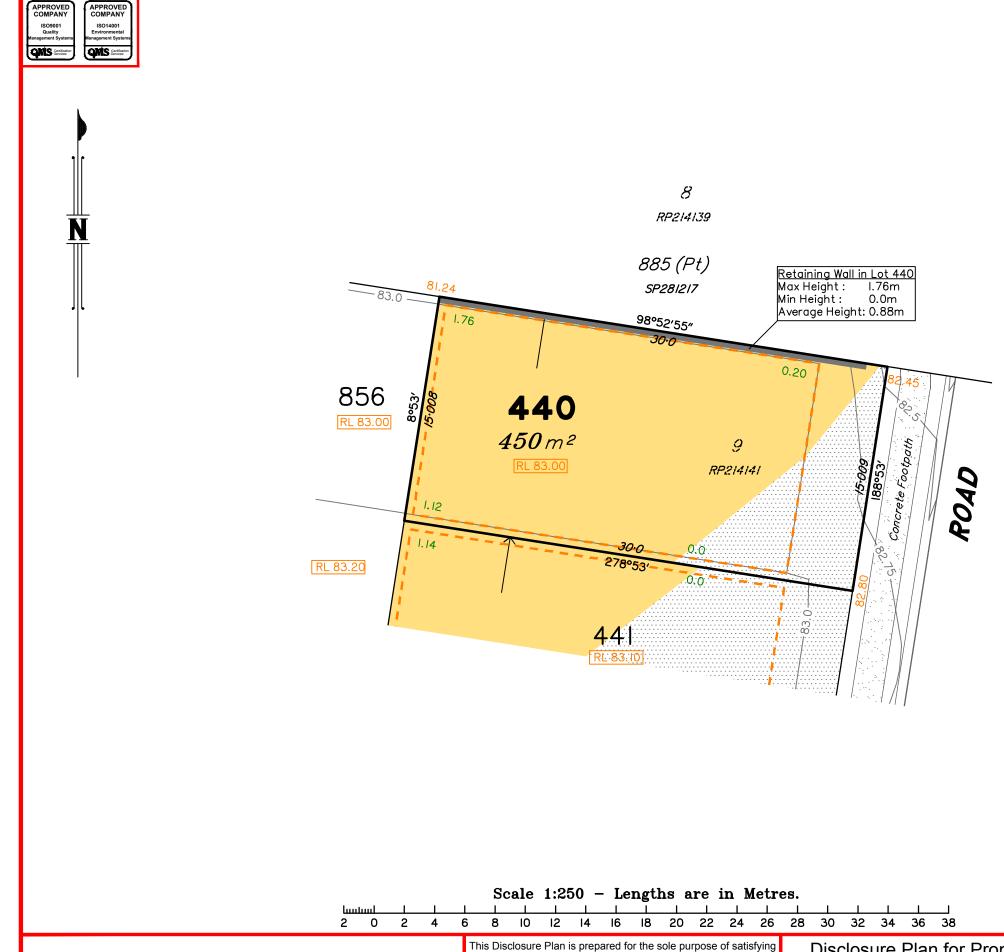


Locality of Redbank Plains

	LEGEND	
	Are	a of Fill
	Are	a of Cut
	Des	ign Contours
	< Zer	o Lot Boundary
	Pro	posed Retaining Wall
		posed Building Pad
		shed Surface Design Level
		shed Pad Design Level
	I.2 Dep	oth of Fill
	NOTEO	
	NOTES	
	survey plan (S	been prepared from preliminary P292394) and engineering d on the 12/10/2016 & 01/11/2016 eering.
		ricted to the depth of 15.24 metres ace, as defined on the plan M3172.
		Approval has been granted for on of a Lot for the proposed lot 33/2016/CA)
		Approval has not been granted for /orks for the proposed lot.
	controlled mar	placed and compacted in a nner so that Level 1 level of may be achieved and certified as 007.
	No. by Date	Description
	A CTW 04/11 B TBG 22/02/	
ŞΡ	292394	Level Datum: AHD der.
		Origin of Levels: PM161439
		RL of Origin: 78.888 Contour Interval: 0.25m



	LEGEND	
		Area of Fill
	· · · · · · · · · · · · · · · · · · ·	Area of Cut
		Design Contours
	$\leftarrow$	Zero Lot Boundary
		Proposed Retaining Wall
		Proposed Building Pad
	38.78	Finished Surface Design Level
	RL 38.78	Finished Pad Design Level
	1.2	Depth of Fill
	NOTES	
	survey plan	as been prepared from preliminary (SP292394) and engineering ded on the 12/10/2016 & 01/11/2016 jineering.
		estricted to the depth of 15.24 metres urface, as defined on the plan M3172.
	Reconfigura	nt Approval has been granted for ation of a Lot for the proposed lot 1733/2016/CA)
		nt Approval has not been granted for I Works for the proposed lot.
	controlled n	be placed and compacted in a nanner so that Level 1 level of ty may be achieved and certified as 8-2007.
	S A CTW 04 B TBG 22	/02/17 Contours amended. Path added.
SP	292394	Level Datum: AHD der. Origin of Levels: PM161439
		RL of Origin: 78.888
		Contour Interval: 0.25m



Saunders Havill Group Pty Ltd ABN 24 144 972 949 Brisbane © Emerald © Rockhampton head office 9 Thompson St Bowen Hills Q 4006 phone IBO0 123 SHG web www.saundershavill.com

Surveying 
 town planning 
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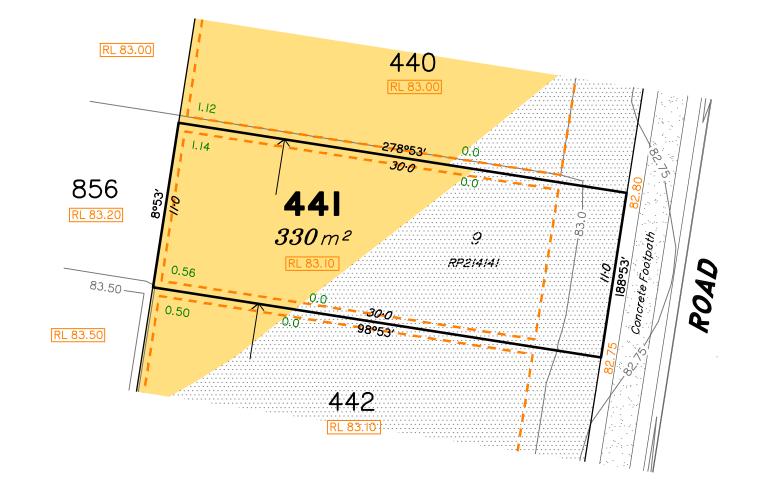
Locality of Redbank Plains

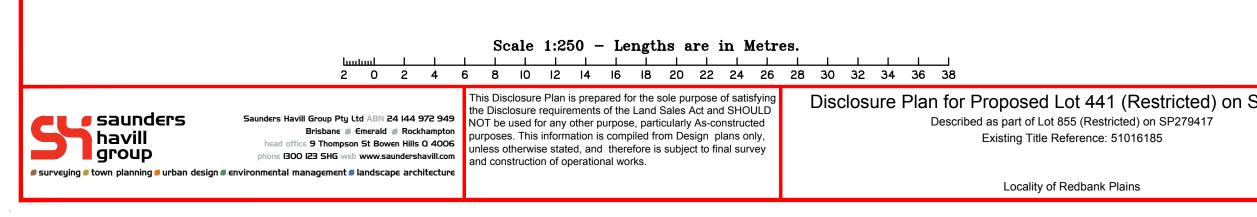
	LEGEND
	Area of Fill
	Area of Cut
	Design Contours
	Cero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level
	RL 38.78 Finished Pad Design Level
	1.2 Depth of Fill
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 440 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	B TBG 15/02/17 Contours amended.
	292394 Level Datum: AHD der.
5 <b>°</b>	Origin of Levels: PM161439
	RL of Origin: 78.888 Contour Interval: 0.25m

Scale @A3 1: 250

Dwg No. 8353 S 25 DP B\_440

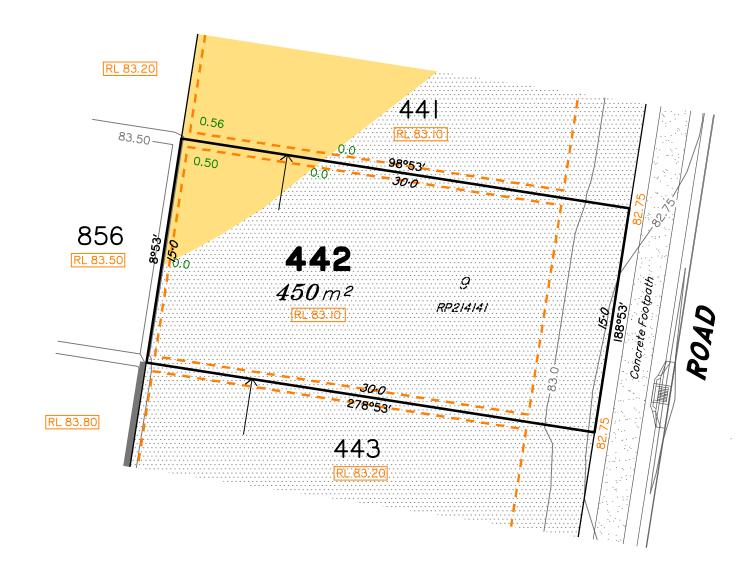






	LEGEND
	Area of Fill
	Area of Cut
	Design Contours
	Cero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level
	RL 38.78 Finished Pad Design Level
	I.2 Depth of Fill
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 441 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	A CTW 04/11/16 Original Issue B TBG 15/02/17 Contours amended.
SP	292394 Level Datum: AHD der.
	Origin of Levels: PM161439
	RL of Origin: 78.888 Contour Interval: 0.25m

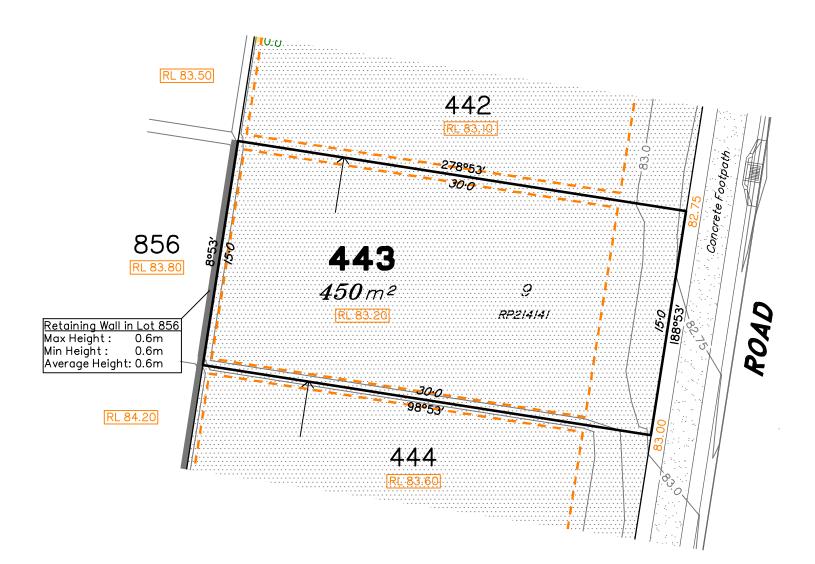
APPROVED	APPROVED
ISO9001 Quality Management Systems	ISO14001 Environmental Management Systems
QMIS Certification Services	QMS Certification

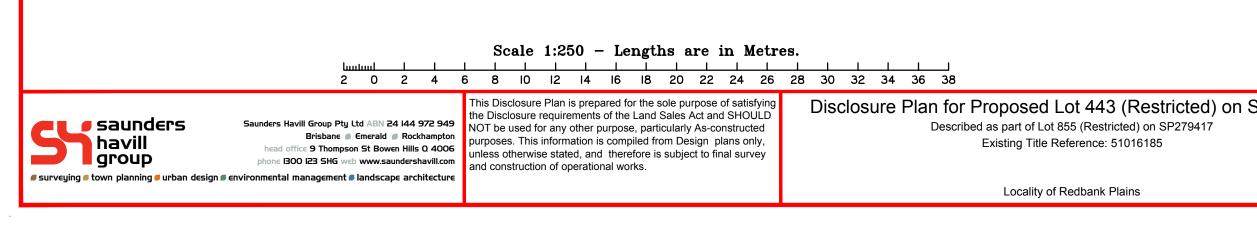


	<u>հահավ է է</u> 2 0 2 4	Scale 1:250 – Lengths are in Metr                         6 8 10 12 14 16 18 20 22 24 26	<b>es.</b> 
surveying town planning ourban design	Saunders Havill Group Pty Ltd ABN 24 144 972 949 Brisbane @ Emerald @ Rockhampton head office 9 Thompson St Bowen Hills Q 4006 phone IBOO 123 SHG web www.saundershavill.com 9 environmental management @ landscape architecture	This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.	Disclosure Plan for Proposed Lot 442 (Restricted) on SP Described as part of Lot 855 (Restricted) on SP279417 Existing Title Reference: 51016185 Locality of Redbank Plains

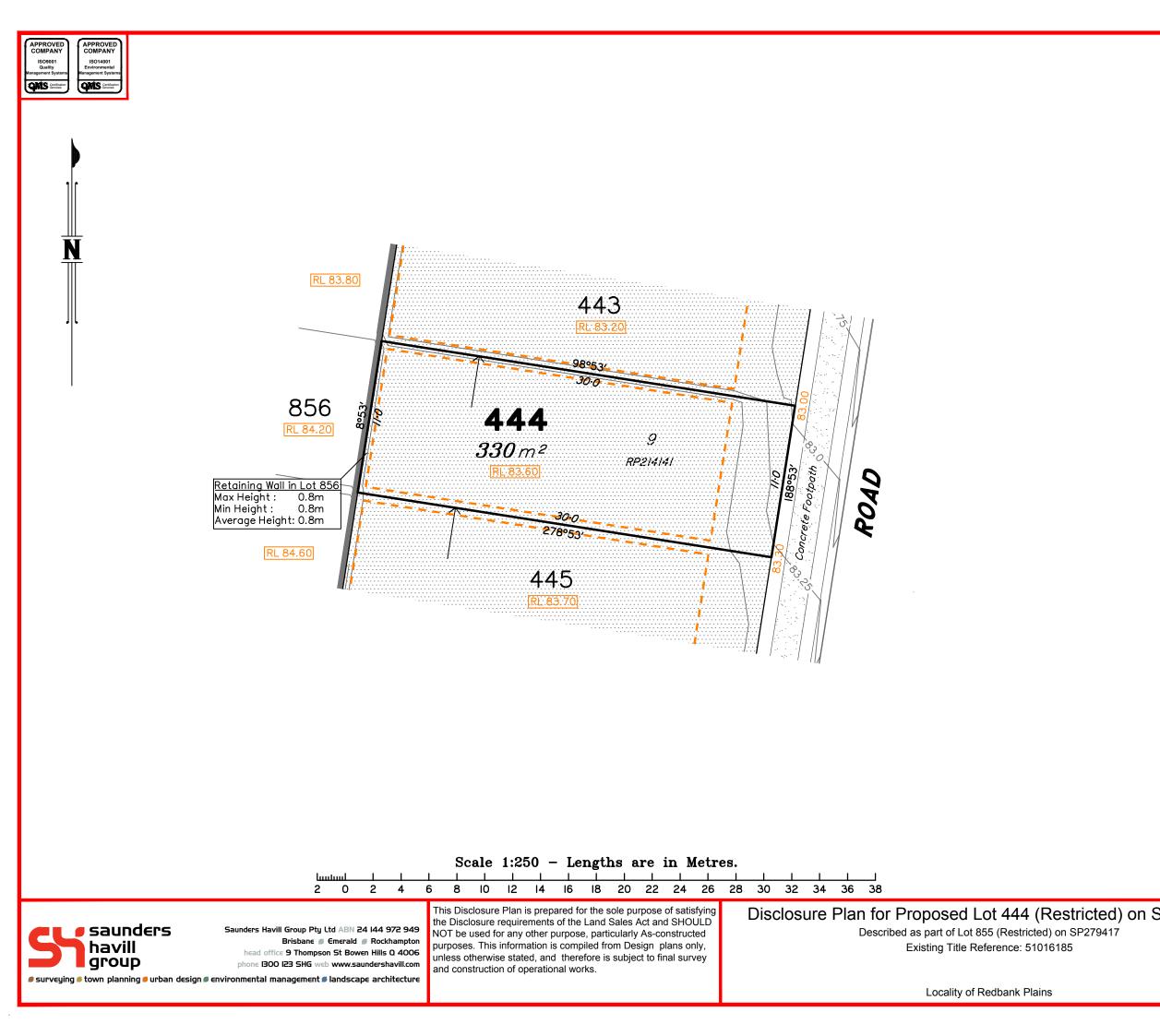
	LEGEND
	Area of Fill
	Area of Cut
	Design Contours
	Cero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level
	RL 38.78 Finished Pad Design Level
	I.2 Depth of Fill
	NOTES
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering
	plans provided on the 12/10/2016 & 01/11/2016
	by ETS Engineering.
	Lot 442 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for
	Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a
	controlled manner so that Level 1 level of responsibility may be achieved and certified as
	per AS3798-2007.
	No.         by         Date         Description           A         CTMI 04/11/16         Original logue
	A         CTW         04/11/16         Original Issue           B         TBG         15/02/17         Contours amended.
SP	292394 <u>Level Datum: AHD der.</u> Origin of Levels: PM161439
	RL of Origin: 78.888
	Contour Interval: 0.25m





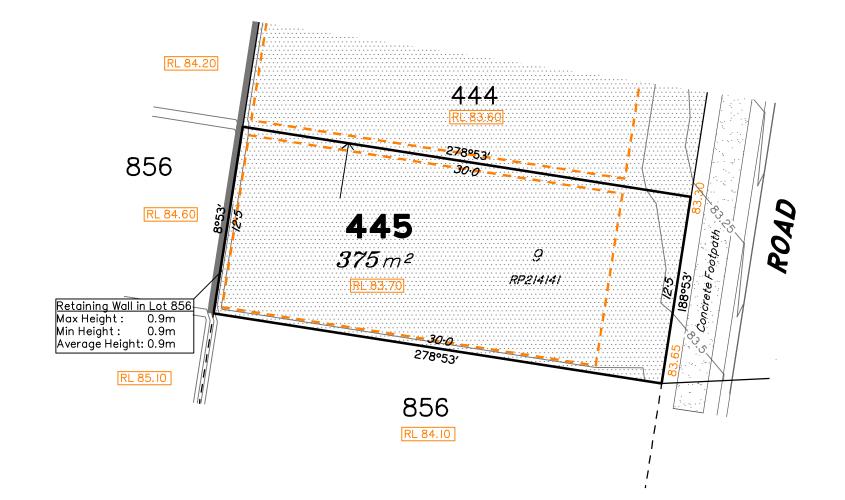


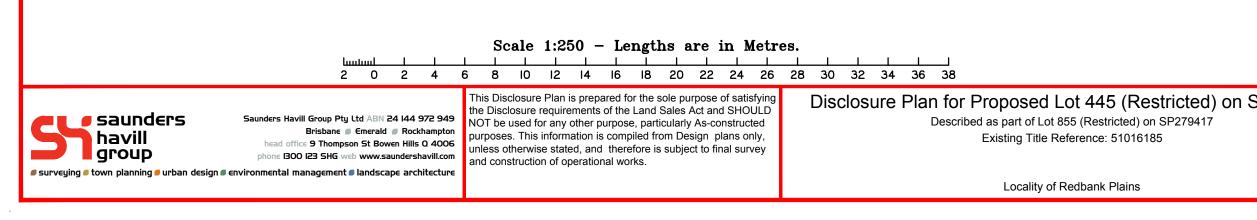
	LEGEND
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	<ul> <li> Proposed Building Pad</li> <li>38.78 Finished Surface Design Level</li> </ul>
	RL 38.78 Finished Pad Design Level
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 443 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	A CTW 04/11/16 Original Issue B TBG 15/02/17 Contours amended.
SP	292394 <u>Level Datum: AHD der.</u> Origin of Levels: PM161439
	RL of Origin: 78.888
	Contour Interval: 0.25m



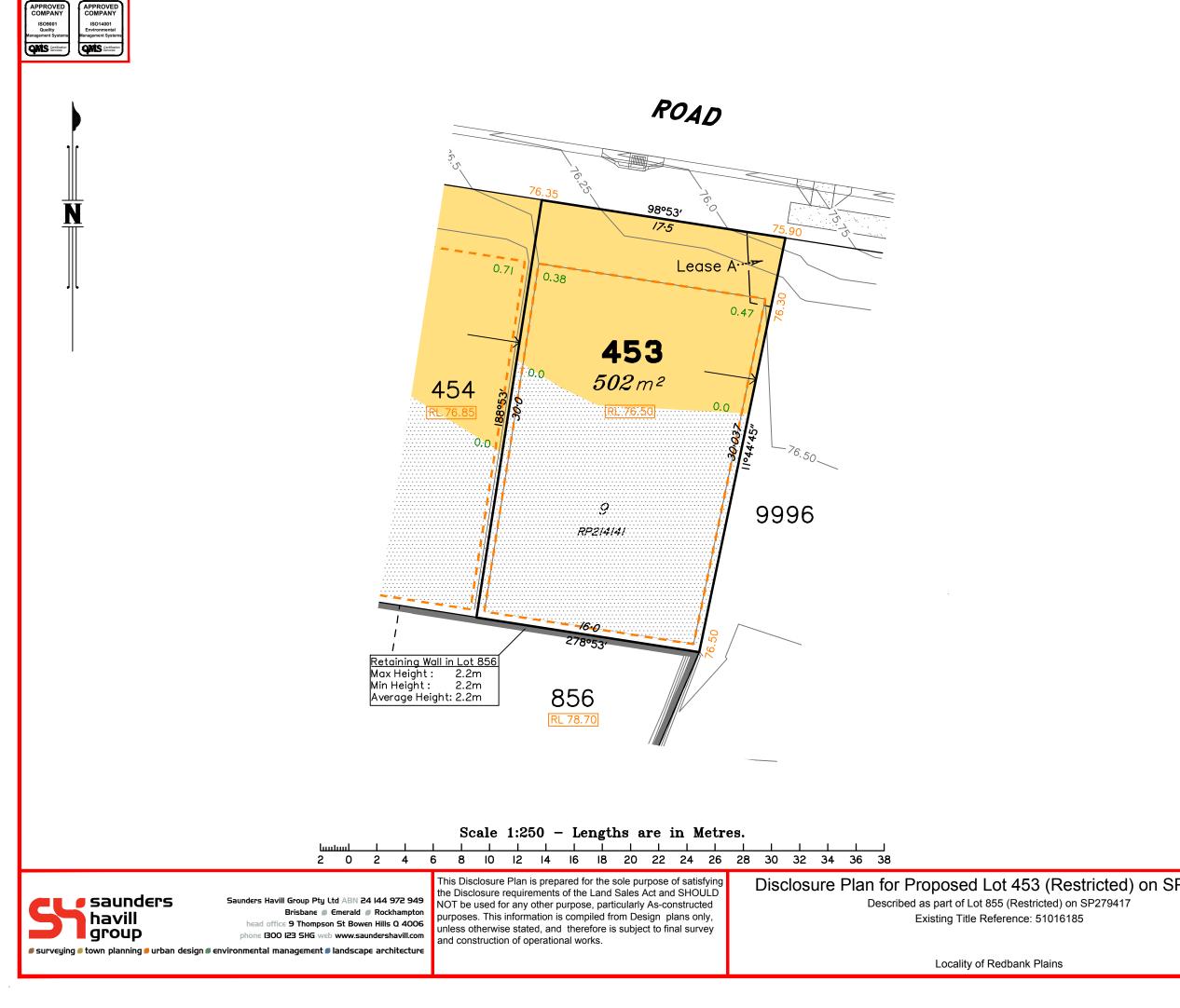
	LEGEND
	Area of Cut
	Design Contours
	Cero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level           RL 38.78         Finished Pad Design Level
	RL 38.78 Finished Pad Design Level
	NOTES
	This plan has been prepared from preliminary
	survey plan (SP292394) and engineering
	plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 444 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot
	(Application 733/2016/CA)
	Development Approval has not been granted for
	Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of
	responsibility may be achieved and certified as
	per AS3798-2007.
	No. by Date Description
	B TBG 15/02/17 Contours amended.
SP	292394 Level Datum: AHD der.
	Origin of Levels: PM161439 RL of Origin: 78.888
	Contour Interval: 0.25m







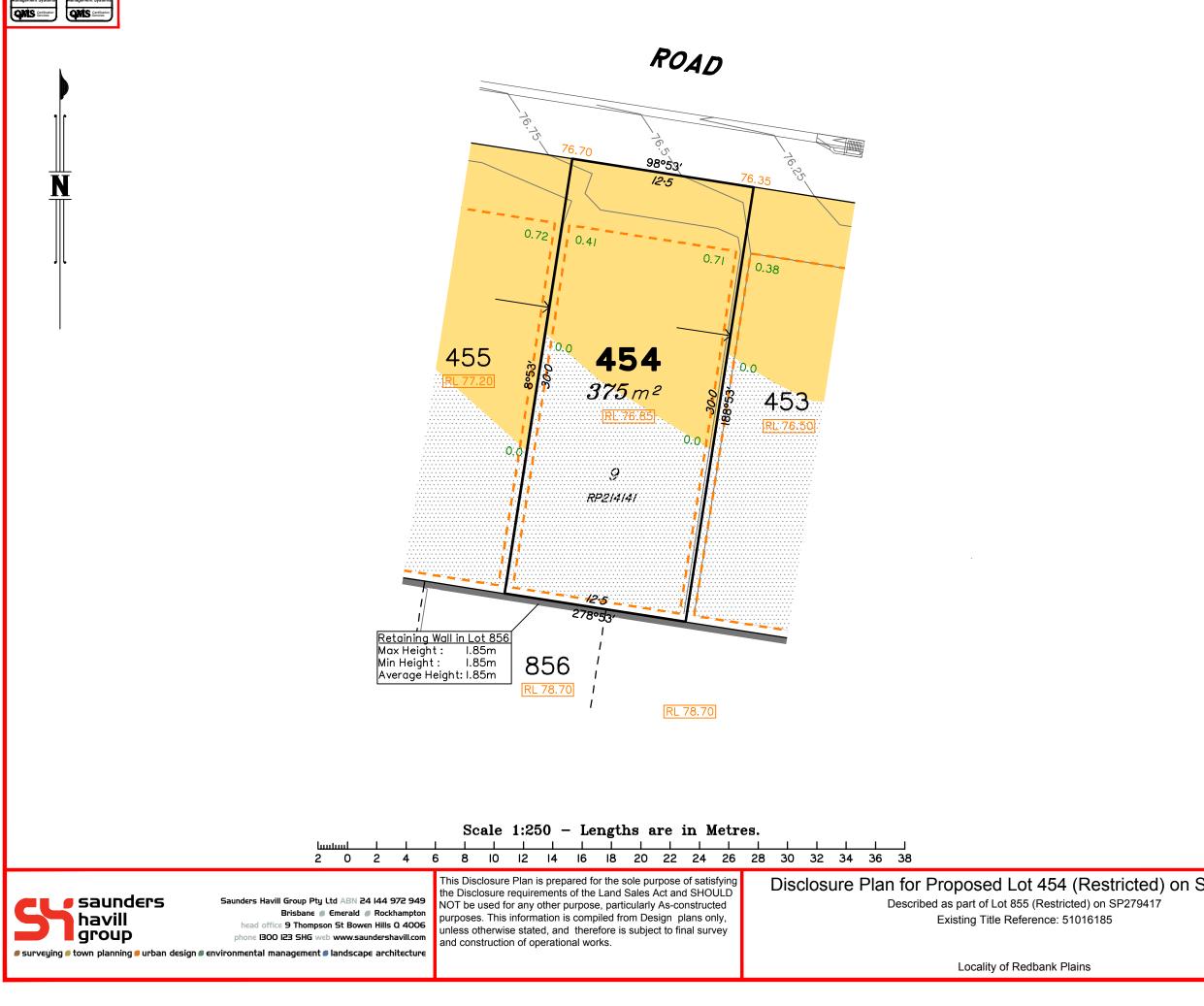
	LEGEND
	Area of Cut
	Design Contours
	Cero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level           RL 38.78         Finished Pad Design Level
	RL 38.78 Finished Pad Design Level
	NOTES
	This plan has been prepared from preliminary
	survey plan (SP292394) and engineering
	plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 445 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot
	(Application 733/2016/CA)
	Development Approval has not been granted for
	Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of
	responsibility may be achieved and certified as
	per AS3798-2007.
	No. by Date Description
	B TBG 15/02/17 Contours amended.
SP	292394 Level Datum: AHD der.
	Origin of Levels: PM161439 RL of Origin: 78.888
	Contour Interval: 0.25m



Τ	LEGEN	D
		Area of Fill
E		Area of Cut
_		Design Contours
<del>(</del>		Zero Lot Boundary
		Proposed Retaining Wall
		Proposed Building Pad
	38.78	Finished Surface Design Level
F	RL 38.78	-
	1.2	Depth of Fill
١.		
1L	NOTES	
si pi	urvey pla lans prov	has been prepared from preliminary in (SP292394) and engineering rided on the 12/10/2016 & 01/11/2016 ngineering.
		restricted to the depth of 15.24 metres surface, as defined on the plan M3172
R	econfigu	ent Approval has been granted for ration of a Lot for the proposed lot on 733/2016/CA)
		ent Approval has not been granted for al Works for the proposed lot.
Ci re	ontrolled	I be placed and compacted in a manner so that Level 1 level of ility may be achieved and certified as 98-2007.
	ot 453 is gnage pi	subject to Lease A on SP292408 for urposes.
Г	No. by	Date Description
	A CTW	04/11/16 Original Issue
	B TBG 2	22/02/17 Contours amended. Path removed.
29-	2394	Level Datum: AHD der. Origin of Levels: PM161439
		RL of Origin: 78.888

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Contour Interval: 0.25m



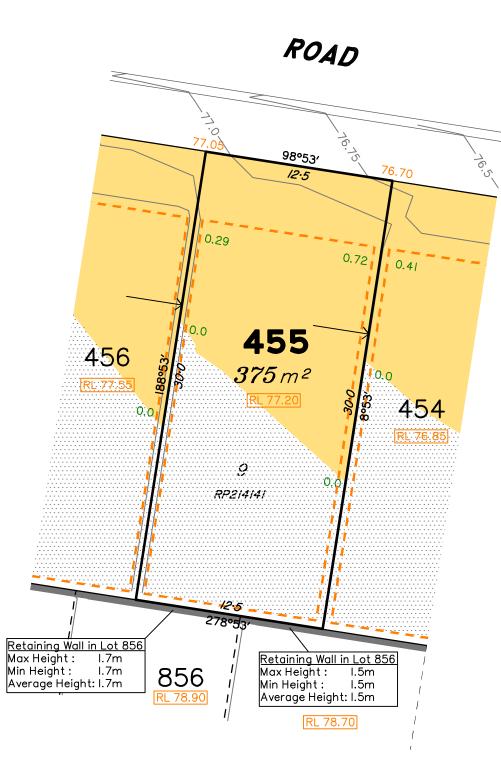
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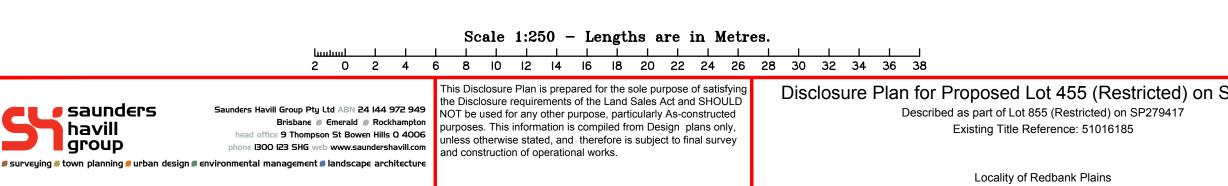
ISO14001 Environmenta

PPROVE OMPAN ISO9001 Quality ement Sy

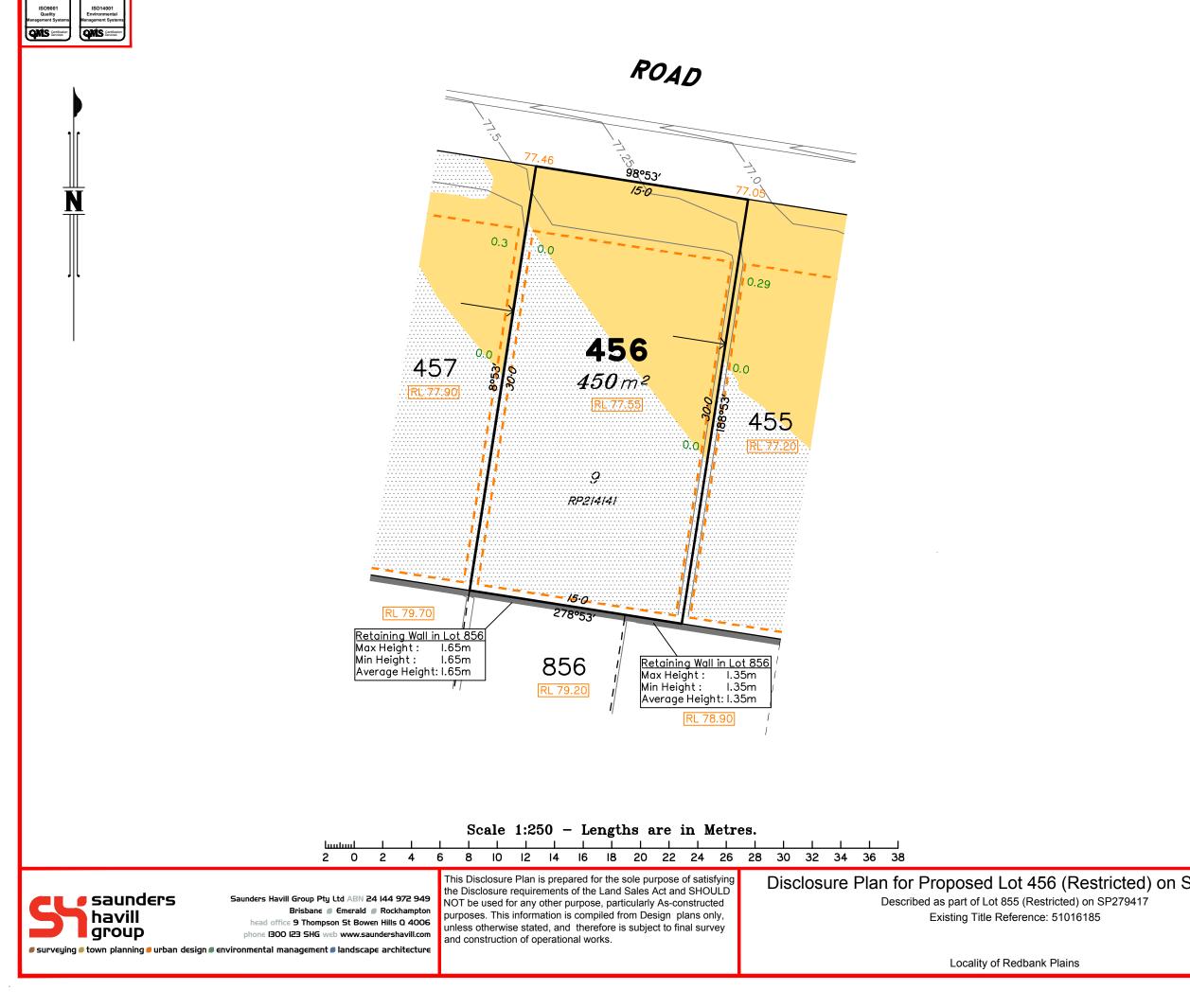
	LEGEND
	Area of Fill
	Area of Cut
	Design Contours
	Cero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level
	RL 38.78 Finished Pad Design Level
	I.2 Depth of Fill
	Notes
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016
	by ETS Engineering.
	Lot 454 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	n CTW 04/11/16 Original Issue
	B TBG 22/02/17 Contours amended. Path removed.
٦D	292394 Level Datum: AHD der.
	Origin of Levels: PM161439
	RL of Origin: 78.888 Contour Interval: 0.25m







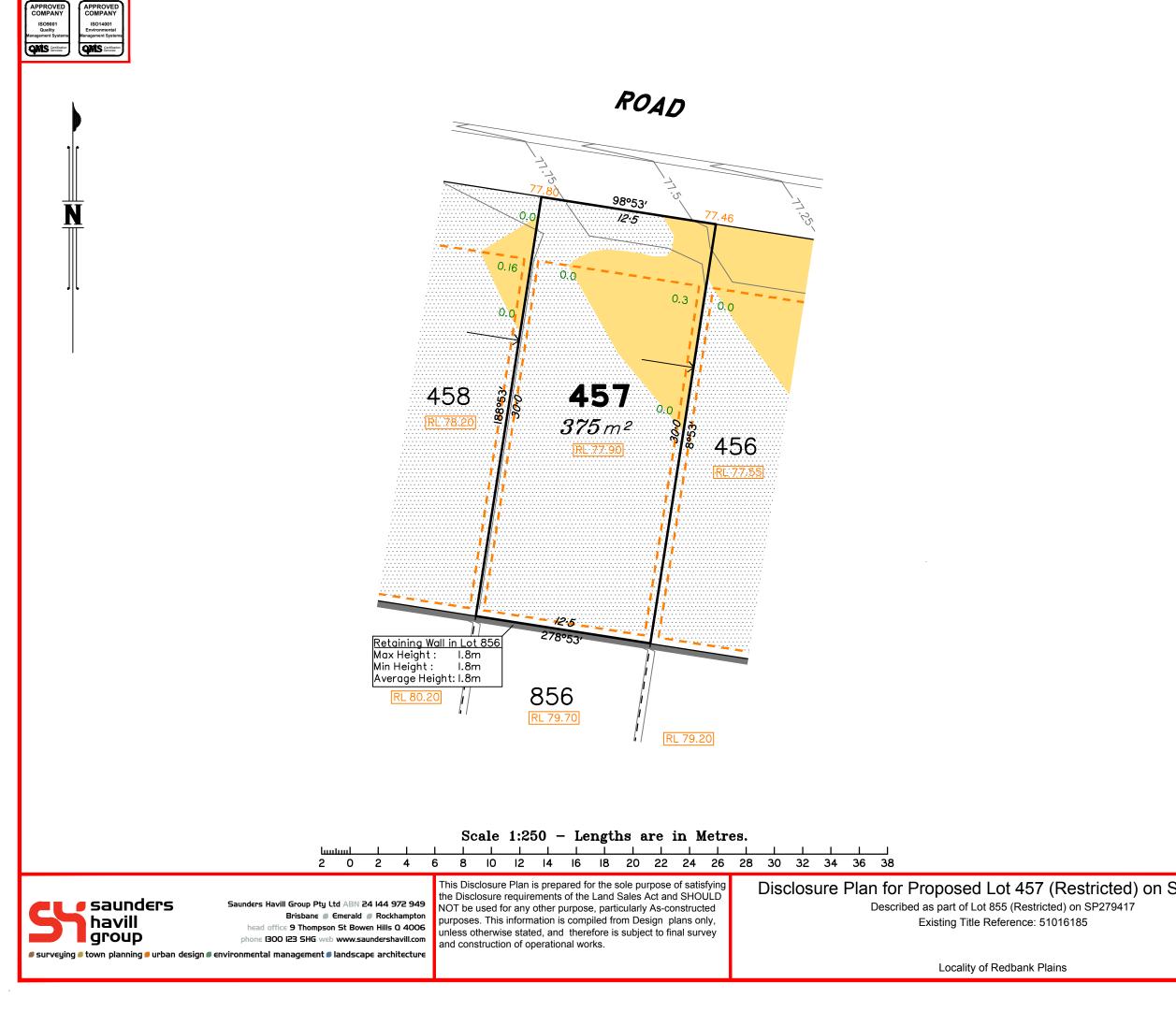
	LEGEND	
	Are	ea of Fill
	Are	ea of Cut
	Des	sign Contours
	Cerre Zer	ro Lot Boundary
	Pro	posed Retaining Wall
		posed Building Pad
		ished Surface Design Level
		ished Pad Design Level
	I.2 De	oth of Fill
	NOTEO	
	NOTES	
	survey plan (S	been prepared from preliminary SP292394) and engineering d on the 12/10/2016 & 01/11/2016 eering.
		tricted to the depth of 15.24 metres face, as defined on the plan M3172.
		Approval has been granted for on of a Lot for the proposed lot 33/2016/CA)
		Approval has not been granted for Vorks for the proposed lot.
	controlled ma	placed and compacted in a nner so that Level 1 level of may be achieved and certified as 007.
	No. by Date	Description
	A CTW 04/11	
	<u>ä</u>	
SP	292394	Level Datum: AHD der.
		Origin of Levels: PM161439 RL of Origin: 78.888
		Contour Interval: 0.25m



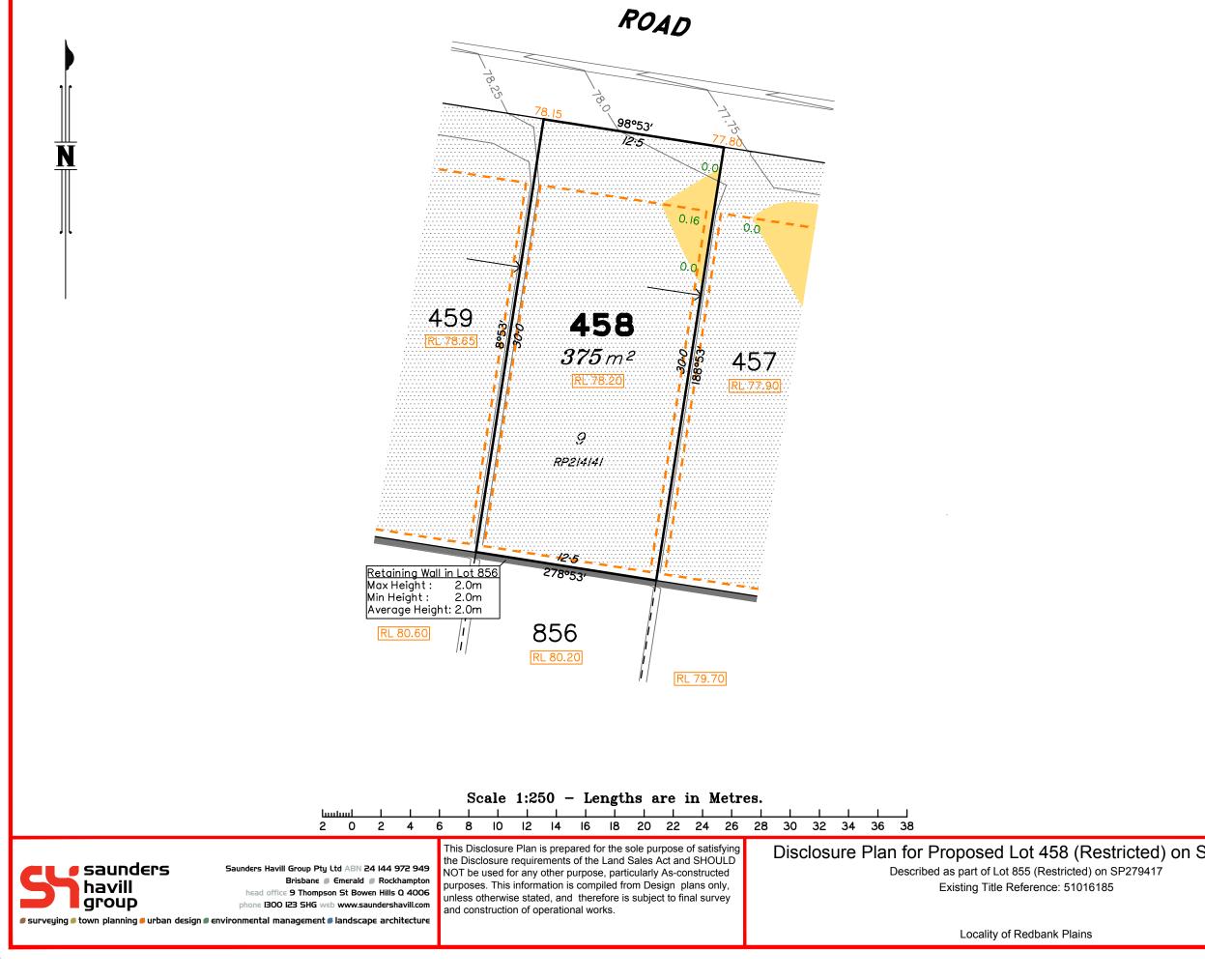
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	LEGEND	
	Area	a of Fill
	Area	a of Cut
	Des	ign Contours
	< Zero	b Lot Boundary
	Prop	bosed Retaining Wall
		bosed Building Pad
		shed Surface Design Level
		shed Pad Design Level
	I.2 Dep	th of Fill
	NOTES	
	NOTES	
	survey plan (S	been prepared from preliminary P292394) and engineering I on the 12/10/2016 & 01/11/2016 eering.
		ricted to the depth of 15.24 metres ace, as defined on the plan M3172.
		Approval has been granted for on of a Lot for the proposed lot 33/2016/CA)
		Approval has not been granted for /orks for the proposed lot.
	controlled mar	placed and compacted in a oner so that Level 1 level of nay be achieved and certified as 007.
	· · · · ·	
	No. by Date	Description
	A CTW 04/11/	
SP	292394	Level Datum: AHD der.
		Origin of Levels: PM161439 RL of Origin: 78.888
		Contour Interval: 0.25m



	LEGEND	]
	Area of Fill	_
	Area of Cut	
	Design Contours	
	Cero Lot Boundary	
	Proposed Retaining Wall	
	Proposed Building Pad	
	38.78 Finished Surface Design Level	
	RL 38.78 Finished Pad Design Level	
	I.2 Depth of Fill	
	NOTES	٦
	NOTES	
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/20 by ETS Engineering.	
	Lot 457 is restricted to the depth of 15.24 met below the surface, as defined on the plan M3	
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)	
	Development Approval has not been granted Operational Works for the proposed lot.	l for
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified a per AS3798-2007.	IS
	No. by Date Description	
	A CTW 04/11/16 Original Issue B TBG 22/02/17 Contours amended. Path removed.	
SP	292394 Level Datum: AHD der.	
	Origin of Levels: PM161439	
	RL of Origin: 78.888 Contour Interval: 0.25m	



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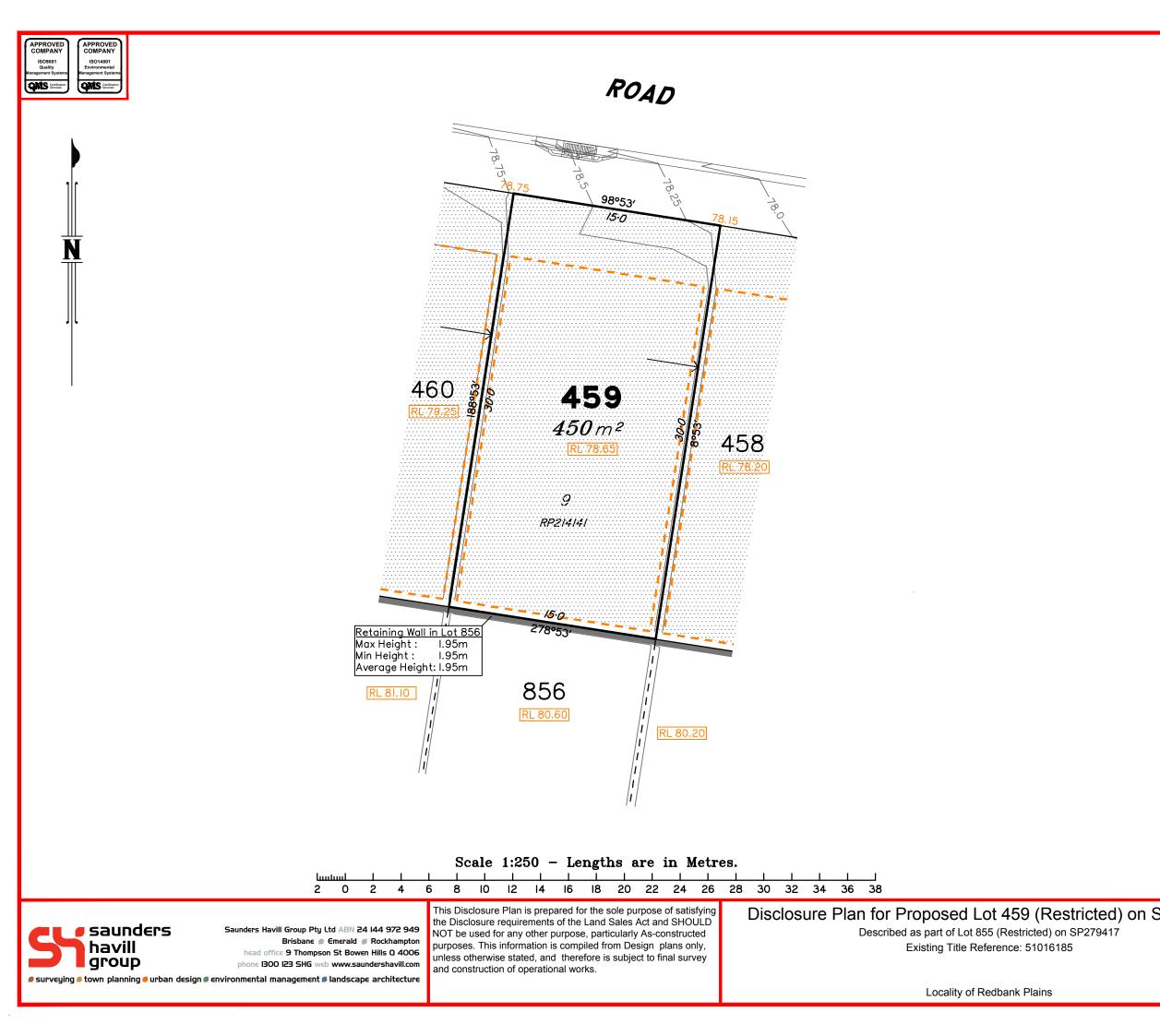
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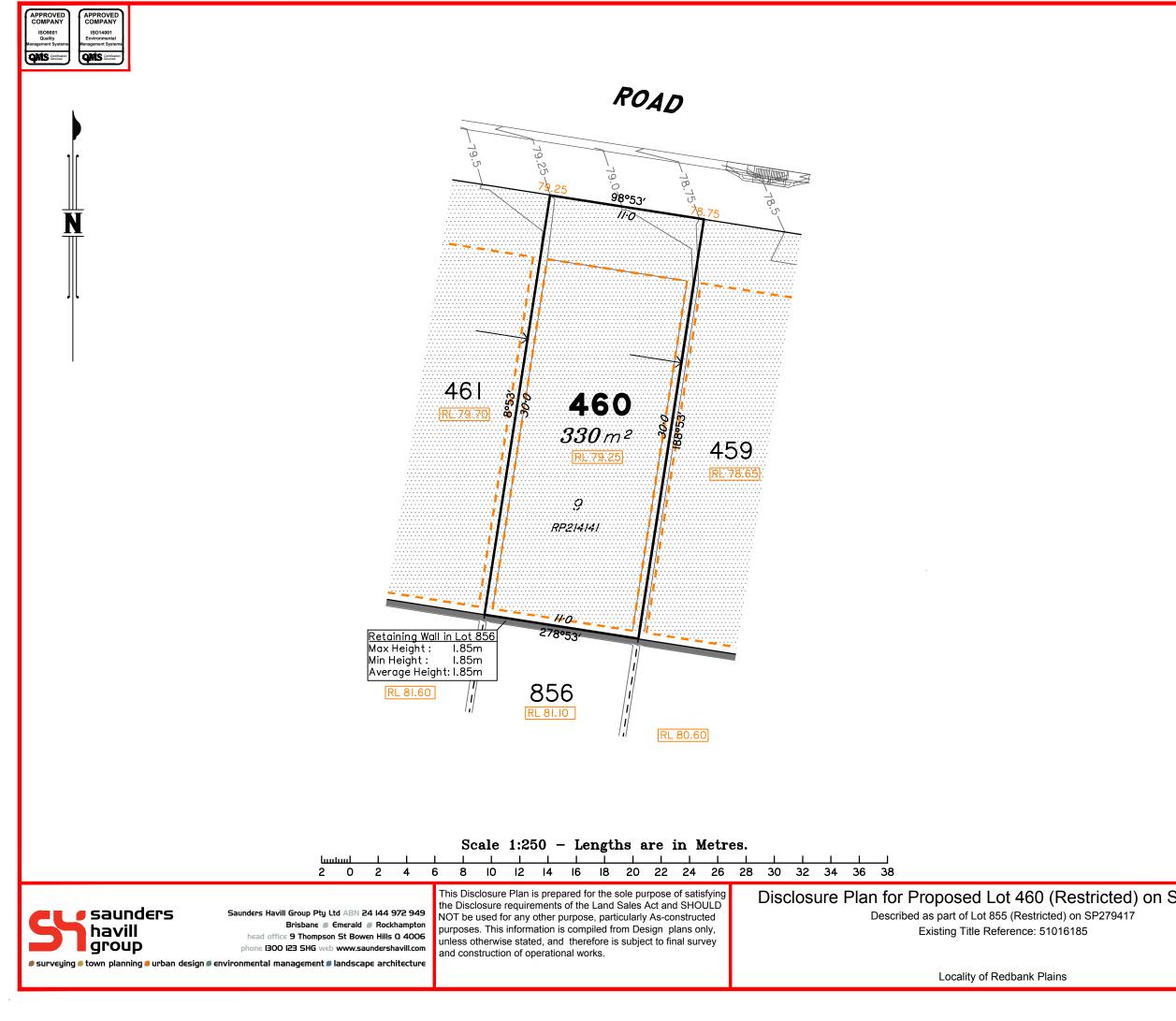
PPROVE OMPAN ISO9001 Quality ement Sy

QMS Certificat

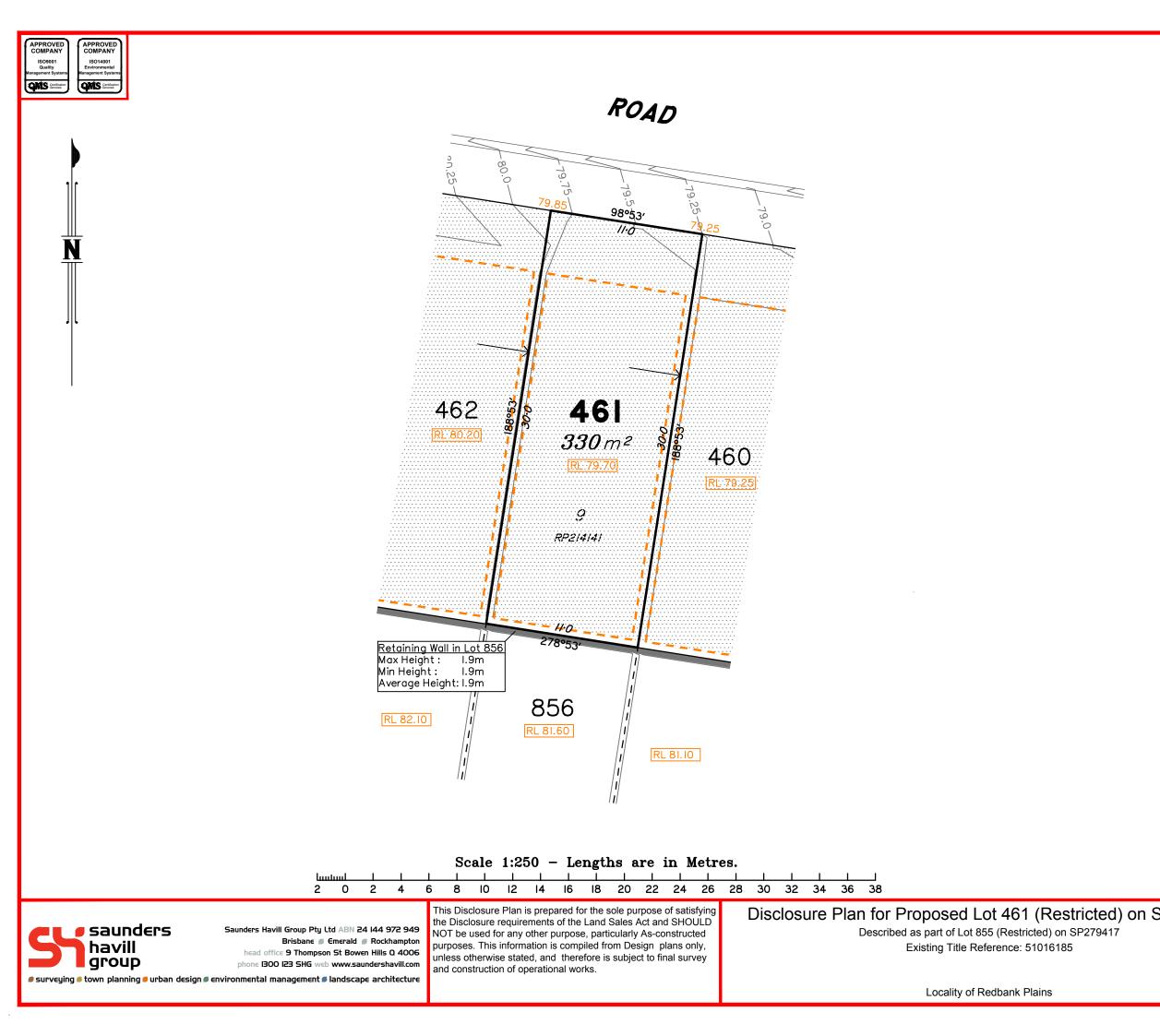
	LEGEND	
	Area	of Fill
	Area	of Cut
	Desig	n Contours
	← Zero	Lot Boundary
	Propo	osed Retaining Wall
		osed Building Pad
		ned Surface Design Level
		ned Pad Design Level
	I.2 Depth	n of Fill
	NOTEO	
	NOTES	
	survey plan (SF	een prepared from preliminary 292394) and engineering on the 12/10/2016 & 01/11/2016 ering.
		cted to the depth of 15.24 metres ce, as defined on the plan M3172.
		pproval has been granted for of a Lot for the proposed lot 3/2016/CA)
		pproval has not been granted for orks for the proposed lot.
	controlled man	laced and compacted in a her so that Level 1 level of ay be achieved and certified as 07.
	No. by Date	Description
	A CTW 04/11/1	
SP	292394	Level Datum: AHD der.
		Origin of Levels: PM161439 RL of Origin: 78.888
		Contour Interval: 0.25m



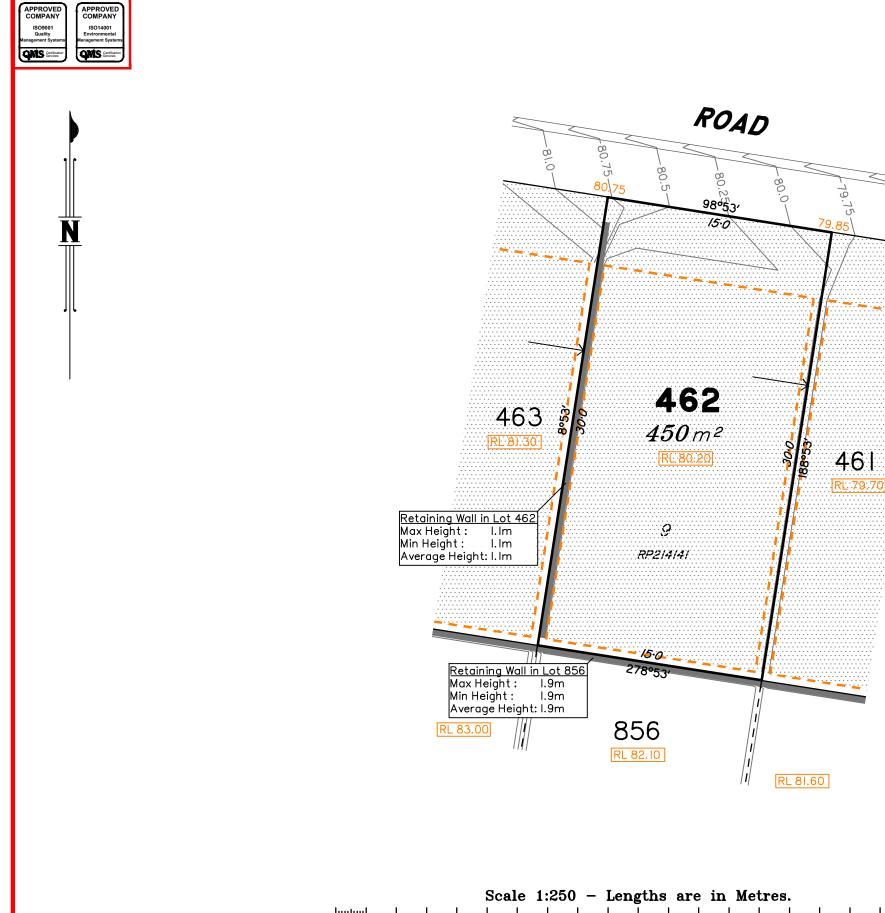
	LEGEND
	Area of Cut
	Design Contours
	Zero Lot Boundary      Proposed Retaining Wall
	Proposed Retaining Vali
	38.78 Finished Surface Design Level
	RL 38.78 Finished Pad Design Level
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 459 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	A CTW 04/11/16 Original Issue B TBG 22/02/17 Contours amended. Path removed.
	<u>iiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiii</u>
SP	292394 Level Datum: AHD der.
	Origin of Levels: PM161439 RL of Origin: 78.888
	Contour Interval: 0.25m



	LEGEND
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	38.78 Finished Surface Design Level
	RL 38.78         Finished Pad Design Level
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 460 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	A         CTW         04/11/16         Original Issue           B         TBG         22/02/17         Contours amended. Path removed.
SP	292394 Level Datum: AHD der.
	Origin of Levels: PM161439 RL of Origin: 78.888
	Contour Interval: 0.25m



	LEGEND
	Area of Cut
	Design Contours
	Zero Lot Boundary      Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level
	RL 38.78 Finished Pad Design Level
	NOTES
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 461 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	A CTW 04/11/16 Original Issue B TBG 22/02/17 Contours amended. Path removed.
	<u>iiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiiii</u>
SP	292394 Level Datum: AHD der.
	Origin of Levels: PM161439 RL of Origin: 78.888
	Contour Interval: 0.25m

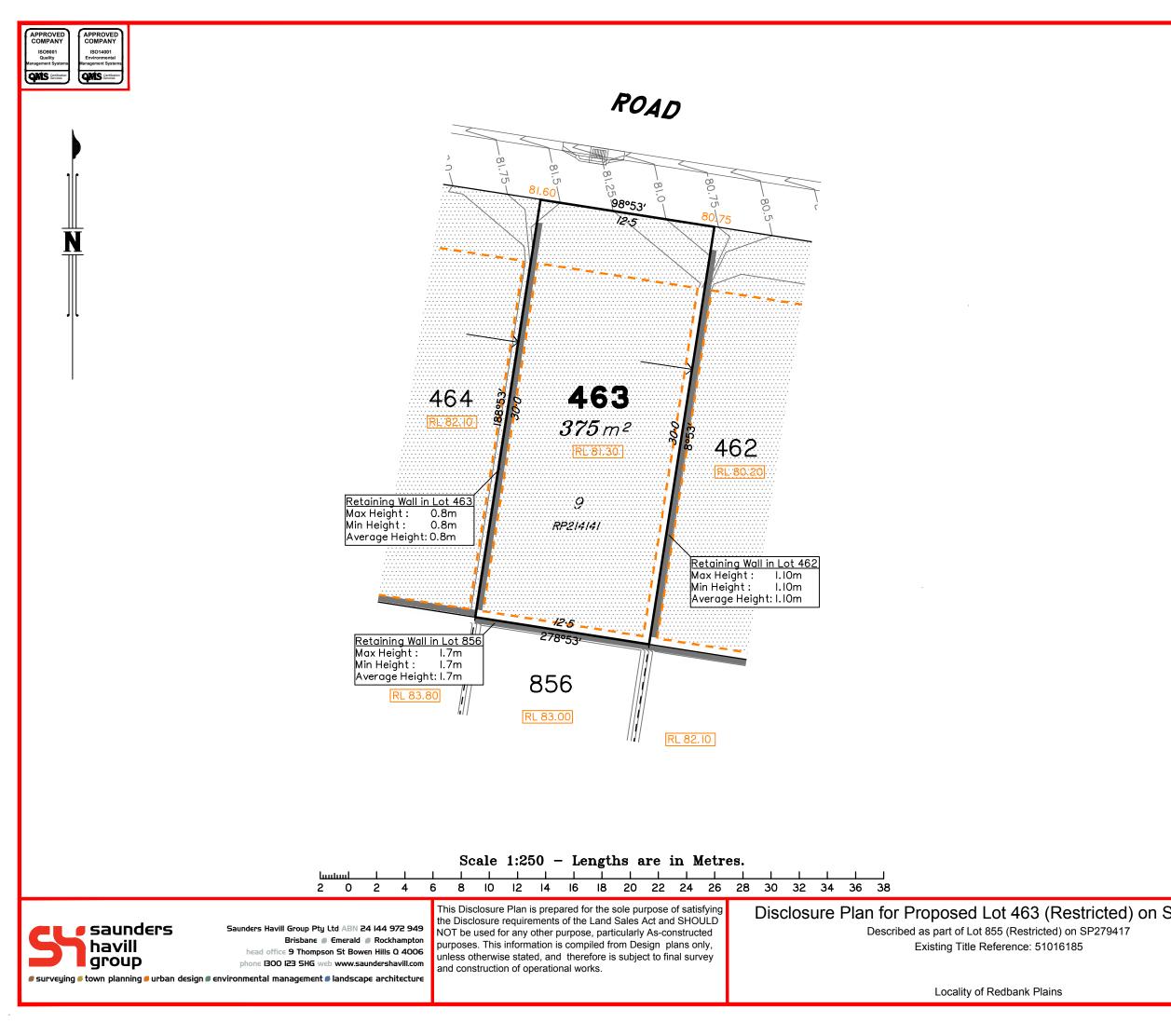


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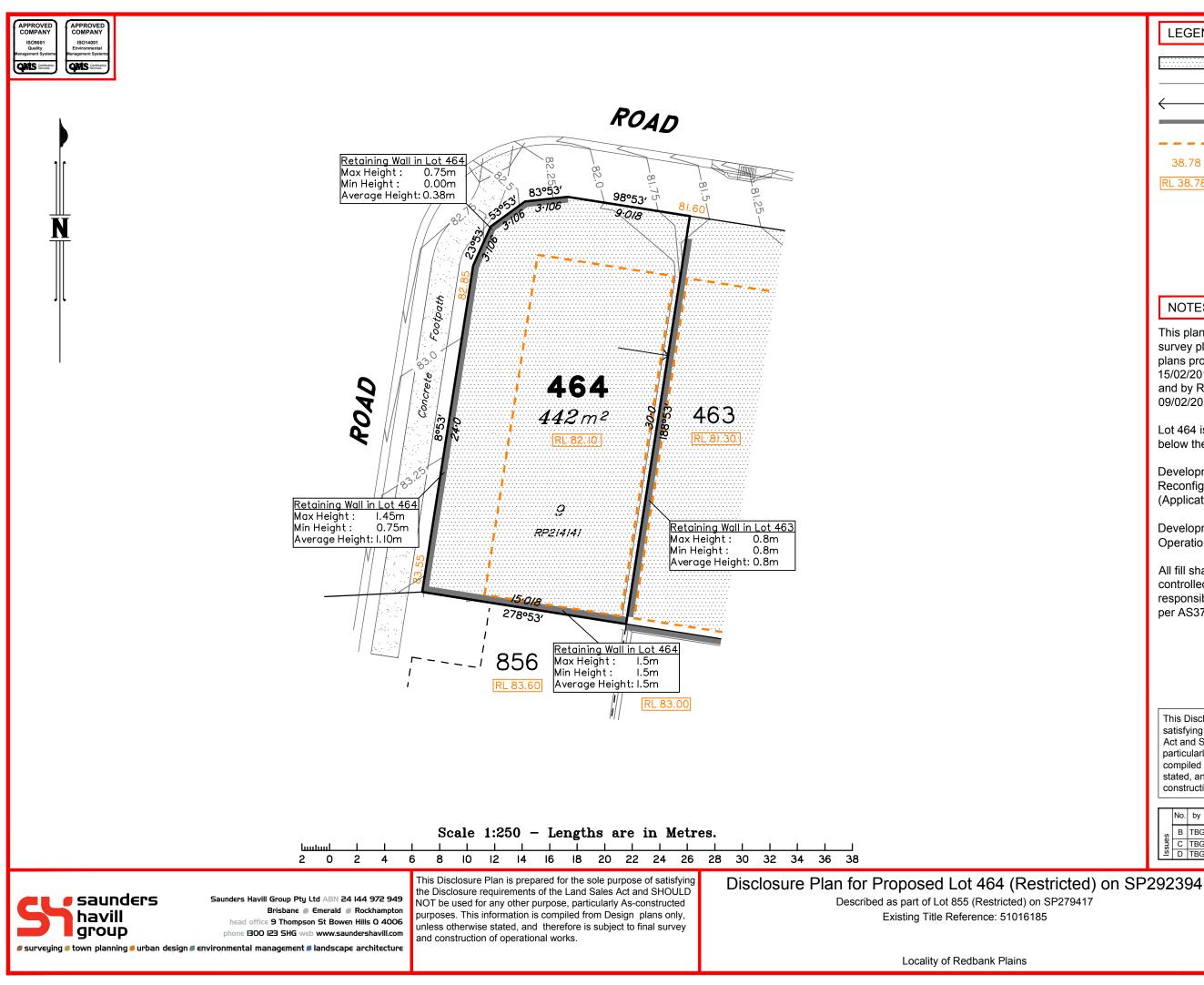
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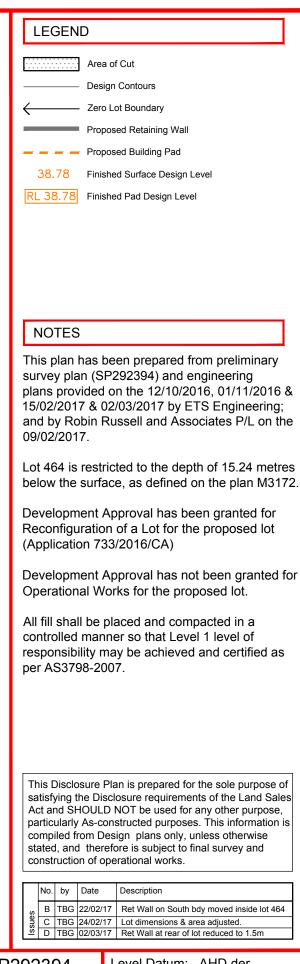
luutu 2 4 20 22 24 26 28 30 32 34 36 38 2 0 6 8 10 12 14 16 18 This Disclosure Plan is prepared for the sole purpose of satisfying Disclosure Plan for Proposed Lot 462 (Restricted) on S the Disclosure requirements of the Land Sales Act and SHOULD 🗧 🧧 saunders Saunders Havill Group Pty Ltd ABN 24 144 972 949 Described as part of Lot 855 (Restricted) on SP279417 NOT be used for any other purpose, particularly As-constructed Brisbane 🖉 Emerald 🖉 Rockhampton purposes. This information is compiled from Design plans only, Existing Title Reference: 51016185 head office 9 Thompson St Bowen Hills Q 4006 unless otherwise stated, and therefore is subject to final survey phone I300 I23 SHG web www.saundershavill.com and construction of operational works. 🟉 surveying 🖉 town planning 📁 urban design 🖉 environmental management 🖉 landscape architecture Locality of Redbank Plains

	LEGEND
	Area of Cut
	Design Contours
	Zero Lot Boundary      Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level
	RL 38.78 Finished Pad Design Level
	NOTES
	NOTES
	This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 462 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)
	Development Approval has not been granted for Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.
	No. by Date Description
	A CTW 04/11/16 Original Issue B TBG 22/02/17 Contours amended. Path removed.
SP	292394 Level Datum: AHD der.
	Origin of Levels: PM161439 RL of Origin: 78.888
	Contour Interval: 0.25m



	LEGEND
	Area of Cut
	Design Contours
	Cero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
	38.78 Finished Surface Design Level           RL 38.78         Finished Pad Design Level
	The SO.70 Thisley Fad Design Level
	NOTES
	This plan has been prepared from preliminary
	survey plan (SP292394) and engineering
	plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.
	Lot 463 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.
	Development Approval has been granted for
	Reconfiguration of a Lot for the proposed lot
	(Application 733/2016/CA)
	Development Approval has not been granted for
	Operational Works for the proposed lot.
	All fill shall be placed and compacted in a controlled manner so that Level 1 level of
	responsibility may be achieved and certified as
	per AS3798-2007.
	No. by Date Description
	B TBG 22/02/17 Contours amended. Path removed.
SP	292394 <u>Level Datum: AHD der.</u> Origin of Levels: PM161439
	RL of Origin: 78.888
	Contour Interval: 0.25m





Level Datum: AHD der. Origin of Levels: PM161439 RL of Origin: 78.888 Contour Interval: 0.25m Scale @A3 1: 250 Dwg No. 8353 S 25 DP D 464