

Land Title Act 1994 ; Land Act 1994
Form 21 Version 4

SURVEY PLAN

Lots 670-685, 740-763, 1111 & New Road are restricted to a depth of 15.24m from the surface as defined by M3172.

Part of Lot 9001, as defined by stations (N-52-51-22-21-1-2-3-4-5-F-G-H-I-N) & A-B-C-D is restricted to a depth of 15.24m from the surface as defined by M3172.

Part of Lot 9001 as defined by stations (N-I-J-K-L-M-N) is unrestricted.

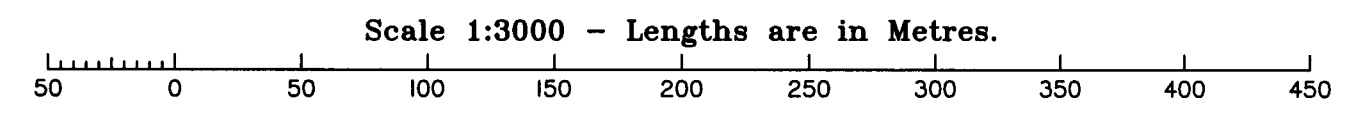
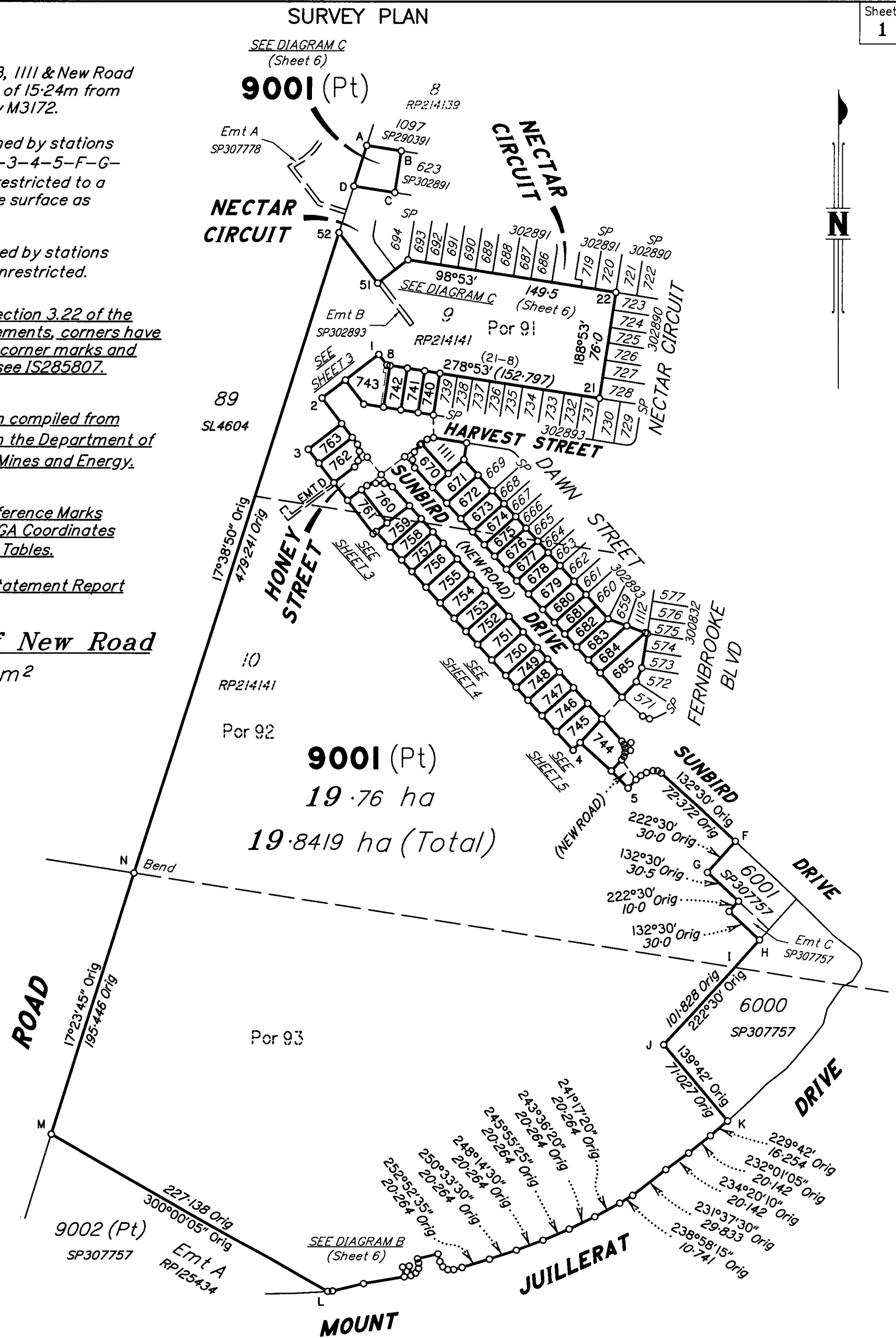
In accordance with section 3.22 of the Cadastral Survey Requirements, corners have not been marked. For corner marks and reference marks see IS285807.

Original information compiled from SP302893 & SP300832 in the Department of Natural Resources, Mines and Energy.

See Sheet 6 for Reference Marks Permanent Marks, MGA Coordinates and Meridian Tables.

See Sheet 6 for Reinstatement Report

Total Area of New Road
8090 m²



SAUNDERS HAVILL GROUP PTY LTD (ACN 144 972 949) hereby certify that the land comprised in this plan was surveyed by the corporation, by Clinton Miles URQUHART, surveying associate, for whose work the corporation accepts responsibility, under the supervision of Michael KLEINE, cadastral surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 11/11/2019



M. Kleine
Authorised Signatory
M. Dawson
Authorised Signatory
Date: 13-12-2019

Plan of Lots 670-685, 740-763, 1111 & 9001 (Restricted), and Emt D in Lot 9001

Cancelling Lot 9001 (Restricted) on SP302893

LOCAL GOVERNMENT: IPSWICH CITY LOCALITY: REDBANK PLAINS
Meridian: MGA (Zone 56) vide PSMs Survey Records: No

Scale: 1:3000
Format: STANDARD



SP302894

SAUNDERS HAVILL GROUP

8655 SP302894.DWG TBC

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

719890277

\$4653.00
07/02/2020 15:22

BE 400 NT

5. Lodged by
HWL Ebsworth Lawyers
Level 19, 480 Queen Street,
Brisbane Q 4000
GPO Box 2033, Brisbane Q 4001
Ph: (07) 3169 4700 Fax: 1300 368 717
REF=JDW:MKF=612959
(Include address, phone number, reference, and Lodger Code)

Lodger Code
88A

1. Certificate of Registered Owners or Lessees.
I/We **PEET NO 119 PTY LTD A.C.N. 124 371 642**

| 6. Existing | | Created | | |
|-----------------|----------------------|-------------------------------|--------|---------------------|
| Title Reference | Description | New Lots | Road | Secondary Interests |
| 51192607 | Lot 9001 on SP302893 | 670-685, 740-763, 1111 & 9001 | New Rd | Emt D |

(Names in full)

* as Registered Owners of this land agree to this plan and dedicate the Public Use Land as shown hereon in accordance with Section 50 of the Land Title Act 1994.

~~* as Lessees of this land agree to this plan.~~

Signature of *Registered Owners *Lessees



Peet No 119 Pty Ltd ACN 124 371 642 by its attorney
Michael Stone - General Manager Queensland of Peet Limited
- Category A Attorney - under Power of Attorney No. 717682887

MORTGAGE ALLOCATIONS

| Mortgage | Lots Fully Encumbered | Lots Partially Encumbered |
|-----------|-------------------------------|---------------------------|
| 717549920 | 670-685, 740-763, 1111 & 9001 | |

EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS

| Administrative Advice | Lots to be Encumbered |
|------------------------|-------------------------------|
| 713284985 (Veg Notice) | 670-685, 740-763, 1111 & 9001 |
| 713284986 (Veg Notice) | 670-685, 740-763, 1111 & 9001 |
| 713284987 (Veg Notice) | 670-685, 740-763, 1111 & 9001 |
| 713637526 (Veg Notice) | 670-685, 740-763, 1111 & 9001 |
| 713637527 (Veg Notice) | 670-685, 740-763, 1111 & 9001 |
| 713950283 (Veg Notice) | 670-685, 740-763, 1111 & 9001 |
| 714265689 (Veg Notice) | 670-685, 740-763, 1111 & 9001 |

BENEFIT EASEMENT ALLOCATIONS

| Easement | Lots Fully Benefited | Lots Partially Benefited |
|----------------------------------|-------------------------------|--------------------------|
| 719504890 (Emt C on SP307757) | 670-685, 740-763, 1111 & 9001 | |

ENCUMBRANCE EASEMENT ALLOCATIONS

| Easement | Lots to be Encumbered |
|-------------------------------|-----------------------|
| 719549517 (Emt A on SP302893) | 743 |
| 719549517 (Emt B on SP302893) | 9001 |

Emt A on SP302893 is partially absorbed by new road.

2. Planning Body Approval.
* **IPSWICH CITY COUNCIL**

hereby approves this plan in accordance with the :
%

Planning Regulation 2017

Dated this 3rd day of February 2020



Authorised Local Government Officer

* Insert the name of the Planning Body.
Insert designation of signatory or delegation

% Insert applicable approving legislation.

3. Plans with Community Management Statement :

CMS Number :
Name :

4. References :

Dept File :
Local Govt : 1489/17/1521E
Surveyor : 8655

| | |
|-----------------------------------|------------------|
| 9001 | Pors 91, 92 & 93 |
| 673-676, 758, 759-761 | Pors 91 & 92 |
| 670-672, 740-743, 762, 763 & 1111 | Por 91 |
| 677-685 & 744-757 | Por 92 |
| Lots | Orig |

7. Orig Grant Allocation :

8. Passed & Endorsed :

By: **SAUNDERS HAVILL GROUP PTY LTD**
Date: 13/12/2019
Signed: *KW*
Designation: **Liaison Officer**

9. Building Format Plans only.

I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining * lots and road

Cadastral Surveyor/Director* Date
* delete words not required

10. Lodgement Fees :

Survey Deposit \$
Lodgement \$
..... New Titles \$
Photocopy \$
Postage \$
TOTAL \$

ii. Insert Plan Number **SP302894**

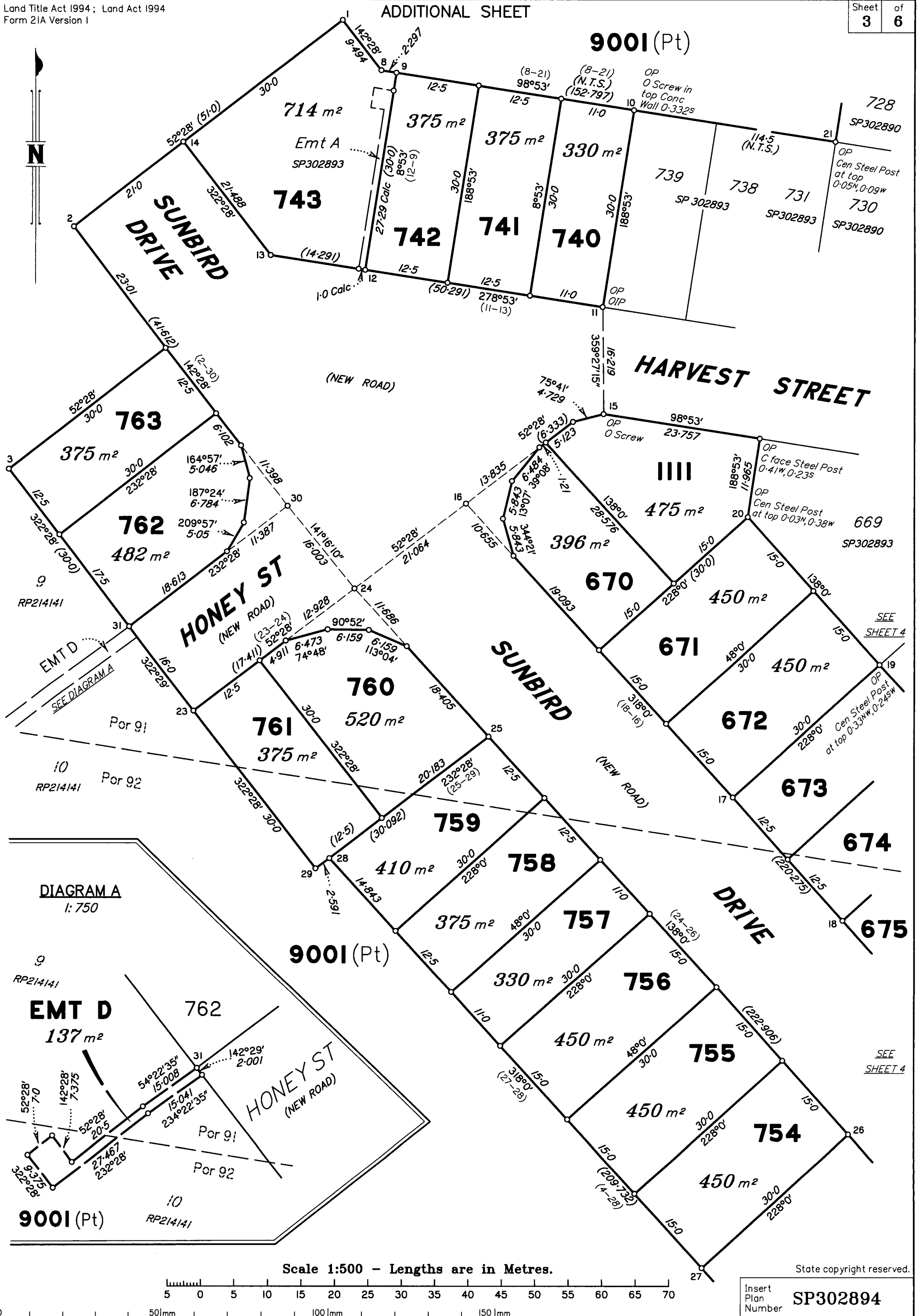
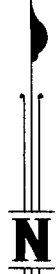
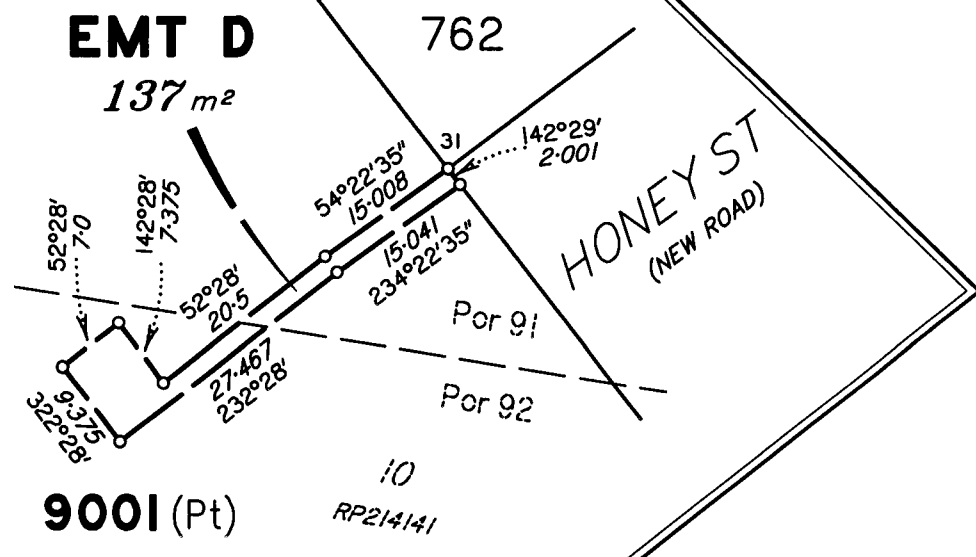
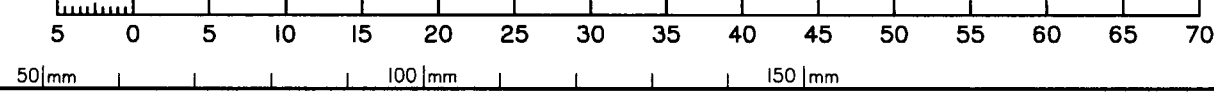


DIAGRAM A
1:750



Scale 1:500 - Lengths are in Metres.

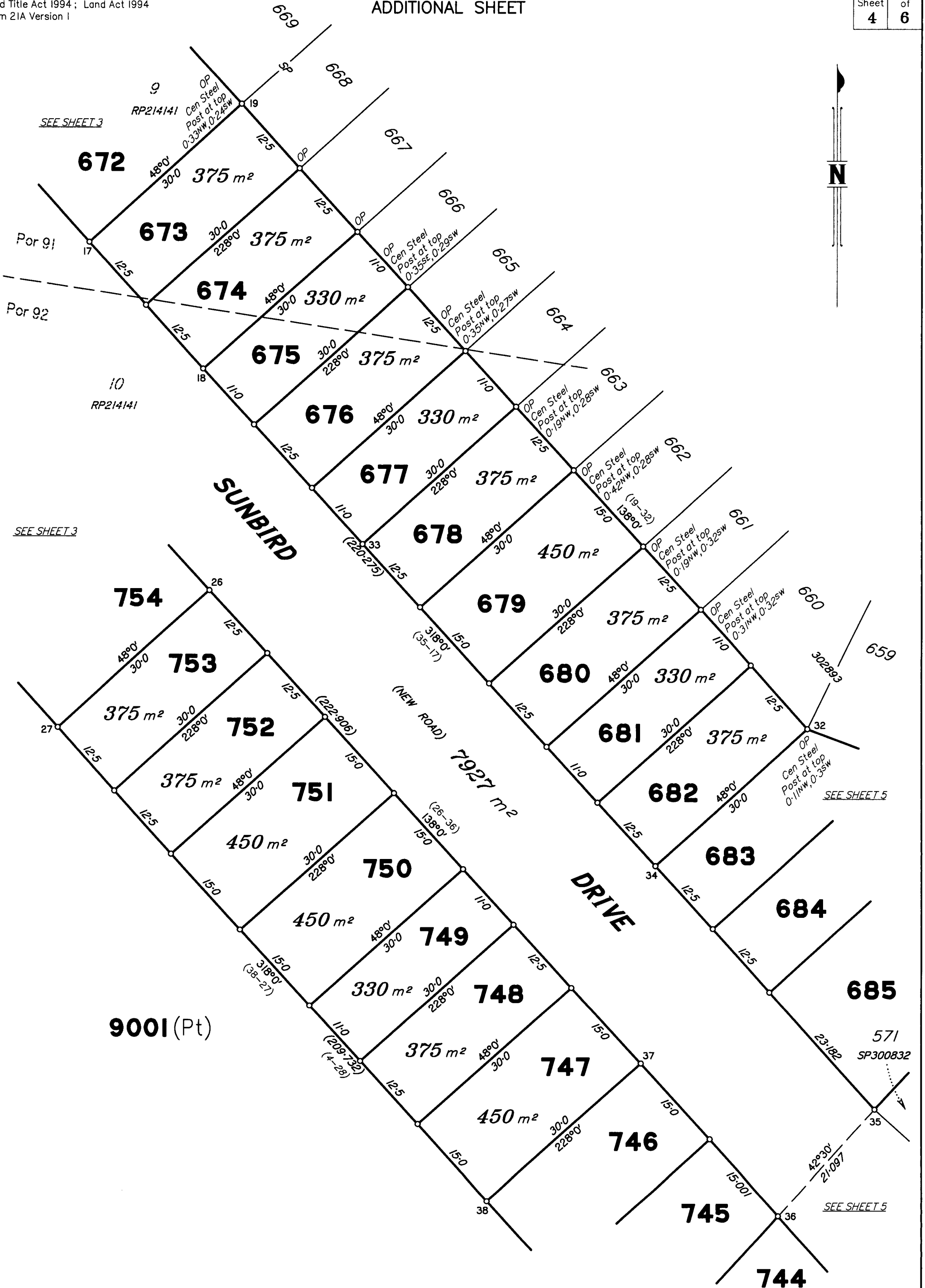


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Insert Plan Number **SP302894**

SEE SHEET 4

SEE SHEET 4



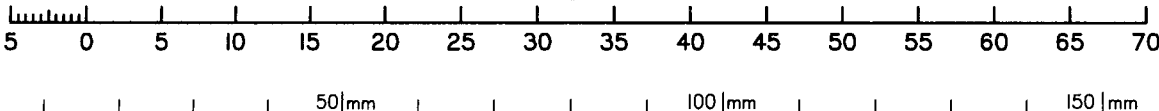
SEE SHEET 3

SEE SHEET 3

SEE SHEET 5

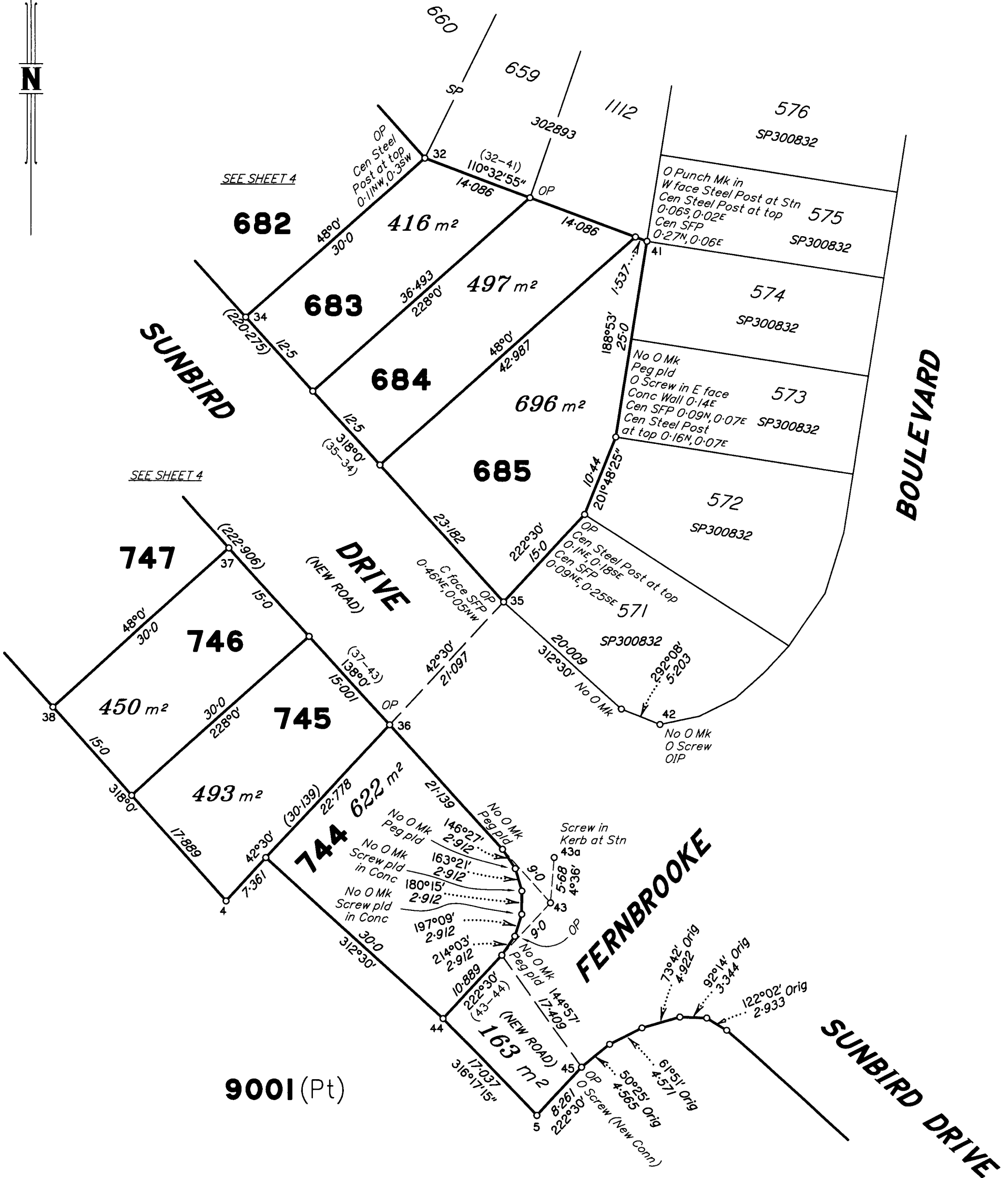
SEE SHEET 5

Scale 1:500 - Lengths are in Metres.



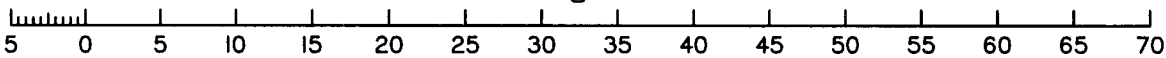
State copyright reserved.

Insert Plan Number SP302894



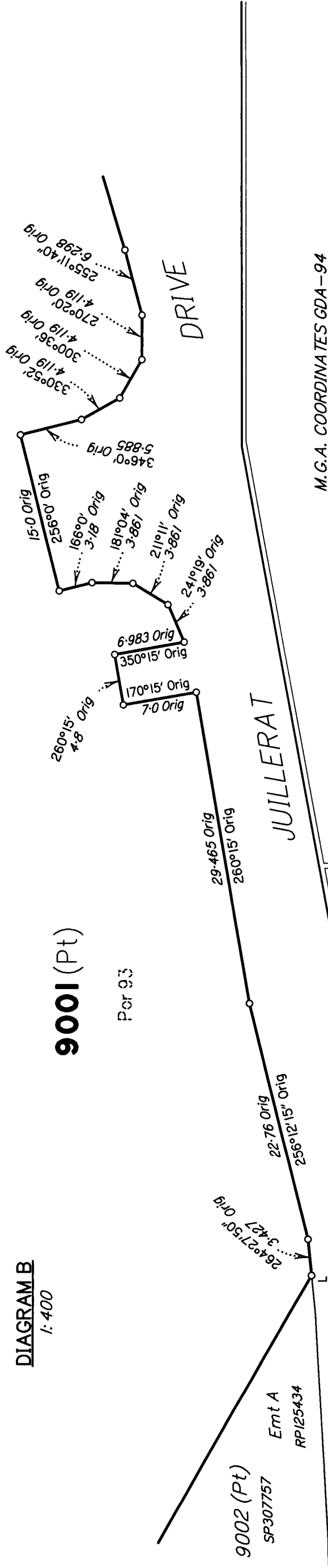
9001 (Pt)

Scale 1:500 - Lengths are in Metres.



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Insert Plan Number **SP302894**



M.G.A. COORDINATES GDA-94

| STATION | EASTING | NORTHING | ZONE | P.U. | LINEAGE | METHOD | REMARKS |
|----------|-------------|---------------|------|-------|---------|--------------|---------------|
| PM172975 | 483 919.164 | 6 939 237.508 | 56 | 0-009 | Datum | SCDB | |
| PM172976 | 485 130.171 | 6 940 210.255 | 56 | 0-009 | Datum | SCDB | |
| PM203676 | 484 136.064 | 6 940 027.074 | 56 | 0-012 | Derived | Quick Static | |
| 43a | 484 327.837 | 6 939 663.624 | 56 | 0-015 | Derived | Quick Static | Screw in Kerb |

Adjustment - QLD ANJ 18.07 (16-July-2018)

Reinstatement Report

Original corners between 35-41 and 36-45 are fixed by original dimensions from SP300832, and occupation reference where applicable.

All other original corners are fixed by original marks and reference marks, in agreement with SP300832 and SP302893.

Plans used SP300832, SP302893, IS276272 and IS285764.

PERMANENT MARKS

| PM | ORIGIN | BEARING | DIST | NO | TYPE |
|--------|----------|----------|-------|--------|----------|
| 52-OPM | IS285764 | 88°0'10" | 16.15 | 203676 | Standard |

MERIDIAN TABLE

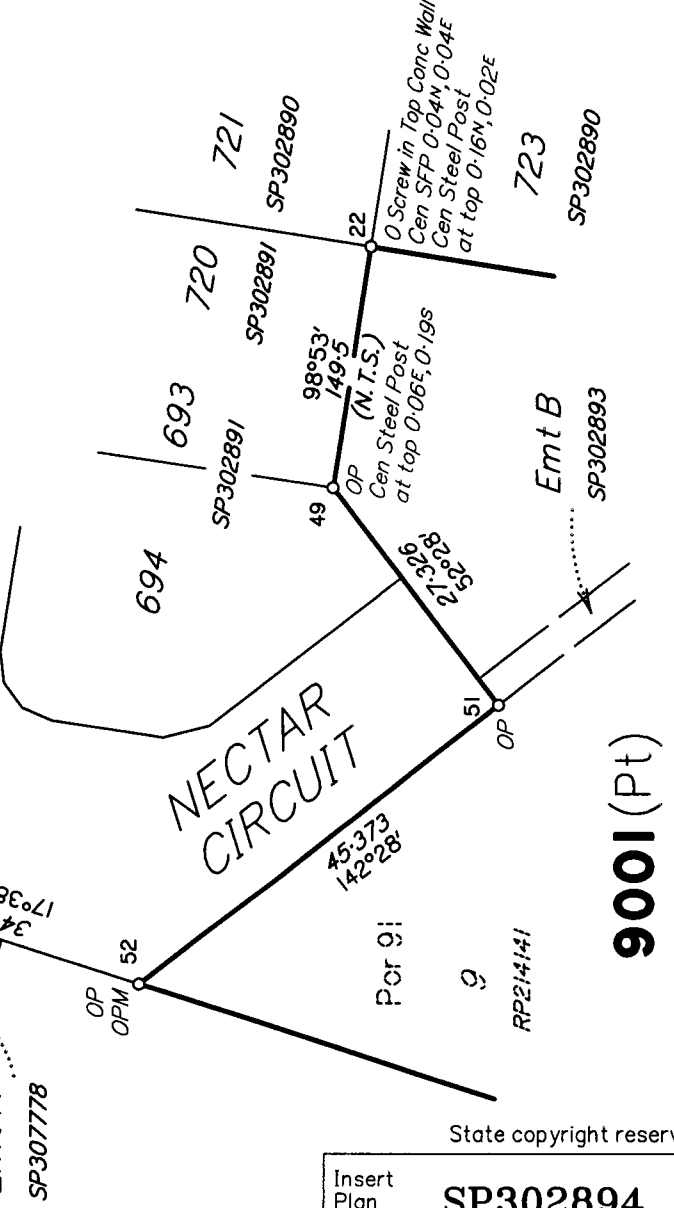
| LINE | PLAN BEARING | MGA ZONE 56 BEARING |
|--------------|--------------|---------------------|
| PM203676-43a | 152°10'55" | 152°10'54" |

REFERENCE MARKS

| STN | TO | ORIGIN | BEARING | DIST |
|-----|----------------------------|-------------|------------|--------|
| 11 | OIP | IS285764 | 142°55' | 1.384 |
| 15 | O Screw in Channel | IS285764 | 49°05' | 5.294 |
| 42 | O Screw in Kerb | IS276272 | 188°15' | 4.19 |
| 42 | OIP | IS276272 | 110°02' | 6.466 |
| 43a | Screw in Kerb | 43/IS276272 | at Station | 20.995 |
| 45 | O Screw in Kerb (New Conn) | 43/IS276272 | 61°53'40" | |

Additional reference marks to be placed following road construction. (see IS285807).

DIAGRAM B
1:400
9001 (Pt)
Per 93



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