

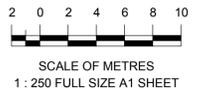
All house connections are Ø110 unless otherwise noted. Existing house connections have been modified.

REGISTERED SURVEYOR'S CERTIFICATION
 EDENS CROSSING ESTATE - STAGE 9A
 Saunders Havill Group Pty Ltd, Registered Surveyor, hereby certify that the vertical and horizontal locations and dimensions shown on this plan are a true and correct record and were located by survey.
M. Kleime
 Authorised Signatory 4611 08-11-21
 Reg. Surveyor No. Date

Plan of ADAC Survey Data

Project Name: Edens Crossing Estate - Stage 9A	ADAC version: 5.0.1
Description: Subdivision	Horizontal coordinates: MGA zone 56 (GDA94)
Works Approval ID: 19-PNT-48390	Vertical datum: AHD derived
Receiver: Urban Utilities	Notes: Vertical Origin: PM203676, RL 74.071
Construction date: 2021-08-26	Surveyor: Saunders Havill Group (Reg ID 4611)
Status: As Constructed	Engineer: KN Group

Note: See ADAC xml file for full attribute information



A1

REV NO	DATE	REVISION PURPOSE / DESCRIPTION	DRAWN	RPEQ	RPEQ No	INITIALS	DATE
A	08-11-21	Original Issue					

DRAWN	MD	14/10/2021
CHECKED	MK	18/10/2021
APPROVED		

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Drawing No: 8721 S 32 AC A

UrbanUtilities

EDENS CROSSING ESTATE - STAGE 9A
REDBANK PLAINS
PLAN OF ADAC SURVEY DATA
SEWER RETICULATION 19-PNT-48390

DRAWING STATUS AS CONSTRUCTED	
SHEET 1 OF 1 SHEETS	
DRAWING NO.	REV. A

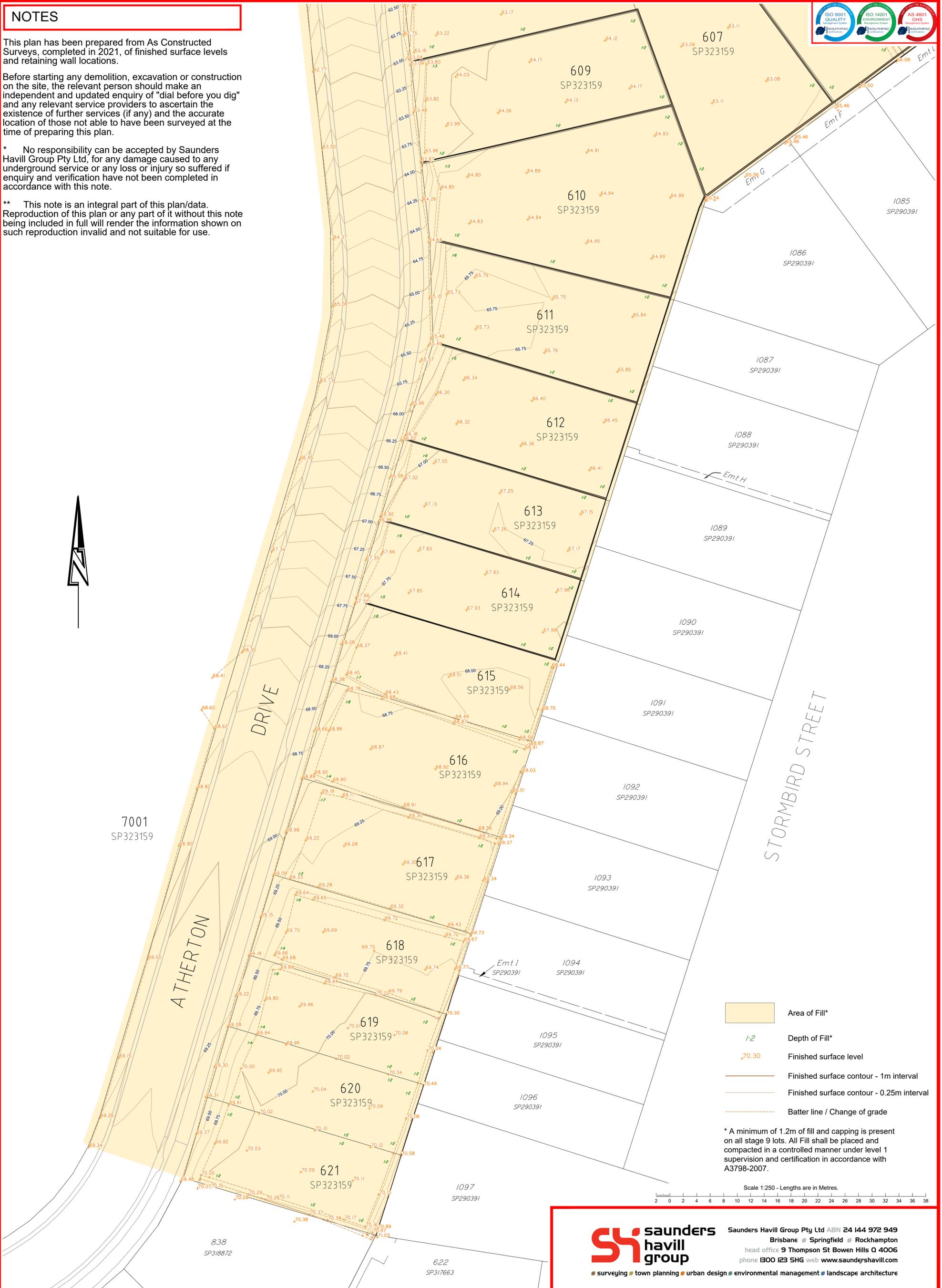
NOTES

This plan has been prepared from As Constructed Surveys, completed in 2021, of finished surface levels and retaining wall locations.

Before starting any demolition, excavation or construction on the site, the relevant person should make an independent and updated enquiry of "dial before you dig" and any relevant service providers to ascertain the existence of further services (if any) and the accurate location of those not able to have been surveyed at the time of preparing this plan.

* No responsibility can be accepted by Saunders Havill Group Pty Ltd, for any damage caused to any underground service or any loss or injury so suffered if enquiry and verification have not been completed in accordance with this note.

** This note is an integral part of this plan/data. Reproduction of this plan or any part of it without this note being included in full will render the information shown on such reproduction invalid and not suitable for use.



- Area of Fill*
- 1:2 Depth of Fill*
- Finished surface level
- Finished surface contour - 1m interval
- Finished surface contour - 0.25m interval
- Batter line / Change of grade

* A minimum of 1.2m of fill and capping is present on all stage 9 lots. All Fill shall be placed and compacted in a controlled manner under level 1 supervision and certification in accordance with A3798-2007.

Scale 1:250 - Lengths are in Metres.

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No.	Drawn	Date	Description	Checked
A	TG	04.02.2022	Original Issue	CU
B	TG	10.02.2022	DP Fill levels and note update	CU

Plan of **AS CONSTRUCTED SKETCH**
Sheet 1 of 3
 Project **EDEN'S CROSSING ESTATE - STAGE 9A & 9B**
 Client **PEET No 119 Pty Ltd**

Surveyed **CU** Date **Sept 2021**
 Level Datum: **AHD der.**
 Origin of Levels: **PM203676**
 RL of Origin: **74.071**

Lot Description
 Lots 538-591 & 1230 on SP323158
 Lots 582 & 592-621 on SP323159
 Locality: **Redbank Plains**
 Local Government:
Ipswich City Council

Scale @A1 **1:250**
 @A3 **1:500**
 Dwg No. **8721 S 33 SK B**

918
SP281225

FANTAIL

AVENUE



ATHERTON DRIVE

7001
SP323159

OSPREY STREET

STREET

604
SP323159

605
SP323159

606
SP323159

607
SP323159

610
SP323159

611
SP323159

1085
SP290391

1086
SP290391

- Area of Fill*
- 1:2 Depth of Fill*
- .70.30 Finished surface level
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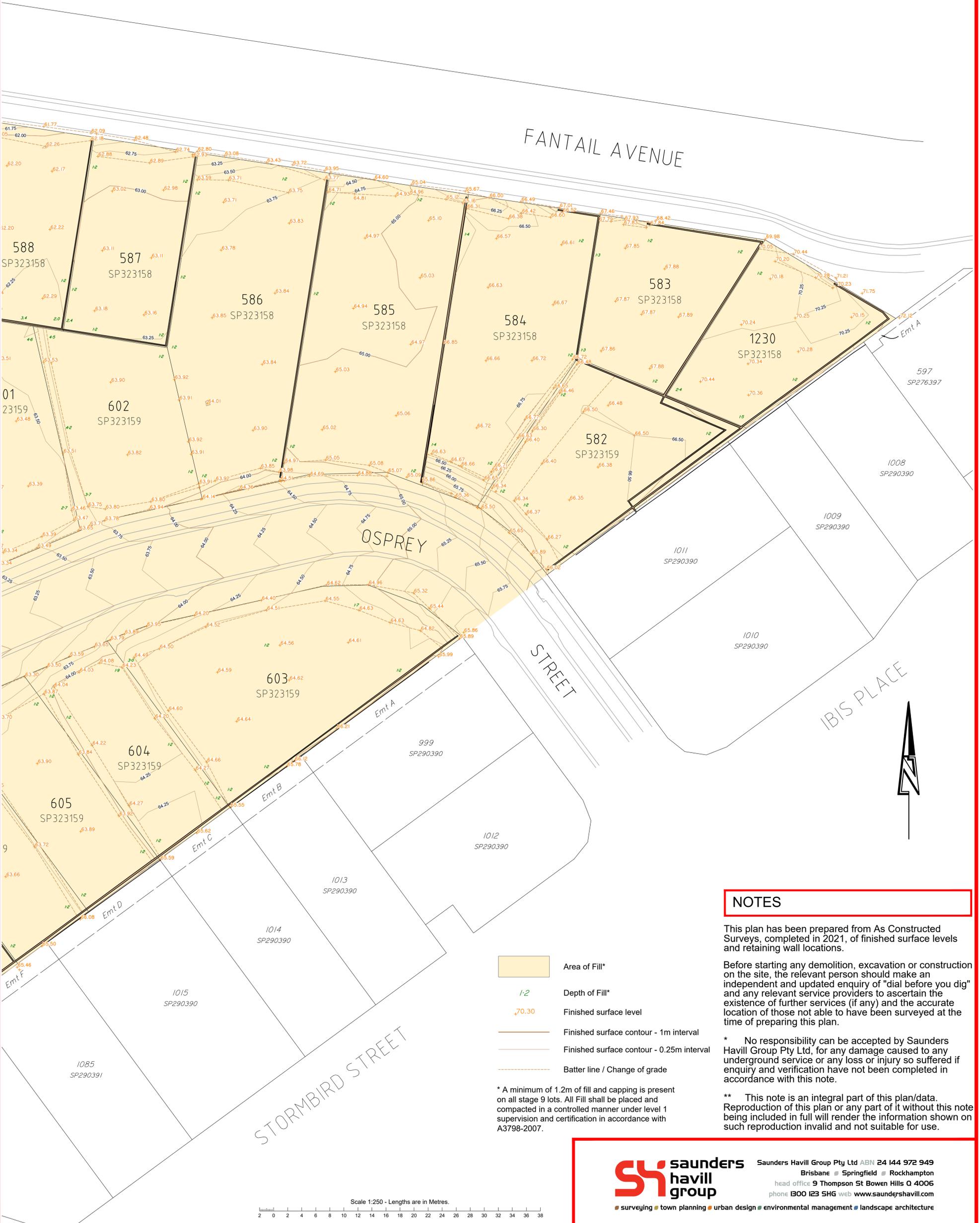
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Plan of **AS CONSTRUCTED SKETCH**
Sheet 2 of 3
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 Client **PEET No 119 Pty Ltd**

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■ surveying
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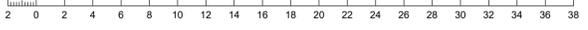
STORMBIRD STREET

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Plan of **AS CONSTRUCTED SKETCH**
Sheet 3 of 3

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