



**EDEN'S
CROSSING**
Naturally connected

BUILDING COVENANT

PEET



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Places You'll Love to Call Home

With 120 years of experience and expertise, you can trust Peet to develop quality, sustainable and vibrant places to live. We've been bringing land to life since 1895 when our founder, James Peet, began helping new families settle in Australia and start new lives.

Today, Peet Limited is an award-winning national property group with a diversified portfolio of land and apartment projects across Australia.

So if you're looking for an industry-leading level of excellence and commitment, you can rely on Peet.

Eden's Crossing

Eden's Crossing is a new community where kids can enjoy a carefree upbringing, where family values are important and people take pride in their homes.

You'll be close to nature with the White Rock Spring Mountain Conservation Estate next door and over 30% of Eden's Crossing dedicated to open space.

A truly masterplanned community, Eden's Crossing has been carefully designed to complement the local surroundings while giving you state-of-the-art facilities and beautiful homes.

Naturally Connected

At Eden's Crossing you'll find plenty of quiet places to relax, open spaces where you can exercise, and beautiful parks where you can meet your neighbours.

In fact, 35 hectares of Eden's Crossing has been set aside as green open space, conservation areas and creekside parks where you can enjoy the tranquility of nature.

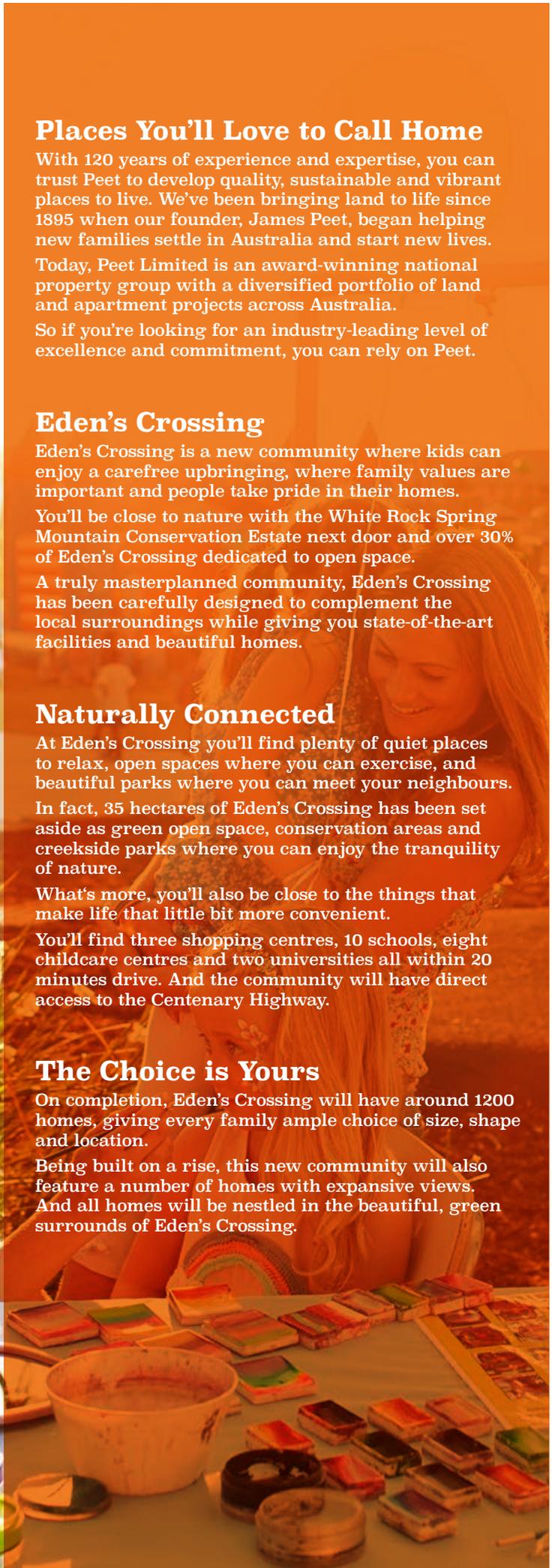
What's more, you'll also be close to the things that make life that little bit more convenient.

You'll find three shopping centres, 10 schools, eight childcare centres and two universities all within 20 minutes drive. And the community will have direct access to the Centenary Highway.

The Choice is Yours

On completion, Eden's Crossing will have around 1200 homes, giving every family ample choice of size, shape and location.

Being built on a rise, this new community will also feature a number of homes with expansive views. And all homes will be nestled in the beautiful, green surrounds of Eden's Crossing.



1. Purpose of the Building Covenant

This Building Covenant has been created to facilitate the design of a diverse community with the objective of providing high quality streetscapes and neighbourhoods. Eden's Crossing is a masterplanned residential community offering contemporary living in a creekside setting.

The architectural theme for Eden's Crossing is "contemporary Queensland". Purchasers are encouraged to utilise design principles that are appropriate to South-East Queensland's environment to capture light and breezes.

Through compliance with these design covenants, purchasers will be able to design their own unique home, whilst further enhancing, integrating and increasing the amenity of the community as a whole.

All dwellings must comply with this Building Covenant, however consideration may be given to dwellings that display architectural design merit whilst addressing the intent of the Building Covenant.

While the proposed design will need to be approved by Peet Limited, planning and building approvals will still be required by accredited building certifiers and statutory authorities.

2. Use of Land

Each allotment of land in Eden's Crossing, unless otherwise specified elsewhere, shall be used for a single unit private dwelling and cannot be further subdivided.

3. Design Approval Process

Before undertaking any building work the owner must first obtain written approval from the Eden's Crossing Building Covenant Review Panel.

STEP 1 Purchase allotment.

STEP 2 Design dwelling to comply with Building Covenant.

STEP 3 Submit documentation for Building Covenant assessment (in PDF format) via email addressed to designreview@peet.com.au

STEP 4 Building Covenant Review Panel undertakes assessment of the submission. The panel will endeavour to assess and provide an approval to the applicant within ten business days.

STEP 5

Written approval is issued by Building Covenant Review Panel. Where not suitably complying, the Building Covenant Review Panel will identify the items requiring further consideration. These items will need to be addressed and revised documentation re-submitted before approval can be issued.

STEP 6

Builder/owner to lodge building documentation for local authority approval.

STEP 7

Construction of dwelling commences in accordance with Building Covenant and local authority approval.

STEP 8

Compliance inspection by Building Covenant Coordinator, during the construction period.

STEP 9

Final Inspection by Building Covenant Coordinator following dwelling completion.

4. Application Requirements

4.1 Completed Application Form and Checklist (Appendix 1)

4.2 Building Documentation

The Following Drawings Must Be Provided:

Site Plan (1:200 Scale) Including:

Street Address Including Lot Number

- Property boundaries and easements (if applicable).
- Finished floor and platform levels.
- Building envelope (if applicable).
- Private open space.
- North point.
- Boundary setbacks (outer-most projection and wall dimensions).
- Building outline and extent of eaves or overhangs.
- Site coverage (m²).
- Driveways – location, materials and finishes.
- Height and construction of all fences.
- Location of rainwater tank (if applicable).
- Location of refuse bins.
- Proposed cut and fill plus retaining wall/batter detail.
- Any structures including (but not limited to) outbuildings, sheds, pergolas, gazebos, pools etc.
- Surrounding / neighbouring properties' setbacks (if applicable).
- Construction waste containment location.

Landscape Plan (1:200 Scale) Including:

- Fencing details.
- Turfed and mulched areas.
- Garden areas including plant pot sizes.
- Letterbox detail.
- Detail of works to be completed by owner after completion of construction (if applicable).

Floor Plans (1:100 Scale) Including:

- Room names and areas.
- Internal & external dimensions.
- Location of meter box.
- Location of hot water, gas services and meters.
- Elevations (1:100 scale) including:
 - All sides of the building.
 - Indication of existing and excavated site levels.
 - Show finished ground levels (FGL).
 - Proposed retaining walls or batters.
 - Materials for external walls, roofing, and include footing details.
- Position of solar panels, external air conditioning units, clothesline and aerials.
- Roof pitch and size of eave overhang.
- Schedule detailing external colour selection.

5. Construction Timeline Requirements

5.1 Commence Construction:

no later than 12 months from date of settlement.

5.2 Completion of Construction (Certificate of Occupancy):

no later than 12 months from commencement of construction.

5.3 Completion of Landscaping:

no later than 3 months from completion of construction, in accordance with the approved plans and Landscape Design Guidelines.

5.4 Installation of Window Coverings:

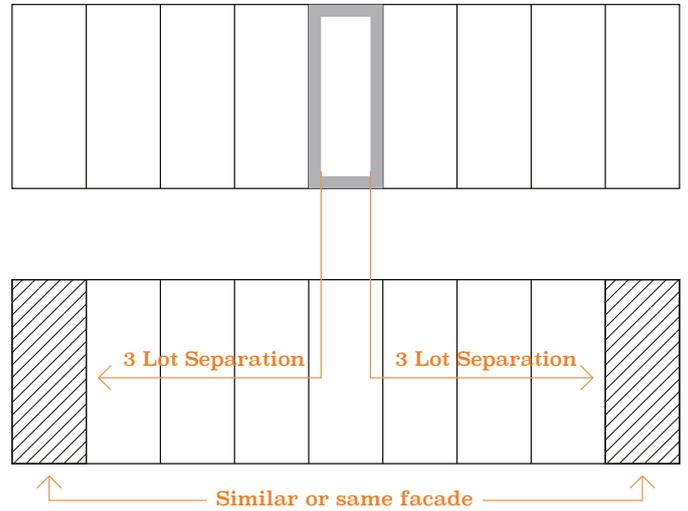
no later than 3 months from completion of construction and prior to occupation window coverings must be installed. Window coverings may include curtains, blinds and non reflective tinted films. Temporary window coverings will not be accepted.

6. Design and Siting Requirements

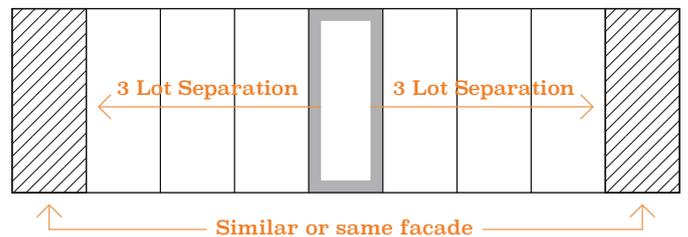
6.1 Diverse Streetscapes

Façade design must differ from the next three properties either side of the proposed lot, as well as across the road.

Both sides of street



Same side of street



6.2 Setbacks

- The Eden’s Crossing Plan Of Development should be read in conjunction with this covenant and details the approved setbacks for each lot type.
- Setbacks are measured to the outermost projection of the home.
- Building heights are to be a maximum of 2 storeys and must comply with local authority requirements.
- Garages must be setback a minimum of 5.5m from the property boundary on detached lots.
- Garages must be setback behind the main building line.
- Where a building envelope applies to an allotment (refer to the plan of development), the dwelling must be contained wholly within the building envelope.
- A built to boundary allotment line tolerance of 0.2m is required to facilitate a fascia and gutter. No fencing to the boundary is permitted for that length of the built to boundary wall.
- No windows are permitted to the built to boundary wall.

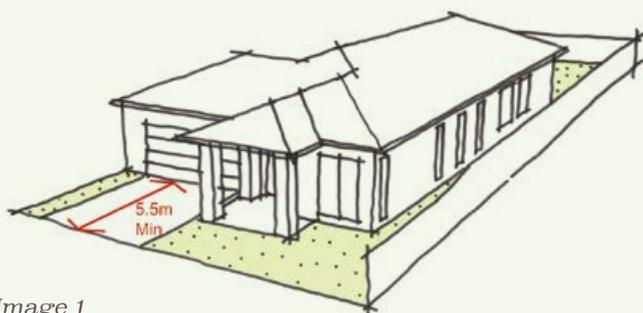
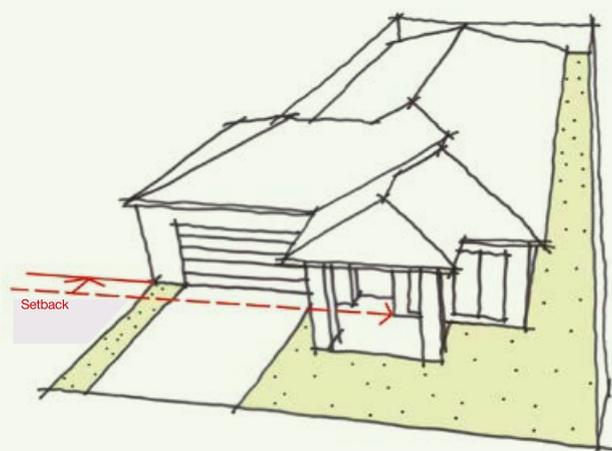


Image 1

Image 2
Garage set back from front of dwelling

6.3 Design Requirements

6.3.1 Neighbourhood Privacy

All proposed dwellings which overlook the private open space or windows of adjoining residential properties are to ensure they include adequate screening in their design. This is to protect the privacy of the adjoining neighbour's property. This privacy can be achieved through:

- Upper level windows and openings closer than 2m to a boundary overlooking an existing or proposed window are to be suitably screened; eg: batten screen, obscure glazing or locating window sills a minimum of 1.5m above the upper floor level.
- Ground floor windows and openings should be suitably screened by fencing to 1.8m in height (for side and rear boundaries only), or with dense mature landscaping.

6.3.2 Car Accommodation

With the exception of Terrace Lots, all homes must provide accommodation for at least one car, which must be enclosed and integrated into the design of the dwelling and constructed of the same materials.

- Carports are not permitted.
- Roller doors are not permitted.
- Garage doors must be sectional type.

6.4 External Finishes, Materials and Colours

Materials

The external materials and finishes must be described in detail, including the manufacturer/brand, profile/model and colour for all external surfaces.

The front façade of the home must include a minimum of three different materials. The 'third' material may include, feature garage doors ie. timber look or other 'non standard' panel doors such as polycarbonate. Windows, doors, fascia and gutters are excluded as a 'third material'.

| MATERIAL | DESCRIPTION |
|------------|---|
| Face brick | Where face brick is used, the façade must incorporate a feature made of a different material to give the façade interest and street appeal (e.g. entry portico, light weight cladding, render, decorative stonework, large quality windows with hoods etc.) Note that double-height brick will not be accepted. |
| Masonry | Render and painted finish. All rendered facades must continue this finish around sides to at least 1.5m back from the corner of the dwelling. If the allotment is a corner lot, the rendered façade must be continued along the secondary frontage. |
| Cladding | Lightweight cladding such as mini-ORB, weatherboard, or fibre cement sheeting shall not make up more than 50% of the primary and secondary frontage external wall materials unless demonstrating architectural merit. |



6.5 External Wall Materials

The following external wall materials are preferred:

6.5.1 Colours Schedule

- Brick colours are to be consistent in colour, shape, and style. Mottled bricks are not acceptable.
- Brick mortar is to be coloured white, or off white, or blended to match the colour of the brick, except where front façade has a render and paint finish with a minimum return of 1.0 metre to the side elevations, in which case natural mortar is permitted behind the building line.
- The colours of roofs, gutters, and fascia must not be more than a combination of two of the colours.
- All guttering visible from the street is a similar or complimentary colour to the roof.
- All downpipes visible from the street are colour matched or consistent in colour with the façade.

6.5.2 Roofing

- Roof pitch must be 22° minimum for gabled and hipped roof forms.
- Skillion roofs must be a minimum 10° pitch. Flat or curved forms will be assessed on strong architectural merit.
- It is preferred that metal trim is used in lieu of concrete fascia and barge capping tiles.
- Single hip or single gable roof forms to the front façade will not be approved.

| MATERIAL | DESCRIPTION |
|----------|---|
| Roofs | Roofs must be clad in non-reflective Colorbond or similar finished profiled metal roofing or slimline profile concrete tile. |
| Eaves | Eaves are to be incorporated into the design of the dwelling and are to be a minimum of 450mm overhang from the wall (excluding fascia and gutter) except build to boundary walls. Larger eaves are encouraged. |

6.6 Corner Allotment Requirements

All corner allotments must address the secondary frontage (side street) by utilising design elements of the primary façade. These include, but are not limited to, roof and wall projections, piers, porticos, pergolas, shading devices and roof form. As a minimum, the design must incorporate roof and wall articulation to the secondary frontage.

Services (e.g. meter box / gas meter) are to be kept off the corner treatment where possible. If this is not possible, the services are to be screened in materials and finished to complement the style and finish of the façade of the home. Any proposed screening should be detailed in the Building Documentation. The meters should be painted to blend into the surrounding wall material.

Any design proposal which does not strictly comply with the parameters outlined above will be assessed on architectural merit.

Wrought iron and metal sheeting are not permitted as materials.

6.7 Fencing

Rear and side boundary fences must be installed to a height of 1.8m and be of good-neighbour-type (see details). Side boundary fences must finish behind the building line. (Refer Image 4)

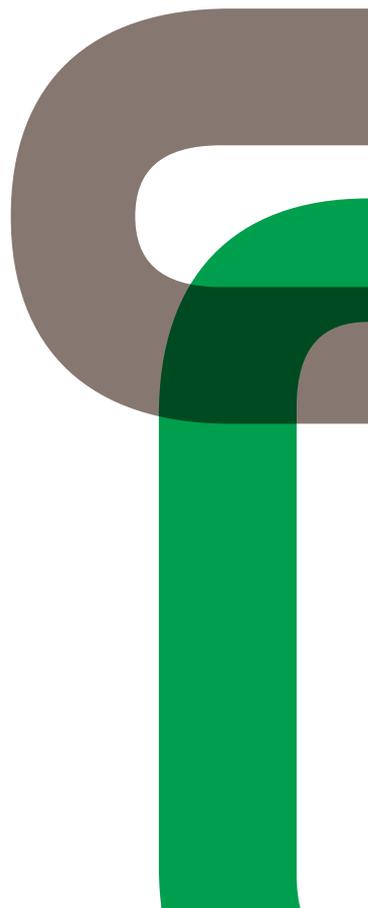
Fencing to the secondary frontage on corner allotments must commence behind the secondary frontage corner treatment and be constructed using one of the following alternatives:

- Rendered masonry piers with timber batten infills or powder-coated aluminium batten infills that provide transparency, or
- Be of good-neighbour-type articulated to provide planting alcoves, or
- Horizontal batten-style construction using powder-coated aluminum or painted or stained timber.

Fence returns i.e. ‘wing’ fences between the side boundaries and the dwelling are to be a maximum height of 1.8m and constructed using horizontal battens in either painted or stained timber or powder-coated aluminium. Alternatively vertical powder-coated black pool-type fencing is acceptable. Gates are to be incorporated into this as required.

Fencing forward of the front building line is not permitted unless required by law.

Fences erected by the developer shall not be removed or altered by the owners.



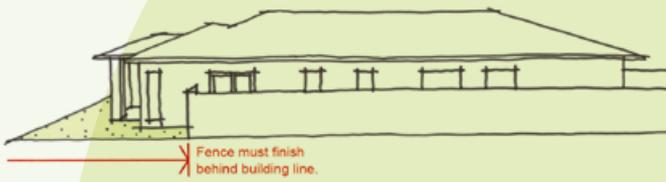
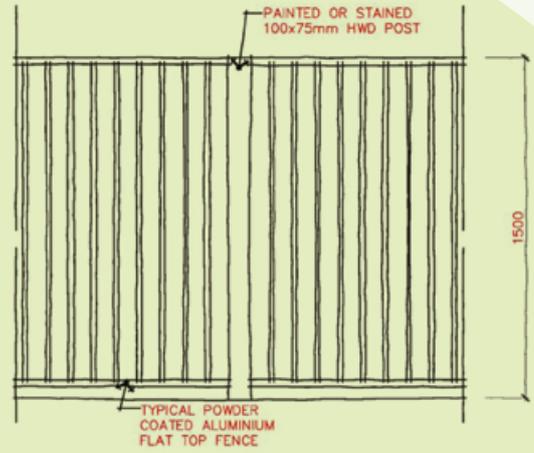
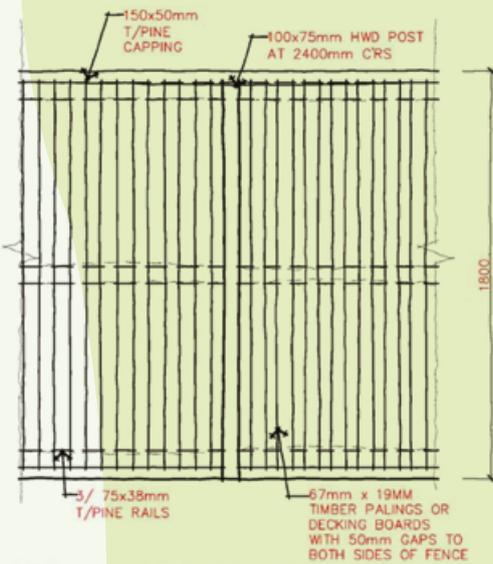


Image 4

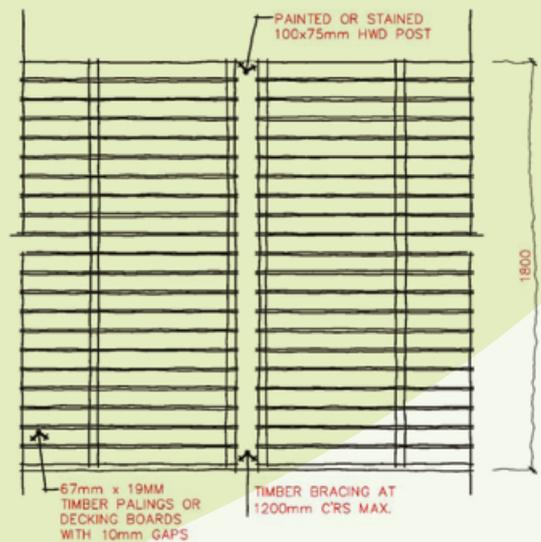


POOL WING FENCE
SCALE 1:20

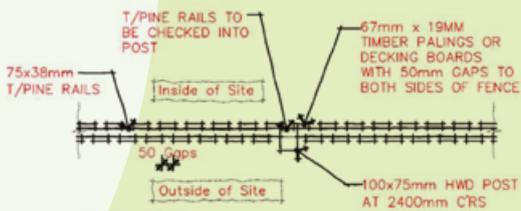
Image 5



SIDE AND REAR BOUNDARY FENCE
SCALE 1:20



HORIZONTAL TIMBER WING FENCE
SCALE 1:20



PLAN VIEW
SCALE 1:20

Image 6

Image 7

6.8 Entry Structures

An entry structure/feature is required to clearly identify the main entry to the dwelling.

6.9 Window Design

Aluminum sliding doors are not permitted where they are visible from either primary or secondary street frontages (sliding doors may be permitted on the secondary frontage if behind the boundary fence).

Aluminium “diamond” pattern security screens are not preferred where visible from either primary or secondary street frontages.

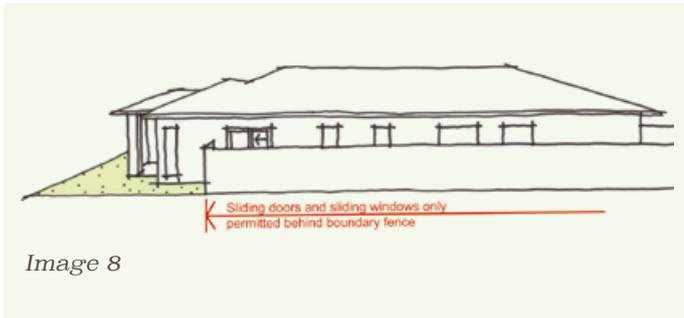


Image 8

6.10 Infill Panels

Infill panels are not permitted above window and door openings on facades facing the primary or secondary street frontages. These panels must be finished in keeping with the overall architectural style and balance of the façade of the dwelling.

6.11 Driveway

Driveways and paths must complement the dwelling and landscape design. Permissible types of driveways include:

- Exposed aggregate.
- Grey coloured driveway not permitted.
- Coloured concrete in ‘earthy’ tones.
- Concrete and clay pavers laid over a concrete base (laying pavers on compacted road base will not be permitted).

Plain concrete, painted concrete, stenciled concrete, asphalt driveways and car tracks are not permitted.

Only one driveway per detached dwelling is permitted.

6.12 Outdoor Structures

Outdoor structures include, but are not limited to:

6.12.1 Garden sheds

Garden sheds and lawn lockers are to be a maximum size of 4m x 4m x 2.4m high and be of Colorbond steel or similar; be consistent in colour to dwelling and located away from the street and public view.

6.12.2 Large Sheds

Sheds larger than 4m x 4m x 2.4m must be consistent in colour to the dwelling and be reflective of the same style of construction. Such outbuildings must be constructed to the rear of the dwelling and comply with Council standards.

6.12.3 Temporary Structures

No temporary structures are to be placed or stored on the property. These temporary structures include, but are not limited to, shipping containers and temporary storage sheds.

6.12.4 Letter Boxes

- Must be substantial, constructed in face brick, rendered masonry or other material with a rendered finish and be consistent in colour to the dwelling.
- Letter boxes mounted on poles are not permitted

6.13 Service Locations

- Hot water tanks and rainwater tanks must be screened from view from adjacent streets.
- Solar hot water tanks must not be roof mounted and not visible from adjacent streets.
- Air conditioners must not be visible from the adjacent streets and be installed at ground level.
- Satellite dishes and the like are not permitted, due to provision of fibre-optic services.
- Solar hot water panels and photovoltaic panels must not be installed to the front elevation, but are accepted on all other elevations (including secondary frontage provided they are mounted at the same pitch as the roof).
- Refuse bins must not be stored where visible from the street.

6.14 Fibre-to-the-Home

Telephone and internet services to each home at Eden’s Crossing will be provided by a high speed fibre-optic network in accordance with the Australian government’s Fibre in New Developments Policy. It is the responsibility of the owner and the builder to adhere to the specifications for the in-home wiring and related broadband infrastructure in order to be able to connect phone and internet services once the home is complete. It is important that your builder is aware of these requirements. Details can be obtained from <http://www.nbnco.com.au/>



7. Landscape Design Requirements

Each property shall have an appropriately designed garden that complements the dwelling design.

Front yards to be maintained to an acceptable level by the owner.

Vacant lots to be maintained by owner (weeds, grass max 200mm high), and kept cleared and free of rubbish.

8. Right to Vary or Exclude Covenant(s)

Eden's Crossing reserves the right at its discretion to vary or exclude any of the requirements under this Building Covenant. As noted throughout this document, any design proposal which does not strictly comply with the parameters outlined may be assessed on architectural merit.

8.1 Minimum Landscape Requirements for Front Yards

The minimum requirements for landscaping of front yards (area between the dwelling front wall and back of kerb (to the street) are proposed as follows:

- Softscape finishes (a combination of turf and planting areas) shall make up at least 60% of the front yard area).
- All planting areas are to incorporate minimum 200mm depth imported topsoil and 100mm depth weed free organic mulch.
- All grassed areas are to be turfed with weed free A-grade green couch or similar.

- All planting areas adjoining grassed areas are to be edged using timber edging, concrete edging or similar approved.
- Use of decorative stones (pebbles, aggregates, etc) is encouraged. Plain road base type material including crushed rock is not permitted.

The minimum required planting areas and plant material to be installed for the different lot types is as follows:

8.2 Retaining Walls

- No retaining wall shall be greater than 1m high.
- Where greater heights are needed walls shall be stepped to a maximum combined height of 1.8m.
- Acceptable retaining wall materials include boulders, masonry and timber or concrete sleepers.
- Walls shall be screened with landscaping.
- Kopper log retaining walls are not permitted.
- Timber and concrete sleeper retaining walls are only permitted behind the building line and must not be visible from the street.

| ITEM | VILLA & PREMIUM VILLA LOTS | COURTYARD LOT | PREMIUM COURTYARD LOT | TRADITIONAL & PREMIUM TRADITIONAL CIRCLE LOTS |
|------|----------------------------|---------------|-----------------------|---|
|------|----------------------------|---------------|-----------------------|---|

NOTE: Refer to Approved Plant Palette for species requirements.

| | | | | |
|---|----|----|----|----|
| Minimum Planting Area (m ²) | 20 | 20 | 25 | 35 |
| Advanced Tree – 45L pot size (1800 high x 800 wide) | 1 | 1 | 1 | 1 |
| Advanced Tree – 25L pot size (1200 high x 600 wide) | 1 | 1 | 2 | 2 |
| Shrubs – 200mm pot size (600 high x 300 wide) | 6 | 6 | 10 | 12 |
| Ground Covers – 140mm pot size (varies) | 20 | 20 | 25 | 30 |

9. Typical Front Garden Plans

Approx. 10.5m frontage



legend

- | | | | | | |
|---|----------------------------|--|-----------------------|--|-------------------------------------|
|  | Street Tree (by developer) |  | Turf |  | Edging & Low Retaining Wall |
|  | Shade & Feature Tree |  | Pavers & River Gravel |  | Coloured or Exposed Concrete Paving |
|  | Screening Shrubs |  | Groundcover Planting |  | Mail Box |
|  | Feature Planting | Refer to Covenant Guidelines & suggested Planting Palette for additional information | | | |



9. Typical Front Garden Plans

Approx. 14m frontage



legend



Street Tree (by developer)



Turf



Edging & Low Retaining Wall



Shade & Feature Tree



Pavers & River Gravel



Coloured or Exposed Concrete Paving



Screening Shrubs



Groundcover Planting

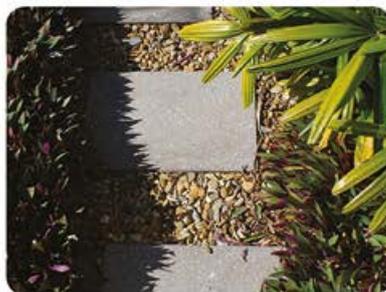


Mail Box



Feature Planting

Refer to Covenant Guidelines & suggested Planting Palette for additional information



9. Typical Front Garden Plans

Corner Lot



legend



Street Tree (by developer)



Shade & Feature Tree



Screening Shrubs



Feature Planting



Turf



Pavers & River Gravel



Groundcover Planting



Edging & Low Retaining Wall



Coloured or Exposed Concrete Paving



Mail Box

Refer to Covenant Guidelines & suggested Planting Palette for additional information



EDEN'S CROSSING FRONT YARDS - SUGGESTED PLANTING PALETTE

The following species are predominantly native species and non-invasive exotic plants suitable to the site theming and climate.
Proposed alternative selections may be confirmed with the developer subject to nursery availability etc.

| SPECIES OPTIONS | COMMON NAMES |
|---|---|
| LARGER SHADE TREES (Where space permits) | |
| BRACHYCHITON acerifolius | "Flame Tree" |
| BRACHYCHITON populneus | "Kurrajong" |
| DELONIX reginae | "Poinciana" |
| SYZYGIVM australe | "Lilly Pilly" |
| WATERHOUSEA floribunda | "Weeping Lilly Pilly" |
| SMALLER SCREEN AND FEATURE TREES | |
| BACKHOUSIA citriodora | "Lemon scented Myrtle" |
| BUCKINGHAMIANA celcissima | "Ivory Curl Tree" |
| CUPANIOPSIS anarcardiodes | "Tuckeroo" |
| ELAEOCARPUS eumundi | "Eumundi Quandong" |
| ELAEOCARPUS reticulatus | "Blueberry Ash" |
| EUCALYPTUS "Summer Red" | "Eucalyptus Cultivar" |
| GREVILLEA baileyana | "White Oak" |
| MAGNOLIA "Little Gem" | "Magnolia Hybrid" |
| SYZYGIVM leuhmanii | "Riberry" |
| XANTHOSTEMON chrysanthus | "Golden Penda" |
| SHRUBS AND SCREENING | |
| ALPINEA zerumbet | "Variegated Ginger" |
| BAMBUSA multiplex | "Clumping (non-running) Bamboo Species" |
| CALLISTEMON Cultivars | "Bottlebrush" |
| MURRAYA paniculata | "Mock Orange" |
| MELALEUCA "Claret Tops" | "Claret Top" |
| SYZYGIVM "Cascade" | "Lilly Pilly Cultivar" |
| SYZYGIVM "Elite" | "Lilly Pilly Cultivar" |
| XANTHOSTEMON verticillatus | "Cream Dancer" |
| FEATURE PLANTS | |
| CORDYLINE cultivars | "Palm Lilly" |
| DORYANTHESE excelsa | "Gynea lily" |
| STRELITZEA reginae | "Bird of Paradise" |
| GROUNDCOVERS AND CLUMPING PLANTS | |
| AUSTROMYRTUS dulcis | "Midgen Berry" |
| CALLISTEMON 'Little John' | "Dwarf Bottlebrush Cultivar" |
| DIETES bicolor | "Fortnight Lily" |
| GREVILLEA "Cooroora Cascade" | "Prostrate Grevillea" |
| HEMEROCALIS aurantica | "Day Lilly" |
| LIRIOPE "Evergreen Giant" | "Giant Mondo" |
| LOMANDRA hystrix | "Creek Mat-rush" |
| MELALEUCA thymifolia | "Thyme Honey Myrtle" |
| MYOPORUM ellipticum | "Coastal Myoporum" |
| NANDINA domestica "Nana" | "Dwarf Nandina" |
| TULBAGHIA violacea | "Society Garlic" |
| ZOYSIA tenuifolia | "Temple Grass" |



BRACHYCHITON populneus



DELONIX regia



WATERHOUSEA floribunda



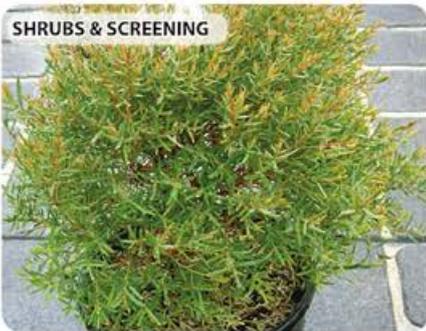
CUPANIOPSIS anacardioides



EUCALYPTUS "Summer Red"



GREVILLEA baileyana



MELALEUCA "Claret Tops"



SYZYGIUM "Cascade"



XANTHOSTEMON verticillatus



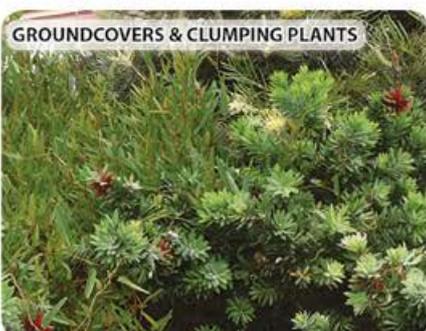
CORDYLINAE cultivars



DORYANTHESE excelsa



STRELITZEA reginae



CALLISTEMON "Little John"



LIRIOPE "Evergreen Giant"



TULBAGHIA violacea

Appendix 1

Design Standard Application Form

Allotment Details

Lot number _____ Street _____
 Precinct _____ Suburb _____

Owner Details

Name _____
 Mailing Address _____
 Phone _____ BH _____ Mobile _____
 Email _____

Builder Details

Representative _____ Builder Ref _____
 Company _____
 Mailing Address _____
 Phone _____ BH _____ Mobile _____
 Email _____

Design Details

House Type _____ (If applicable)
 Façade Type _____ (If applicable)

Has the house been modified in any way from the standard builders plan for this house type and façade?

Yes No Unsure

Submissions

Submissions may be electronically provided to:

Email: designreview@peet.com.au

Please ensure the submission includes all of the following documents:

Attachments

- Application checklist (Appendix 2)
- 1 copy of site plan
- 1 copy of full set of building plans including floor plan, roof plan and elevations
- 1 copy of materials and colour schedule
- 1 copy of written statement of sustainability initiatives/features that have been incorporated into the design and construction of the home.

I/we certify that the information in the attached application is a true and accurate representation of the home I/we intend to construct. In the event that changes are made to the proposed plans, I/we undertake to resubmit this application for approval of such changes.

Signed _____ Date _____



Appendix 2

Application Requirements Checklist

Site Plan (1:200 Scale):

- Street address including lot number
- Property boundaries and easements
- Finished floor and platform levels
- Building envelope (if applicable)
- Private open space
- North point
- Boundary setbacks (outer-most projection and wall dimensions)
- Building outline and extent of eaves or overhangs
- Site coverage (m²)
- Driveways – location, materials and finishes
- Height and construction of all fences
- Location of rainwater tank (if applicable)
- Location of refuse bins
- Proposed cut and fill plus retaining wall/batter detail
- Any structures including (but not limited to) outbuildings, sheds, pergolas, gazebos, pools etc.
- Surrounding / neighboring properties setbacks (if applicable)
- Construction waste containment location

Landscape Plan (1:200 Scale)

- Fencing details
- Turfed and mulched areas
- Garden areas including plant pot sizes
- Letterbox details
- Details of works to be completed by Owner after completion of construction (if applicable)

Floor Plans (1:100 Scale)

- Room names and areas
- Internal and external dimensions
- Location of meter box
- Location of hot water, gas services and meters

Elevations (1:100 Scale)

- All sides of the building
- Indication of existing and excavated site levels
- Indication of proposed floor
- Proposed retaining walls or batters
- Location and extent of proposed materials
- Position of solar panels, external air conditioning units, clothesline and aerials
- Roof pitch, and overall building height
- Schedule detailing external colour selection
- Materials and colours schedule

NOTE: Failure to send a copy of the above documents, or provide adequate details, may delay the approval process.



Materials and Colours Schedule

Colour and Materials Selections

| Material | Manufacturer | Range | Colour |
|--|--------------|-------|--------|
| Brick | | | |
| Mortar | | | |
| Render / Bag and Paint | | | |
| External Cladding Timber Colorbond Stone Fibre-cement | | | |
| Additional External Cladding Timber Colorbond Stone Fibre-cement | | | |
| Roof Colorbond Low Profile Tiles | | | |
| Gutter | | | |
| Eaves | | | |
| Front Door Paint Stain | | | |
| Garage Door | | | |
| Window Frames | | | |
| Driveway Coloured Exposed Aggregate Paved | | | |
| Letterbox Brick Synthetic Timber | | | |

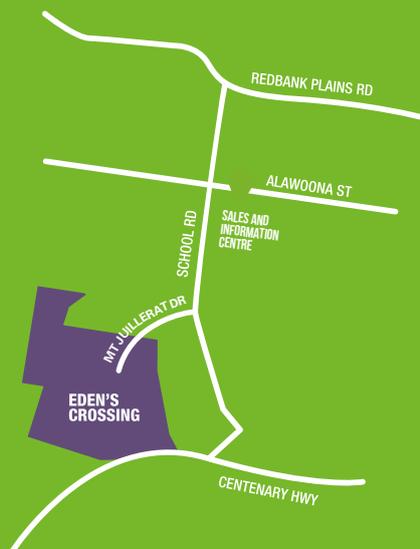
To receive approval within 15 working days, submit this application form along with a site plan, floor plan and elevations to the Eden's Crossing Design Review Committee: designreview@peet.com.au



EDEN'S CROSSING

Naturally connected

Sales and Information Centre
Corner School Rd and Alawoona St
Redbank Plains, Qld 4301
T (07) 3814 1286
M 0439 395 533
E heather.billows@peet.com.au
edenscrossing.com.au



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