

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 1489/17/MAMC/B

Date: 14 December 2018

Signed: *[Signature]*

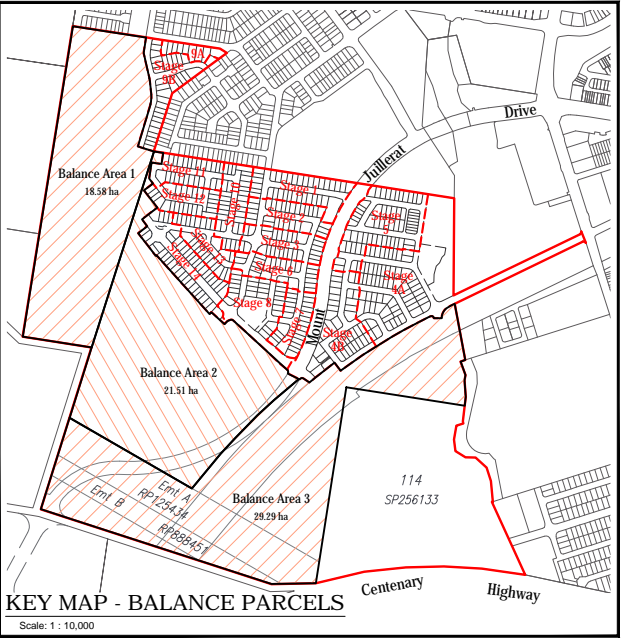
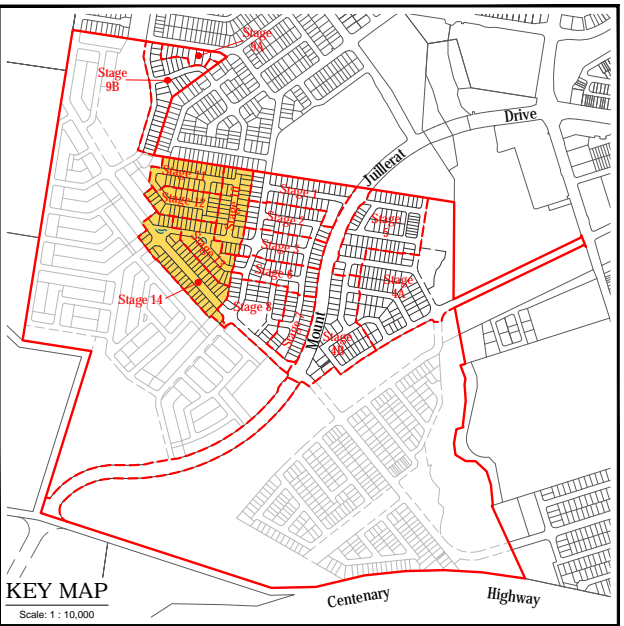
Yield Breakdown

Residential Allotments			Stage 10	Stage 11	Stage 12	Stage 13	Stage 14	Overall
Allotment Type	Typical Size	Typical Area	Lots	Lots	Lots	Lots	Lots	Lots
Villa Allotment	10 x 30m	300m ²	2	3	—	2	—	7
Villa Allotment	11 x 30m	330m ²	5	2	4	4	6	21
Premium Villa Allotment	12.5 x 30m	375m ²	12	12	11	12	18	65
Courtyard Allotment	14 x 30m	420m ²	—	2	—	—	—	2
Courtyard Allotment	15 x 30m	450m ²	11	4	8	4	17	44
Duplex Allotment	>800m ²	—	—	1	1	2	—	4
Total Residential Allotments			30	24	24	24	41	143

Land Budget

Land Use	Stage 10	Stage 11	Stage 12	Stage 13	Stage 14	Overall	
	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1.649 ha	1.416 ha	1.343 ha	1.431 ha	2.593 ha	8.432 ha	100.0%
Saleable Area							
Residential Allotments	1.213 ha	0.973 ha	1.051 ha	1.059 ha	1.747 ha	6.043 ha	71.7%
Total Area of Allotments	1.213 ha	0.973 ha	1.051 ha	1.059 ha	1.747 ha	6.043 ha	71.7%
Road							
Collector Streets	—	—	—	—	0.634 ha	0.634 ha	7.5%
Local Access Streets	0.436 ha	0.443 ha	0.292 ha	0.354 ha	0.194 ha	1.719 ha	20.4%
Pedestrian Linkage / Landscaped Treatment	—	—	—	0.018 ha	0.018 ha	0.036 ha	0.4%
Total Area of New Road	0.436 ha	0.443 ha	0.292 ha	0.372 ha	0.846 ha	2.389 ha	28.3%

The proposed boundary between the lots labelled ' Balance Area 1 and ' Balance Area 2' is to be amended to follow a logical separation between proposed lots/roads having regard to the subject development approval (including ' Condition 5 Requirements Before the Development May Start) and development approval reference 2098/2015/CA

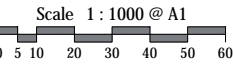


REVISION
A: 16/02/17 Amend Staging
B: 14/06/17 Amend Layout
C: 12/09/17 Amend Stage 10 & 11 Layout
D: 24/10/18 Amend Stage 13 & 14 Layout

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Saunders Havill.
Adjoining information: DCDB.
Contours: ETS.

Legend

- Site Boundary
- Stage Boundary

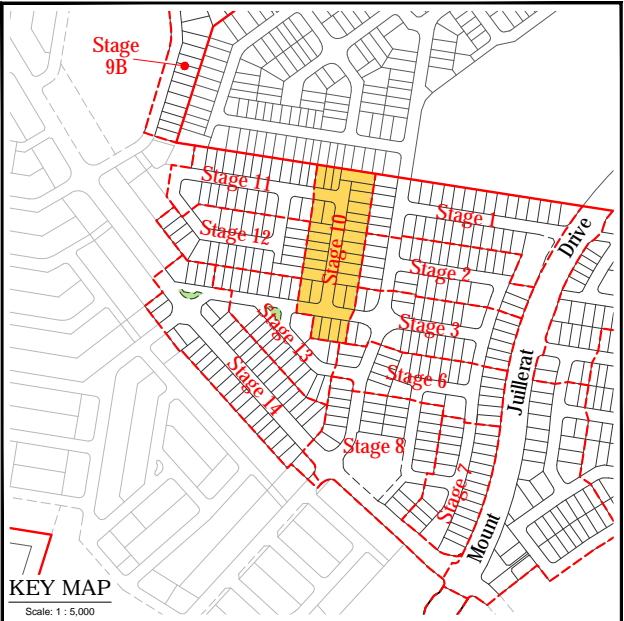
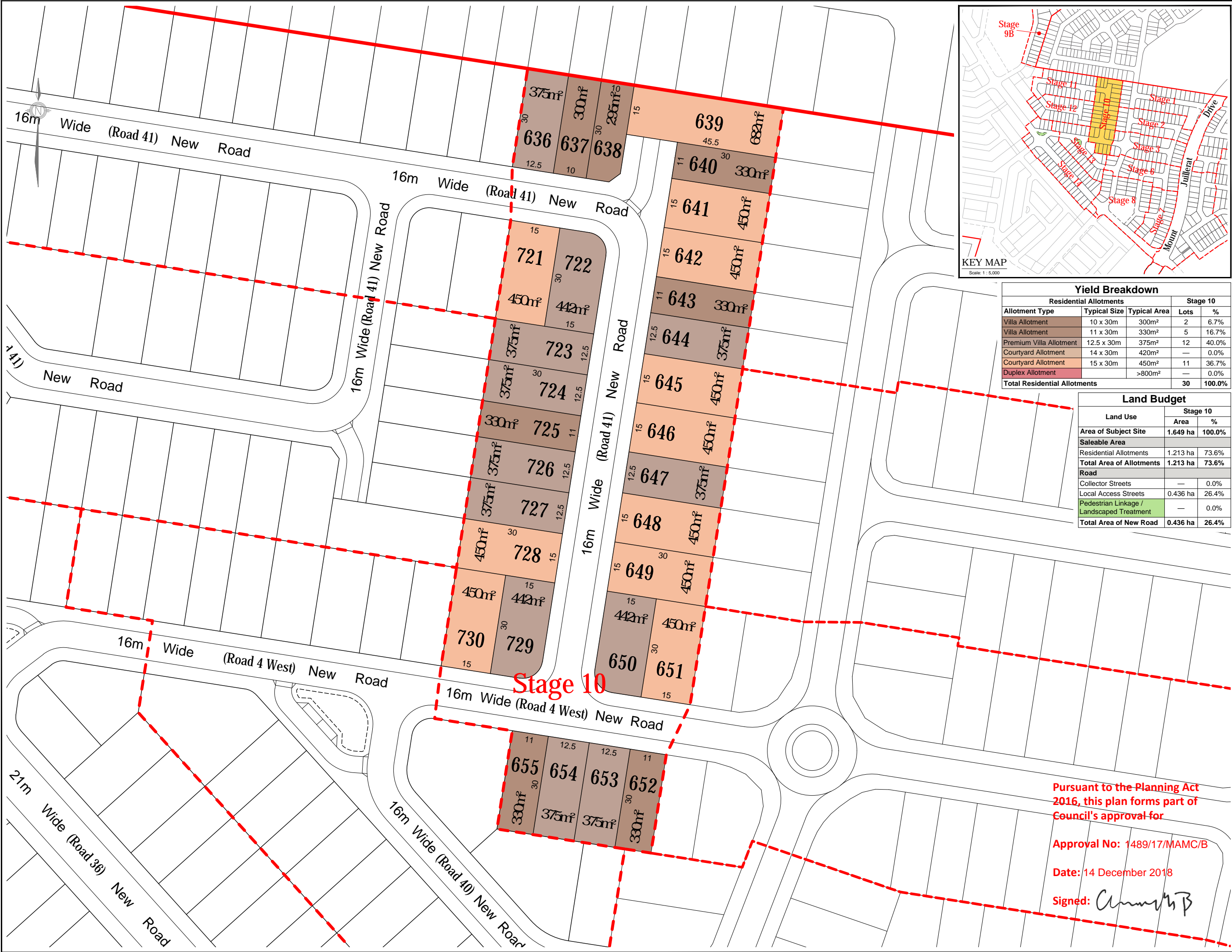


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PLAN OF SUBDIVISION STAGES 10 – 14 ALLOTMENT LAYOUT

Date:	24 OCTOBER 2018
Comp By:	WNW / JC / MD
Checked By:	MD
DWG Name:	132030-34 Stages 10-15
Job Ref:	132030
Local Authority:	IPSWICH CITY COUNCIL
Locality:	REDBANK PLAINS
Scale:	1 : 1000
Plan Ref:	132030 – 34
Sheet:	A1
Rev:	D

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Yield Breakdown				
Residential Allotments			Stage 10	
Allotment Type	Typical Size	Typical Area	Lots	%
Villa Allotment	10 x 30m	300m²	2	6.7%
Villa Allotment	11 x 30m	330m²	5	16.7%
Premium Villa Allotment	12.5 x 30m	375m²	12	40.0%
Courtyard Allotment	14 x 30m	420m²	—	0.0%
Courtyard Allotment	15 x 30m	450m²	11	36.7%
Duplex Allotment	>800m²	—	—	0.0%
Total Residential Allotments			30	100.0%

Land Budget		
Land Use	Stage 10	
	Area	%
Area of Subject Site	1.649 ha	100.0%
Saleable Area		
Residential Allotments	1.213 ha	73.6%
Total Area of Allotments	1.213 ha	73.6%
Road		
Collector Streets	—	0.0%
Local Access Streets	0.436 ha	26.4%
Pedestrian Linkage / Landscaped Treatment	—	0.0%
Total Area of New Road	0.436 ha	26.4%

REVISION

A: 16/02/17 Amend Staging
B: 14/06/17 Amend Layout
C: 12/09/17 Amend Stage 10 & 11 Layout
D: 24/10/18 Amend Stage 13 & 14 Layout

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Areas have been rounded down to the nearest 5m².

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Source Information:
Site boundaries: Saunders Havill.
Adjoining information: DCDB.
Contours: ETS.

Legend

— Site Boundary
- - Stage Boundary

Scale 1 : 500 @ A1

0 5 10 15 20 25 30

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PLAN OF SUBDIVISION
STAGE 10
ALLOTMENT
LAYOUT

Date: 24 OCTOBER 2018

Comp By: WNW

Checked By: MD

DWG Name: 132030-34 Stages 10-15

Job Ref: 132030

Local Authority: IPSWICH CITY COUNCIL

Locality: REDBANK PLAINS

Scale: 1 : 500

Sheet: A1

Plan Ref: 132030 - 35

Rev: D

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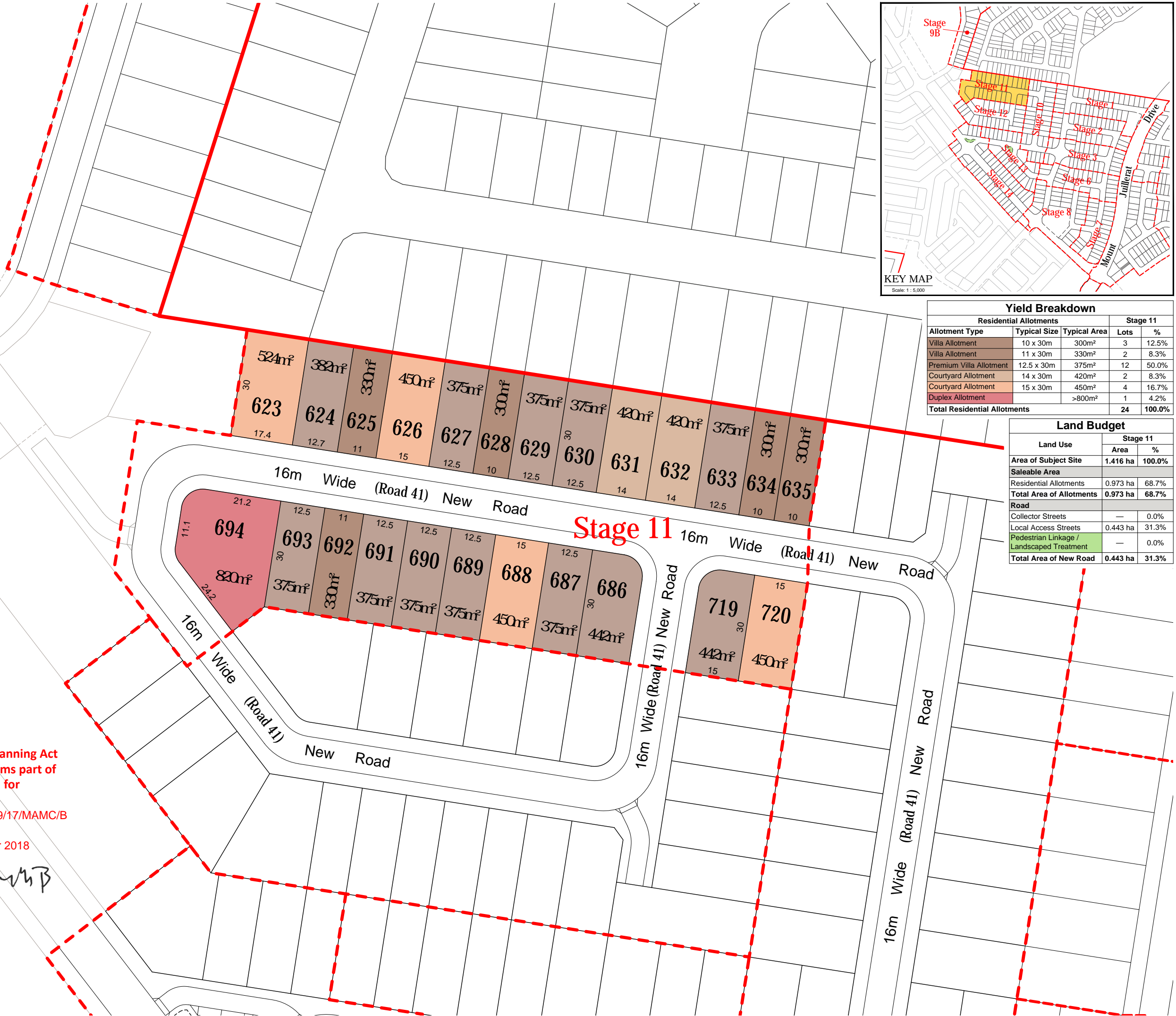
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Approval No: 1489/17/MAMC/B

Date: 14 December 2018

Signed: *[Signature]*



Signed: 

Signed: 

Date: 14 December 2018

Signed: 

Yield Breakdown				
Residential Allotments			Stage 11	
Allotment Type	Typical Size	Typical Area	Lots	%
Villa Allotment	10 x 30m	300m ²	3	12.5%
Villa Allotment	11 x 30m	330m ²	2	8.3%
Premium Villa Allotment	12.5 x 30m	375m ²	12	50.0%
Courtyard Allotment	14 x 30m	420m ²	2	8.3%
Courtyard Allotment	15 x 30m	450m ²	4	16.7%
Duplex Allotment		>800m ²	1	4.2%
Total Residential Allotments			24	100.0%

Land Budget		
Land Use	Stage 11	
	Area	%
Area of Subject Site	1.416 ha	100.0%
Saleable Area		
Residential Allotments	0.973 ha	68.7%
Total Area of Allotments	0.973 ha	68.7%
Road		
Collector Streets	—	0.0%
Local Access Streets	0.443 ha	31.3%
Pedestrian Linkage / Landscaped Treatment	—	0.0%
Total Area of New Road	0.443 ha	31.3%

REVISION	
16/02/17 Amend Staging	
14/06/17 Amend Layout	
12/09/17 Amend Stage 10 & 11 Layout	
24/10/18 Amend Stage 13 & 14 Layout	

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Site boundaries: Saunders Havill.
Adjoining information: DCDB.
Contours: ETS.

Legend

— Site Boundary
- - Stage Boundary

Scale 1 : 500 @ A1

PLAN OF SUBDIVISION
STAGE 11
ALLOTMENT
LAYOUT

Date	24 OCTOBER 2018
Imp By	WNW / JC / MD
Checked By	MD
CG Name	132030-34 Stages 10-15
Ref.	132030
Local Authority	IPSWICH CITY COUNCIL
Locality	REDBANK PLAINS
Scale	Sheet
1 : 500	A1
Plan Ref	Rev
132030 - 36	D



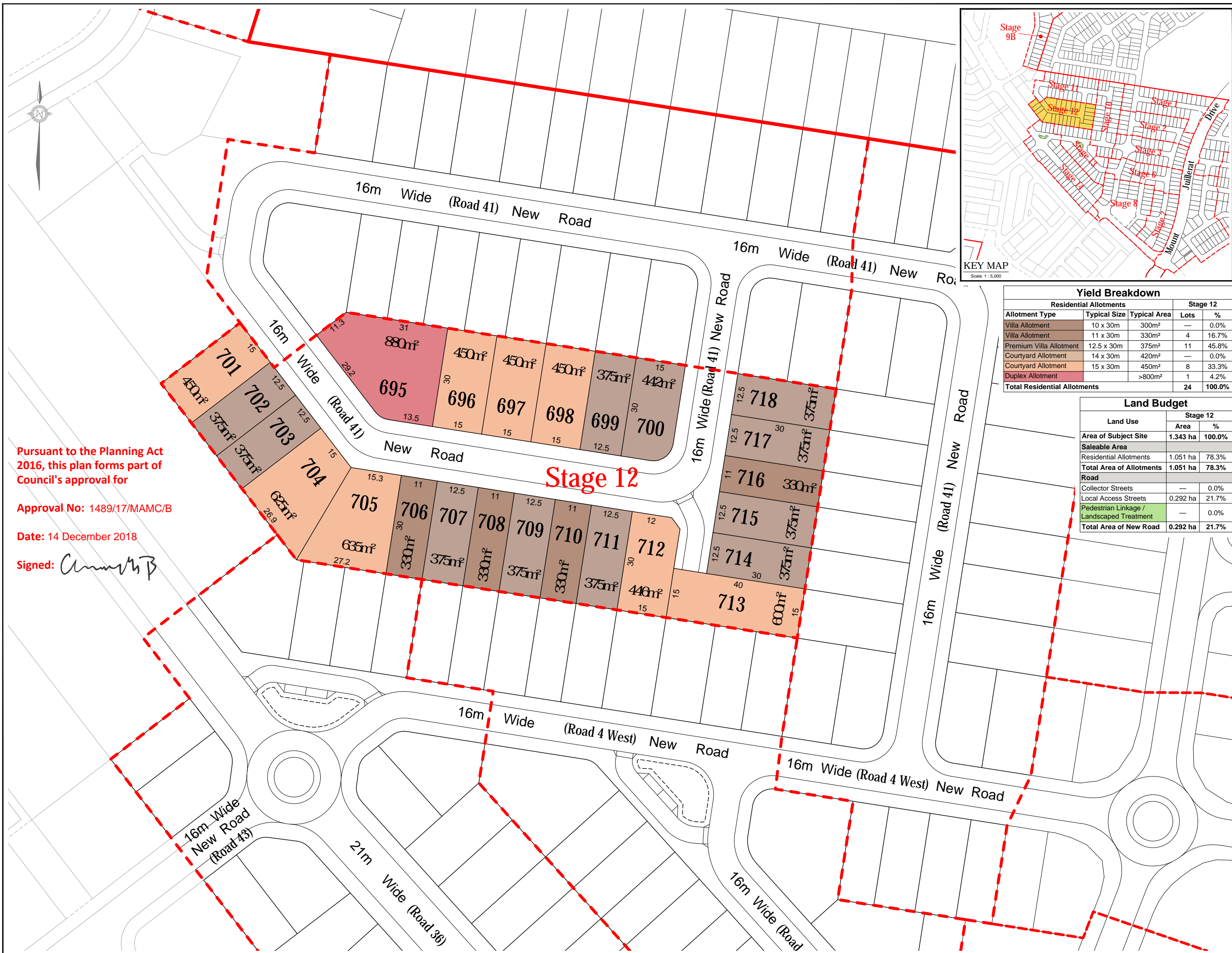
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Yield Breakdown				
Residential Allotments			Stage 12	
Allotment Type	Typical Size	Typical Area	Lots	%
Villa Allotment	10 x 30m	300m ²	—	0.0%
Villa Allotment	11 x 30m	330m ²	4	16.7%
Premium Villa Allotment	12.5 x 30m	375m ²	11	45.8%
Courtyard Allotment	14 x 30m	420m ²	—	0.0%
Courtyard Allotment	15 x 30m	450m ²	8	33.3%
Duplex Allotment		>800m ²	1	4.2%
Total Residential Allotments			24	100.0%

REVISION

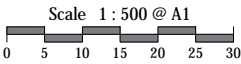
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B: 14/06/17 Amend Layout

C: 12/09/17 Amend Stage 10 & 11 Layout

D: 24/10/18 Amend Stage 13 & 14 Layout

Legend

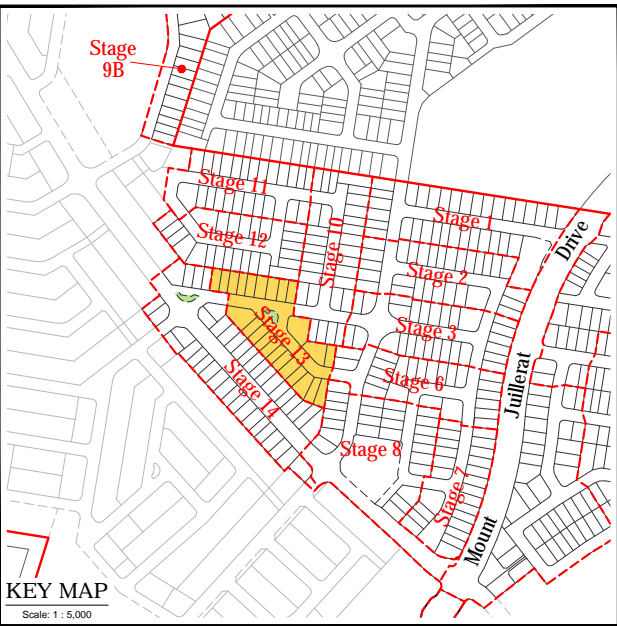
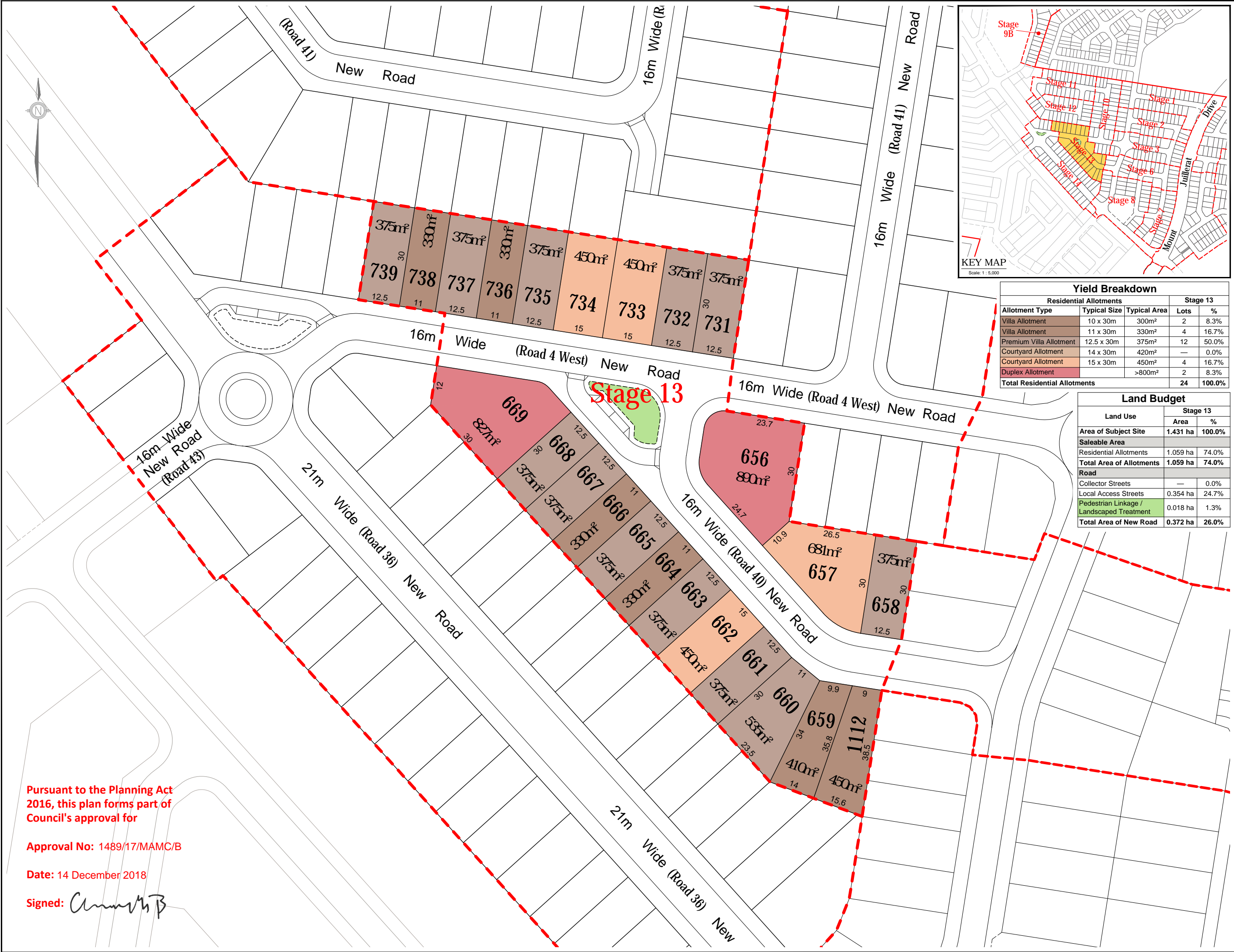


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PLAN OF SUBDIVISION
STAGE 12
ALLOTMENT
LAYOUT



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Yield Breakdown				
Residential Allotments			Stage 13	
Allotment Type	Typical Size	Typical Area	Lots	%
Villa Allotment	10 x 30m	300m ²	2	8.3%
Villa Allotment	11 x 30m	330m ²	4	16.7%
Premium Villa Allotment	12.5 x 30m	375m ²	12	50.0%
Courtyard Allotment	14 x 30m	420m ²	—	0.0%
Courtyard Allotment	15 x 30m	450m ²	4	16.7%
Duplex Allotment		>800m ²	2	8.3%
Total Residential Allotments			24	100.0%

Land Budget		
Land Use	Stage 13	
	Area	%
Area of Subject Site	1.431 ha	100.0%
Saleable Area		
Residential Allotments	1.059 ha	74.0%
Total Area of Allotments	1.059 ha	74.0%
Road		
Collector Streets	—	0.0%
Local Access Streets	0.354 ha	24.7%
Pedestrian Linkage / Landscaped Treatment	0.018 ha	1.3%
Total Area of New Road	0.372 ha	26.0%

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D: 24/10/18 Amend Stage 13 & 14 Layout

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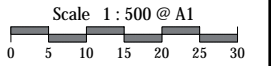
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Adjoining information: DCDB.
Contours: ETS.

Legend

— Site Boundary
- - - Stage Boundary



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PLAN OF SUBDIVISION
STAGE 13
ALLOTMENT
LAYOUT

Date.	24 OCTOBER 2018
Comp By.	WNW / JC / MD
Checked By.	MD
DWG Name.	132030-34 Stages 10-15
Job Ref.	132030
Local Authority.	IPSWICH CITY COUNCIL
Locality.	REDBANK PLAINS
Scale	1 : 500
Sheet	A1
Plan Ref	132030 – 38
Rev	D

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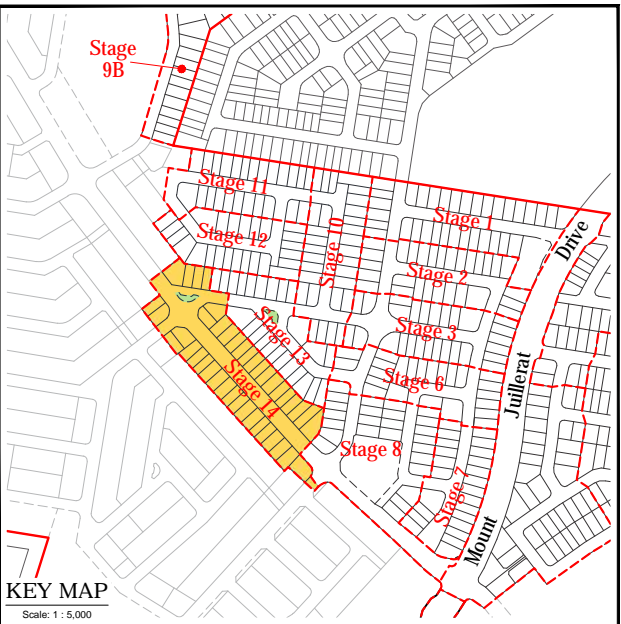
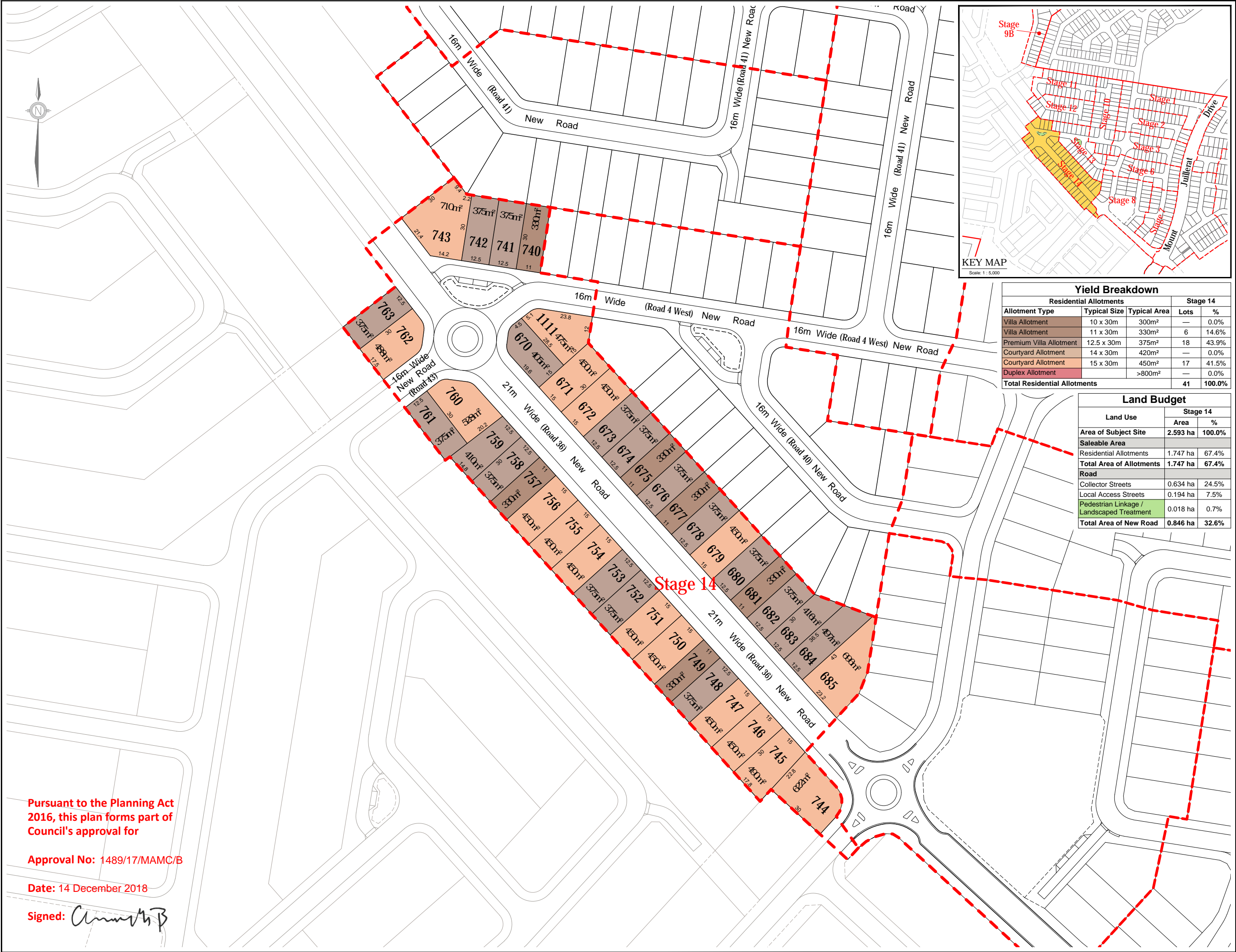
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Signed:



Yield Breakdown				
Residential Allotments			Stage 14	
Allotment Type	Typical Size	Typical Area	Lots	%
Villa Allotment	10 x 30m	300m ²	—	0.0%
Villa Allotment	11 x 30m	330m ²	6	14.6%
Premium Villa Allotment	12.5 x 30m	375m ²	18	43.9%
Courtyard Allotment	14 x 30m	420m ²	—	0.0%
Courtyard Allotment	15 x 30m	450m ²	17	41.5%
Duplex Allotment	>800m ²	—	—	0.0%
Total Residential Allotments			41	100.0%

Land Budget		
Land Use	Stage 14	
	Area	%
Area of Subject Site	2.593 ha	100.0%
Saleable Area		
Residential Allotments	1.747 ha	67.4%
Total Area of Allotments	1.747 ha	67.4%
Road		
Collector Streets	0.634 ha	24.5%
Local Access Streets	0.194 ha	7.5%
Pedestrian Linkage / Landscaped Treatment	0.018 ha	0.7%
Total Area of New Road	0.846 ha	32.6%

REVISION

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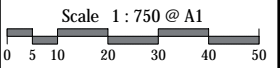
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Adjoining information: DCDB.
Contours: ETS.

Legend

— Site Boundary
- - Stage Boundary



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PLAN OF SUBDIVISION
STAGE 14
ALLOTMENT
LAYOUT

Date.	24 OCTOBER 2018
Comp By.	WNW / JC / MD
Checked By.	MD
DWG Name.	132030-34 Stages 10-15
Job Ref.	132030
Local Authority.	IPSWICH CITY COUNCIL
Locality.	REDBANK PLAINS
Scale	1 : 750
Sheet	A1
Plan Ref	132030 - 39
Rev	D

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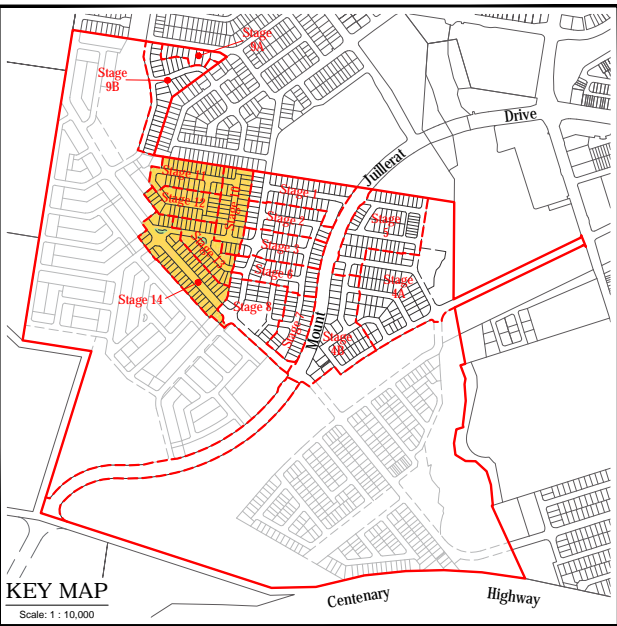
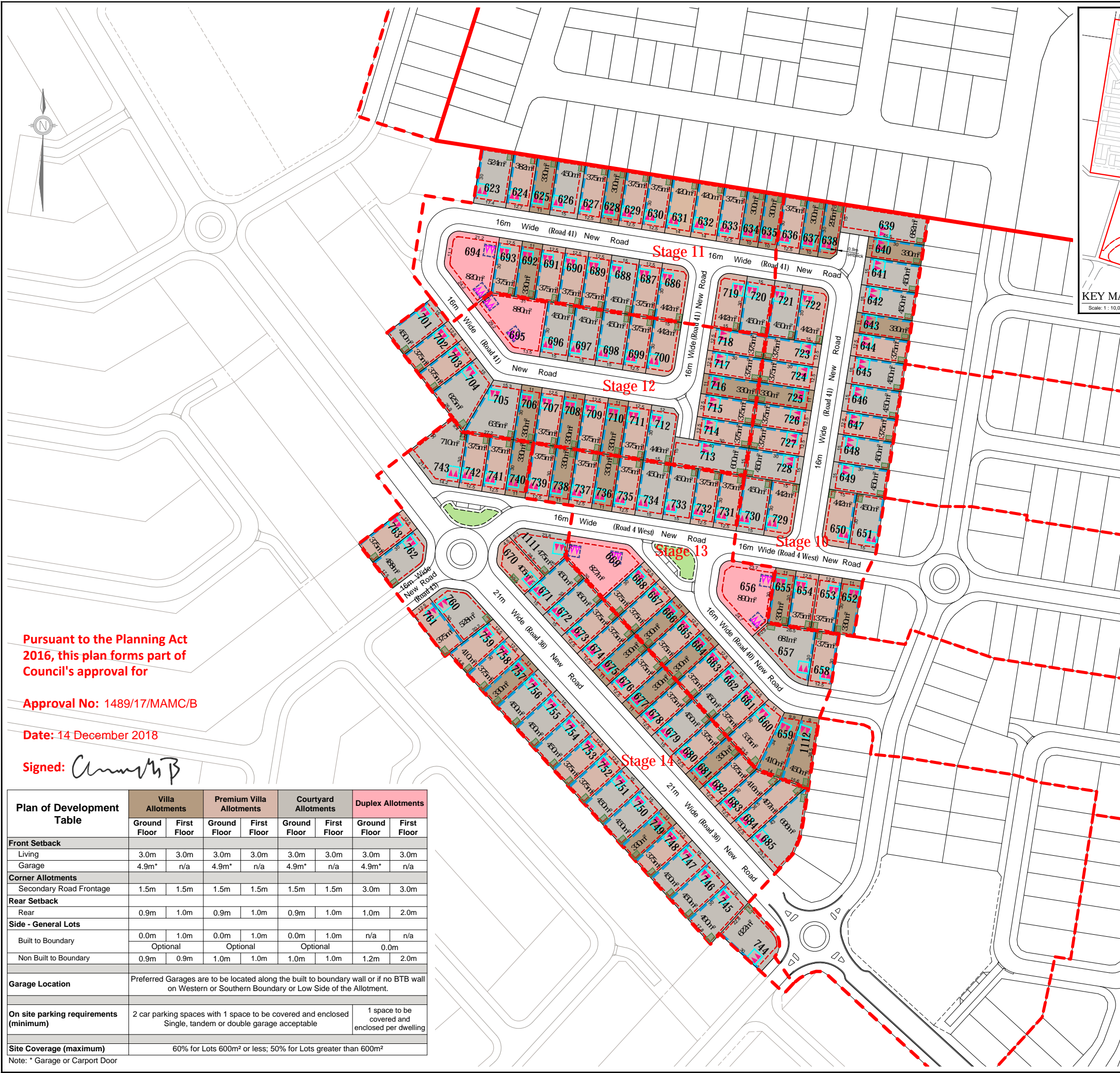
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Development Control Notes

General

- All development is to be undertaken in accordance with the Development Approval.
- Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- The maximum height of buildings shall not exceed 8.5m and two (2) storeys, except when existing grades exceed 15% where the building may be up to 10m and 2 storeys in height.
- The maximum site coverage for each lot is to be in accordance with the Plan of Development Table.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Setbacks are measured to outer most projection (OMP).
- First floor setbacks must not exceed the minimum ground floor setbacks.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Villa and Premium Villa Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Courtyard, Premium Courtyard and Duplex Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Built to Boundary walls are to have a maximum length of 9 metres and a maximum height of 4.5 metres.
- For lot 638 - 0.9m setback applies to the secondary frontage (eastern boundary).

Outdoor Living Space

- Private outdoor living space, must be provided for each dwelling, not less than 20m² in area with a minimum dimension of 3.0m.

Buildings facing a park or more than one street

- Dwellings on lots with more than one frontage to a public right of way (including a road, bikeways, public footpath or the like) must address all public frontages.

Parking and Driveways

Garages:

- Garages must not project forward of the main facade (front wall) of the dwelling.

- Unless otherwise stated, the garage door or parking structure shall occupy no more than 50% of the street frontage for all lots up to 450m² in area, provided that the garage or parking structure is not located forward of the main building line of the dwelling.

Driveways:

- A maximum of one driveway per dwelling is permitted.
- The maximum width of a driveway where crossing the verge:
 - shall be 3.5m for single garages; and
 - 4.8m for double garages.

Definitions

Site Cover - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

REVISION

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D: 24/10/18 Amend Stage 13 & 14 Layout

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Source Information:
Site boundaries: Saunders Havill.
Adjoining information: DCDB.
Contours: ETS.

Legend

- Site Boundary
- Proposed Stage Boundary
- Active Open Space
- Drainage Open Space
- Landscaped Entry Statement

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Optional Built to Boundary Wall
- No Vehicle Access
- Preferred Garage Location (on Single Family Dwellings)
- Indicative Garage Location (on Multi Family Dwellings - Subject to Design)

Scale 1 : 1000 @ A1
0 5 10 20 30 40 50 60

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PLAN OF DEVELOPMENT
STAGES 10 – 14
ALLOTMENT
LAYOUT

Date: 24 OCTOBER 2018

Comp By: WNW / JC / MD

Checked By: MD

DWG Name: 132030-34 Stages 10-15

Job Ref: 132030

Local Authority: IPSWICH

CITY COUNCIL

Locality: REDBANK PLAINS

Scale: 1 : 1000

Sheet: A1

Plan Ref: 132030 – 41

Rev: D

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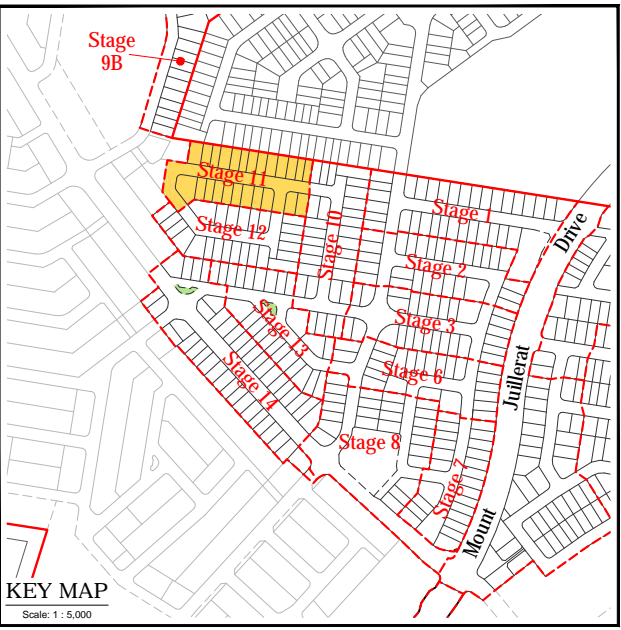
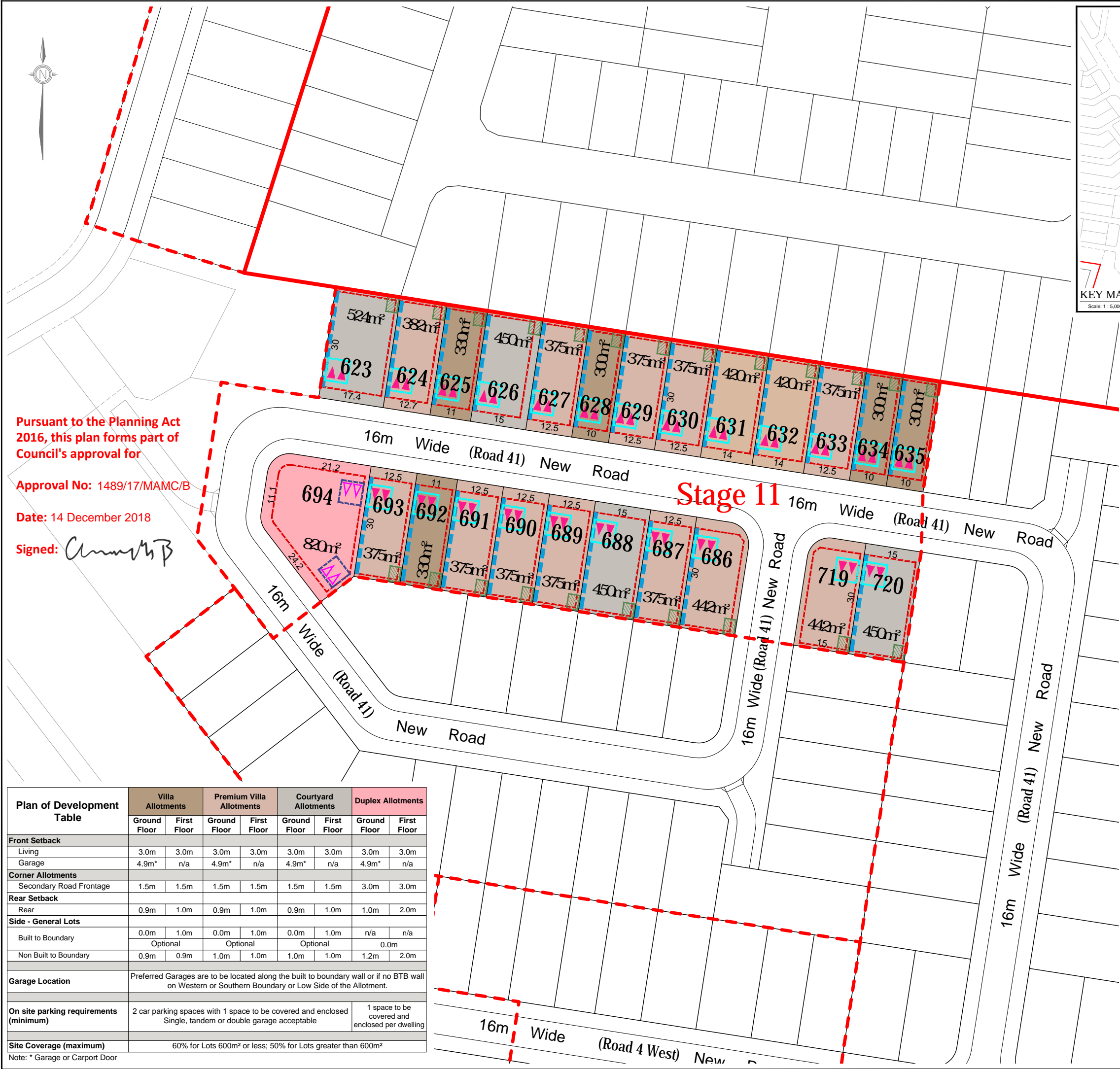
Approval No: 1489/17/MAMC/B

Date: 14 December 2018

Signed:

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Duplex Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback								
Living	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	4.9m*	n/a	4.9m*	n/a	4.9m*	n/a	4.9m*	n/a
Corner Allotments								
Secondary Road Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	3.0m	3.0m
Rear Setback								
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	1.0m	2.0m
Side - General Lots								
Built to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
	Optional		Optional		Optional		0.0m	
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Garage Location	Preferred Garages are to be located along the built to boundary wall or if no BTB wall on Western or Southern Boundary or Low Side of the Allotment.							
On site parking requirements (minimum)	2 car parking spaces with 1 space to be covered and enclosed Single, tandem or double garage acceptable						1 space to be covered and enclosed per dwelling	
Site Coverage (maximum)	60% for Lots 600m² or less; 50% for Lots greater than 600m²							

Note: * Garage or Carport Door



Development Control Notes

General

- All development is to be undertaken in accordance with the Development Approval.
- Building setbacks and built-to-boundary wall locations shown are subject to future proposed easements and/or underground services.
- The maximum height of buildings shall not exceed 8.5m and two (2) storeys, except when existing grades exceed 15% where the building may be up to 10m and 2 storeys in height.
- The maximum site coverage for each lot is to be in accordance with the Plan of Development Table.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Setbacks are measured to outer most projection (OMP).
- First floor setbacks must not exceed the minimum ground floor setbacks.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Villa and Premium Villa Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Courtyard, Premium Courtyard and Duplex Corner Lots the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Where Built to Boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Built to Boundary walls are to have a maximum length of 9 metres and a maximum height of 4.5 metres.
- For lot 638 - 0.9m setback applies to the secondary frontage (eastern boundary).

Outdoor Living Space

- Private outdoor living space, must be provided for each dwelling, not less than 20m² in area with a minimum dimension of 3.0m.

Buildings facing a park or more than one street

- Dwellings on lots with more than one frontage to a public right of way (including a road, bikeways, public footpath or the like) must address all public frontages.

Parking and Driveways

Garages:

- Garages must not project forward of the main facade (front wall) of the dwelling.
- Unless otherwise stated, the garage door or parking structure shall occupy no more than 50% of the street frontage for all lots up to 450m² in area, provided that the garage or parking structure is not located forward of the main building line of the dwelling.

Driveways:

- A maximum of one driveway per dwelling is permitted.
- The maximum width of a driveway where crossing the verge:
 - shall be 3.5m for single garages; and
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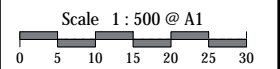
Definitions

Site Cover - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

REVISION	
A:	16/02/17 Amend Staging
B:	14/06/17 Amend Layout
C:	12/09/17 Amend Stage 10 & 11 Layout
D:	24/10/18 Amend Stage 13 & 14 Layout
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Source Information:	
Site boundaries: Saunders Havill.	
Adjoining information: DCDB.	
Contours: ETS.	

Legend

- Site Boundary
- Proposed Stage Boundary
- Active Open Space
- Drainage Open Space
- Landscaped Entry Statement
- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Optional Built to Boundary Wall
- No Vehicle Access
- Preferred Garage Location (on Single Family Dwellings)
- Indicative Garage Location (on Multi Family Dwellings - Subject to Design)



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PEET

PROJECT

EDEN'S CROSSING
Naturally connected

PLAN OF DEVELOPMENT
STAGE 11
ALLOTMENT
LAYOUT

Date:	24 OCTOBER 2018
Comp By:	WNW / JC / MD
Checked By:	MD
DWG Name:	132030-34 Stages 10-15
Job Ref:	132030
Local Authority:	IPSWICH CITY COUNCIL
Locality:	REDBANK PLAINS
Scale:	1 : 500
Sheet:	A1
Plan Ref:	132030 - 43
Rev:	D

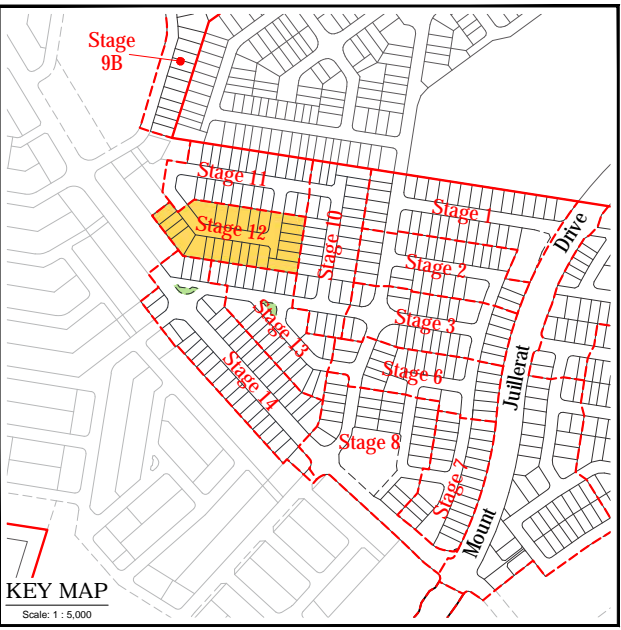
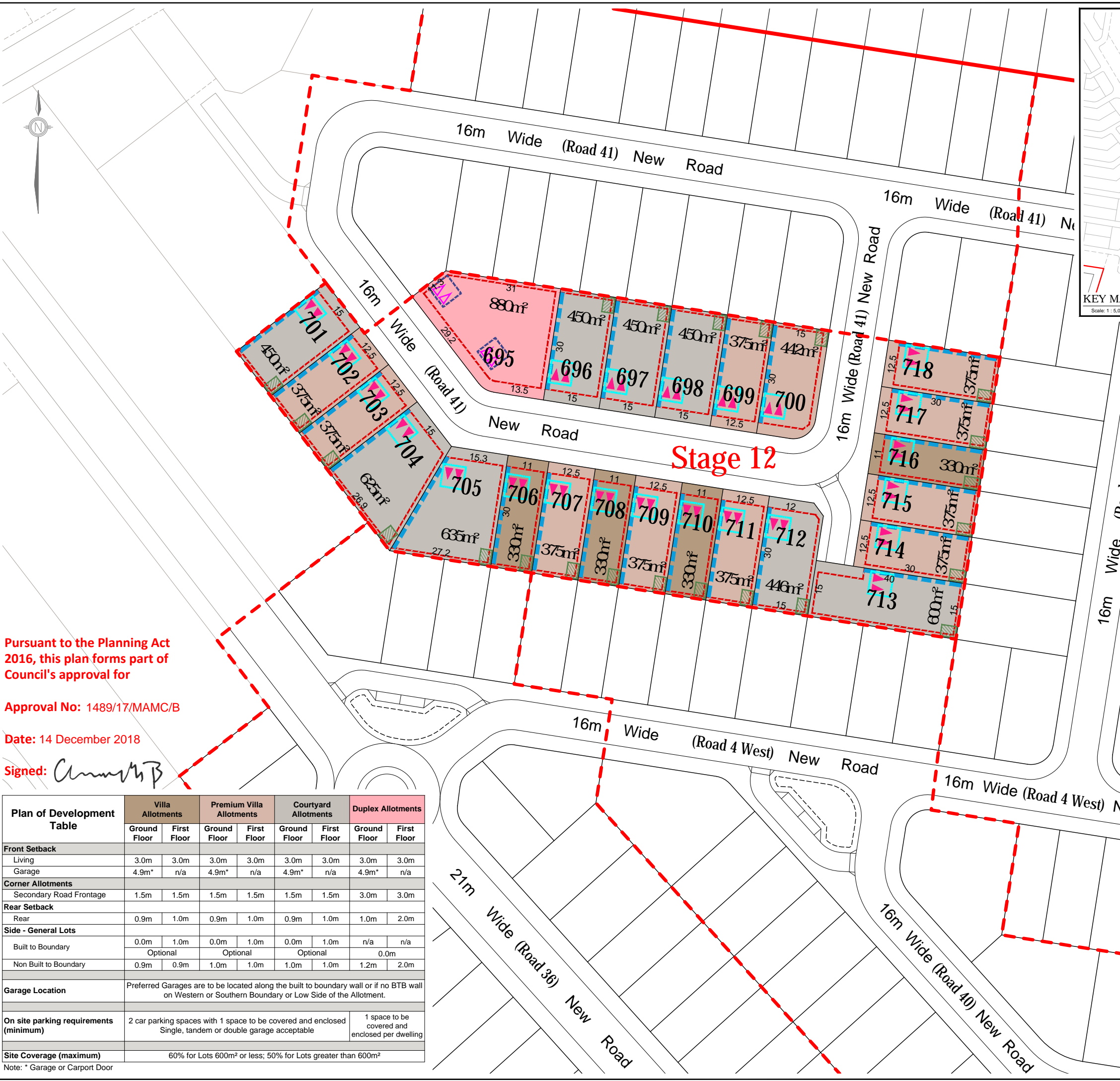
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ABN 44 140 292 762

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455 Brunswick Street
Fortitude Valley QLD 4006

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Development Control Notes

- General**
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- Outdoor Living Space**
- Private outdoor living space, must be provided for each dwelling, not less than 20m² in area with a minimum dimension of 3.0m.

- Buildings facing a park or more than one street**
- Dwellings on lots with more than one frontage to a public right of way (including a road, bikeways, public footpath or the like) must address all public frontages.

- Parking and Driveways**
- Garages:**
- Garages must not project forward of the main facade (front wall) of the dwelling.
 - Unless otherwise stated, the garage door or parking structure shall occupy no more than 50% of the street frontage for all lots up to 450m² in area, provided that the garage or parking structure is not located forward of the main building line of the dwelling.
- Driveways:**
- A maximum of one driveway per dwelling is permitted.
 - The maximum width of a driveway where crossing the verge:
 - shall be 3.5m for single garages; and
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Definitions

Site Cover - the total area of the roof of the dwelling expressed as a percentage of the lot area, but which excludes eave overhangs.

Pursuant to the Planning Act 2016, this plan forms part of Council's approval for

Approval No: 1489/17/MAMC/B

Date: 14 December 2018

Signed:

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Duplex Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front Setback								
Living	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Garage	4.9m*	n/a	4.9m*	n/a	4.9m*	n/a	4.9m*	n/a
Corner Allotments								
Secondary Road Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	3.0m	3.0m
Rear Setback								
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	1.0m	2.0m
Side - General Lots								
Built to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
	Optional		Optional		Optional		0.0m	
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.2m	2.0m
Garage Location	Preferred Garages are to be located along the built to boundary wall or if no BTB wall on Western or Southern Boundary or Low Side of the Allotment.							
On site parking requirements (minimum)	2 car parking spaces with 1 space to be covered and enclosed Single, tandem or double garage acceptable						1 space to be covered and enclosed per dwelling	
Site Coverage (maximum)	60% for Lots 600m² or less; 50% for Lots greater than 600m²							

Note: * Garage or Carport Door

REVISION

A: 16/02/17 Amend Staging
B: 14/06/17 Amend Layout
C: 12/09/17 Amend Stage 10 & 11 Layout
D: 24/10/18 Amend Stage 13 & 14 Layout

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Site boundaries: Saunders Havill.
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Contours: ETS.

Legend

- Site Boundary
- Proposed Stage Boundary
- Active Open Space
- Drainage Open Space
- Landscaped Entry Statement

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Optional Built to Boundary Wall
- No Vehicle Access
- Preferred Garage Location (on Single Family Dwellings)
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Scale 1 : 500 @ A1

CLIENT

PEET

PROJECT

EDEN'S CROSSING
Naturally connected

PLAN OF DEVELOPMENT
STAGE 12
ALLOTMENT
LAYOUT

Date: 24 OCTOBER 2018
Comp By: WNW / JC / MD
Checked By: MD
DWG Name: 132030-34 Stages 10-15
Job Ref: 132030
Local Authority: IPSWICH CITY COUNCIL
Locality: REDBANK PLAINS
Scale: 1 : 500
Plan Ref: 132030 - 44

Sheet A1
Rev D

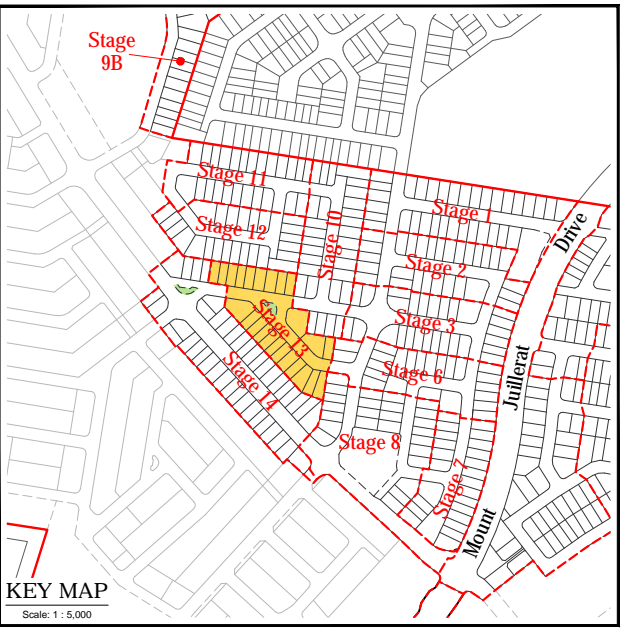
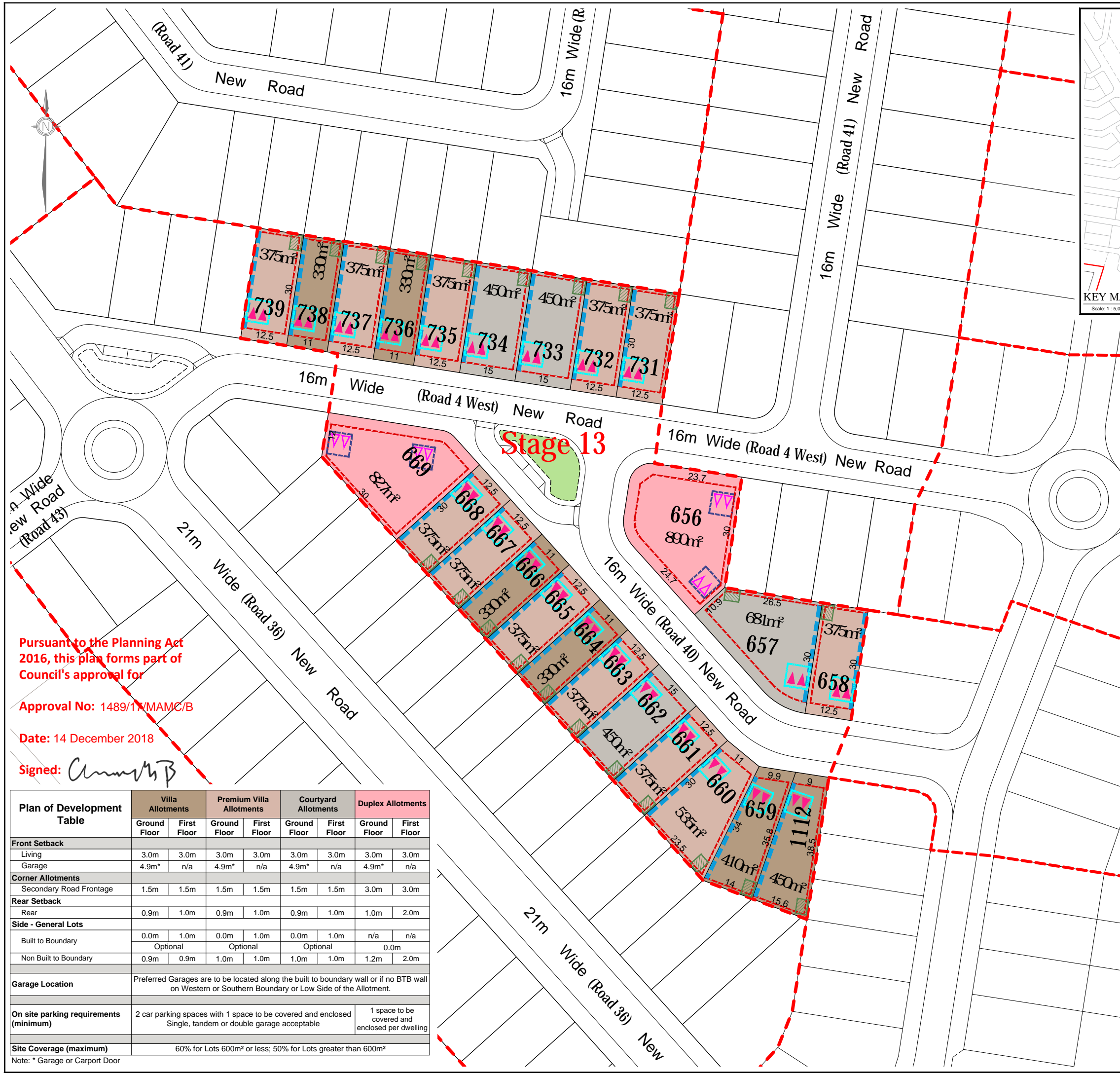
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Date: 14 December 2018

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Note: * Garage or Carport Door

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REVISION

A: 16/02/17 Amend Staging

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C: 12/09/17 Amend Stage 10 & 11 Layout

D: 24/10/18 Amend Stage 13 & 14 Layout

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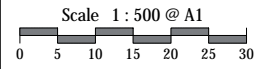
Site boundaries: Saunders Havill.

Adjoining information: DCDB.

Contours: ETS.

Legend

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PROJECT

EDEN'S CROSSING

Naturally connected

PLAN OF DEVELOPMENT

Date:	24 OCTOBER 2018
Comp By:	WNW / JC / MD
Checked By:	MD
DWG Name:	132030-34 Stages 10-15
Job Ref:	132030

Local Authority: IPSWICH CITY COUNCIL

Locality: REDBANK PLAINS

Scale	Sheet
1 : 500	A1

Plan Ref	Rev
132030 - 45	D

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ABN 44 140 292 762

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Fortitude Valley QLD 4006

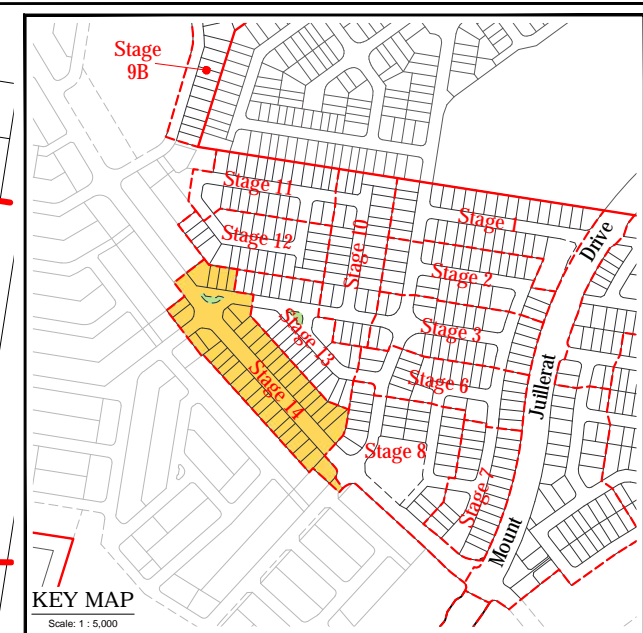
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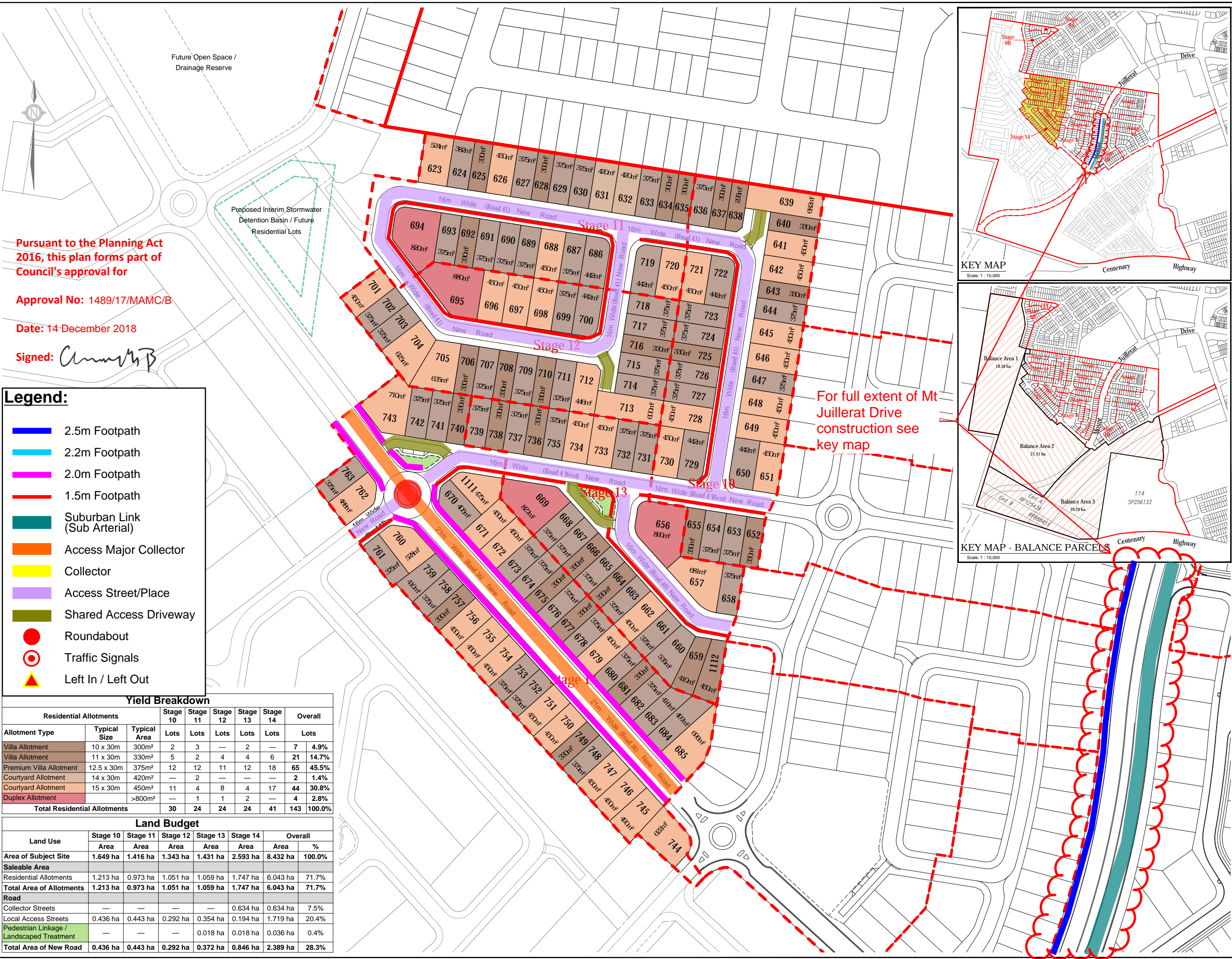


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Approval No: 1489/17/MAMC/B

Date: 14 December 2018

Signed:

Legend:

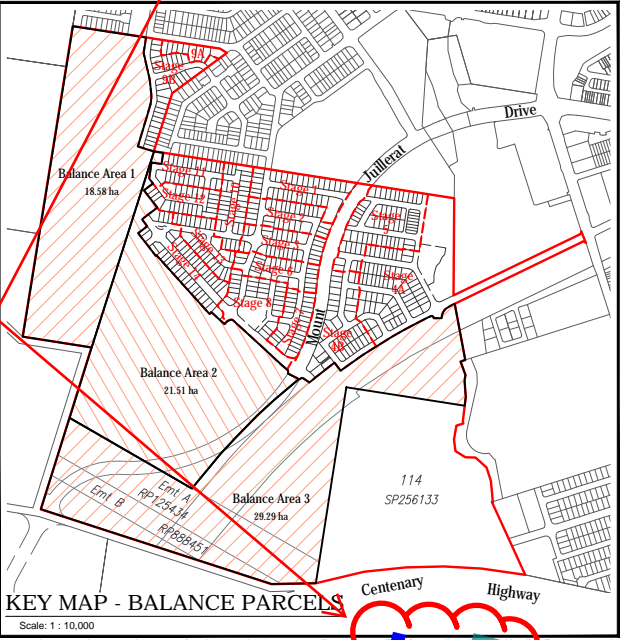
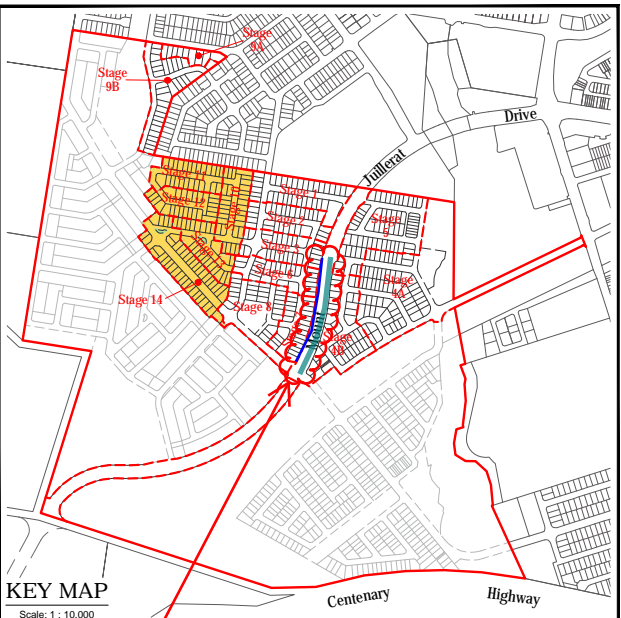
- 2.5m Footpath
- 2.2m Footpath
- 2.0m Footpath
- 1.5m Footpath
- Suburban Link (Sub Arterial)
- Access Major Collector
- Collector
- Access Street/Place
- Shared Access Driveway
- Roundabout
- Traffic Signals
- Left In / Left Out

Yield Breakdown

Residential Allotments			Stage 10	Stage 11	Stage 12	Stage 13	Stage 14	Overall	
Allotment Type	Typical Size	Typical Area	Lots	Lots	Lots	Lots	Lots	Lots	
Villa Allotment	10 x 30m	300m ²	2	3	—	2	—	7	4.9%
Villa Allotment	11 x 30m	330m ²	5	2	4	4	6	21	14.7%
Premium Villa Allotment	12.5 x 30m	375m ²	12	12	11	12	18	65	45.5%
Courtyard Allotment	14 x 30m	420m ²	—	2	—	—	—	2	1.4%
Courtyard Allotment	15 x 30m	450m ²	11	4	8	4	17	44	30.8%
Duplex Allotment	>800m ²	—	1	1	1	2	—	4	2.8%
Total Residential Allotments			30	24	24	24	41	143	100.0%

Land Budget

Land Use	Stage 10	Stage 11	Stage 12	Stage 13	Stage 14	Overall	
	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1.649 ha	1.416 ha	1.343 ha	1.431 ha	2.593 ha	8.432 ha	100.0%
Saleable Area							
Residential Allotments	1.213 ha	0.973 ha	1.051 ha	1.059 ha	1.747 ha	6.043 ha	71.7%
Total Area of Allotments	1.213 ha	0.973 ha	1.051 ha	1.059 ha	1.747 ha	6.043 ha	71.7%
Road							
Collector Streets	—	—	—	—	0.634 ha	0.634 ha	7.5%
Local Access Streets	0.436 ha	0.443 ha	0.292 ha	0.354 ha	0.194 ha	1.719 ha	20.4%
Pedestrian Linkage / Landscaped Treatment	—	—	—	0.018 ha	0.018 ha	0.036 ha	0.4%
Total Area of New Road	0.436 ha	0.443 ha	0.292 ha	0.372 ha	0.846 ha	2.389 ha	28.3%



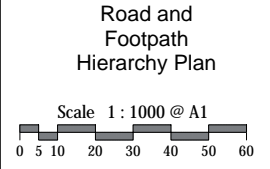
REVISION
A: 16/02/17 Amend Staging
B: 14/06/17 Amend Layout
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Site boundaries: Saunders Havill.
Adjoining information: DCDB.
Contours: ETS.

Legend

- Site Boundary
- Stage Boundary



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PROJECT
EDEN'S CROSSING
Naturally connected

PLAN OF SUBDIVISION
STAGES 10 – 14
ALLOTMENT
LAYOUT

Date:	24 OCTOBER 2018
Comp By:	WNW / JC / MD
Checked By:	MD
DWG Name:	132030-34 Stages 10-15
Job Ref:	132030
Local Authority:	IPSWICH CITY COUNCIL
Locality:	REDBANK PLAINS
Scale:	1 : 1000
Sheet:	A1
Plan Ref:	132030 – 34
Rev:	D

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