

**EDEN'S CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES

2 0 2 4 6 8 10 12 14 16 18 20 22 24

## LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

## NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 622 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

Lot 622 contains Emt Q on SP317663 for services benefiting Urban Utilities.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

# PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

**saunders havill group**

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

Saunders Havill Group Pty Ltd ABN 24 144 972 949  
Brisbane ■ Springfield ■ Rockhampton  
head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web www.saundershavill.com

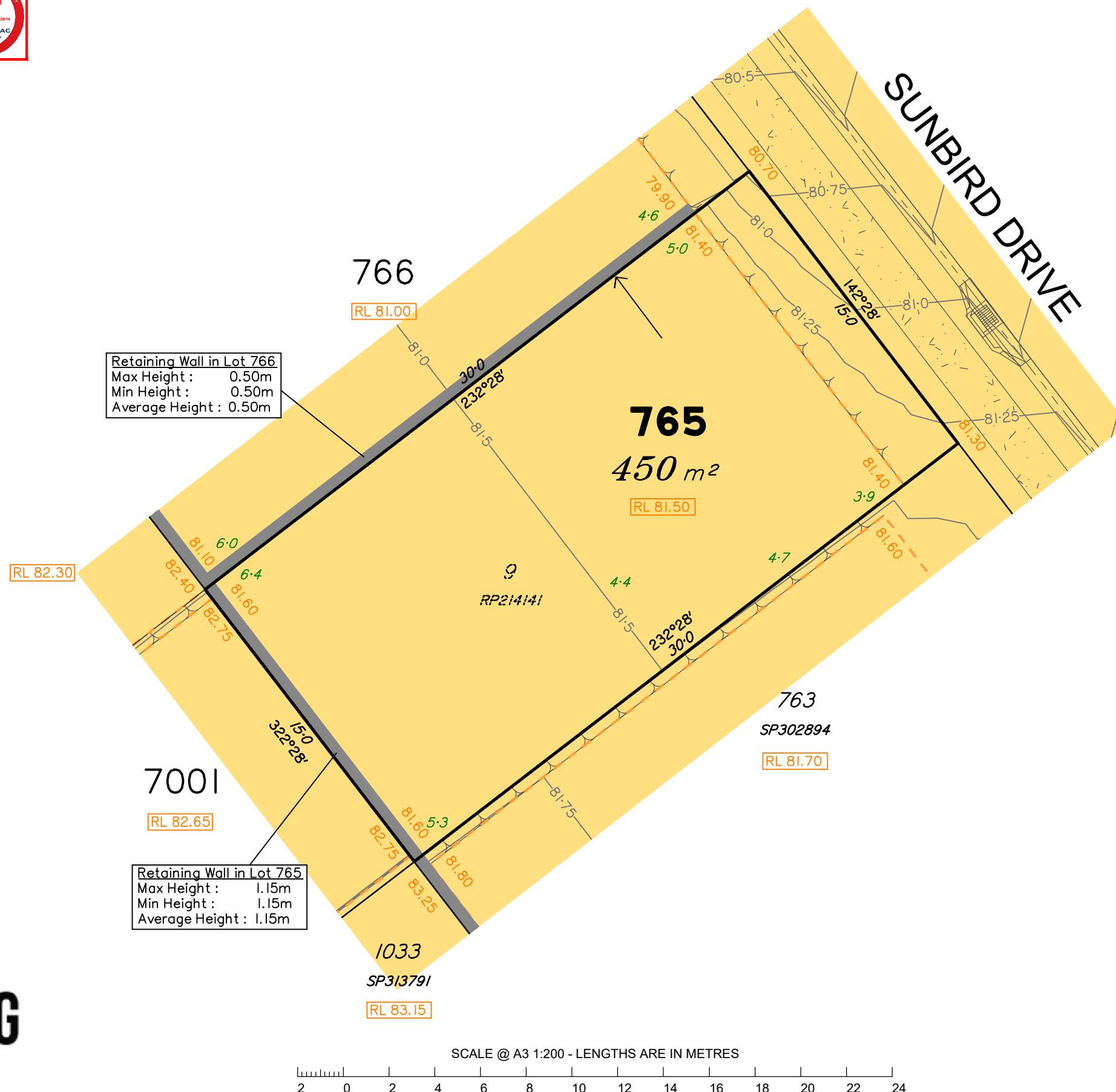
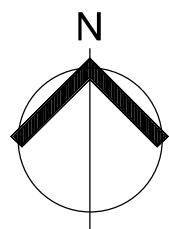
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## Disclosure Plan for Proposed Lot 622 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_622



**EDEN'S  
CROSSING**  
STAGE 15A

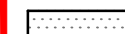


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## Disclosure Plan for Proposed Lot 765 (Restricted) on SP317663

Locality of Redbank Plains (Ipswich City Council)

## LEGEND



Area of Cut



Area of Fill

## Design Contours

1.23

### Depth of Fill



Top of Batter



Proposed Future Lot Boundary



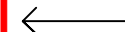
Preferred Pad Level



Retaining Wall

XX.X

Finished Surface Design Level



Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

## NOTES

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(Application No: 2098/2015/MAOC/A)

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Lot 765 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

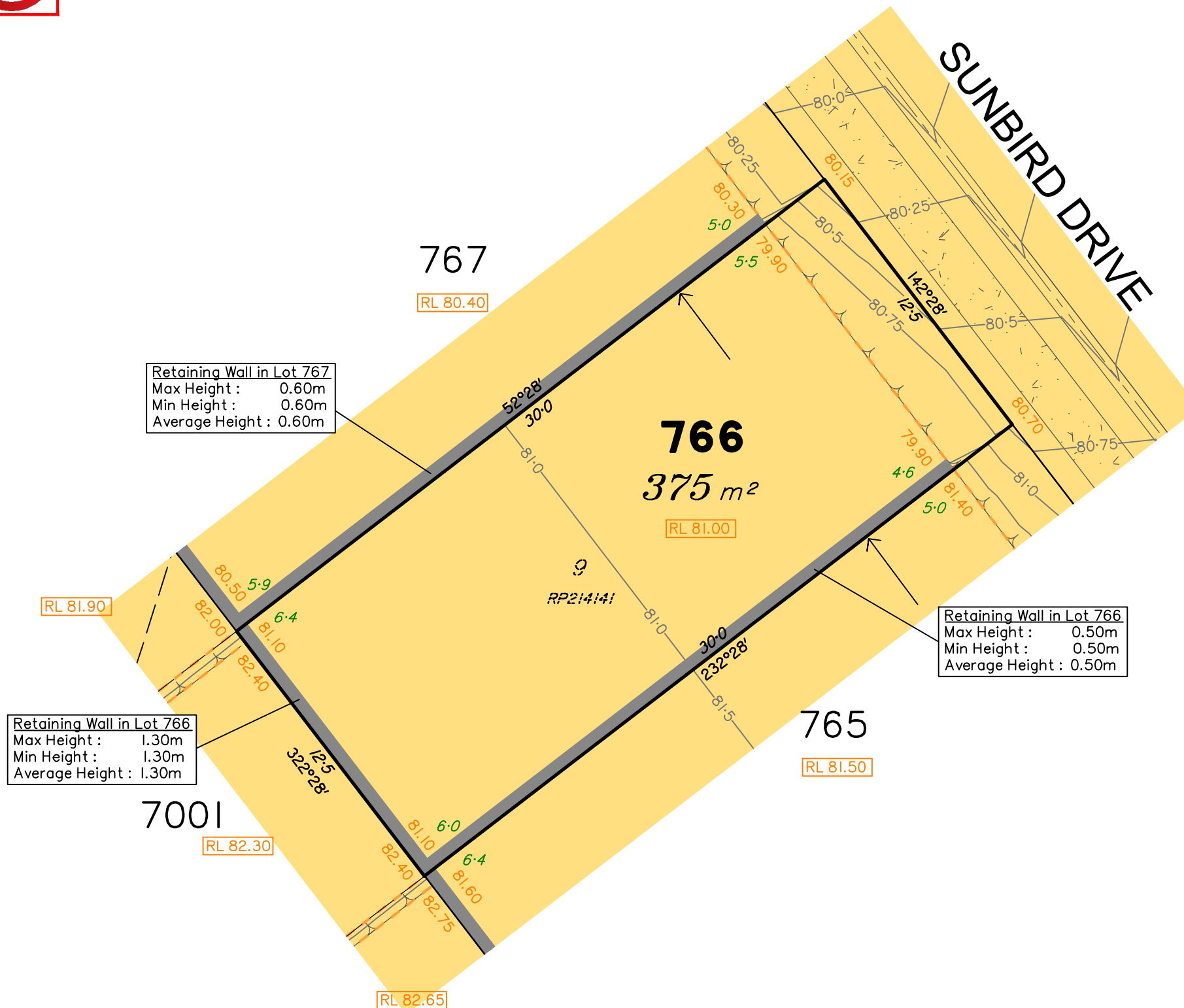
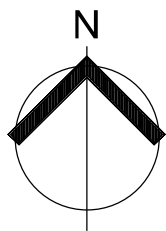
# PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m

Scale @A3 1: 200

Plan No. 9112 S 02 DP A 765



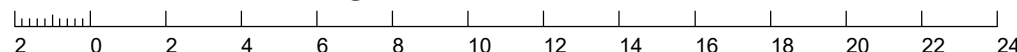
Retaining Wall in Lot 767  
Max Height : 0.60m  
Min Height : 0.60m  
Average Height : 0.60m

Retaining Wall in Lot 766  
Max Height : 0.50m  
Min Height : 0.50m  
Average Height : 0.50m

Retaining Wall in Lot 766  
Max Height : 1.30m  
Min Height : 1.30m  
Average Height : 1.30m

**EDEN'S CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



## LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
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- Finished Surface Design Level
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## NOTES

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Lot 766 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

**saunders havill group**

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

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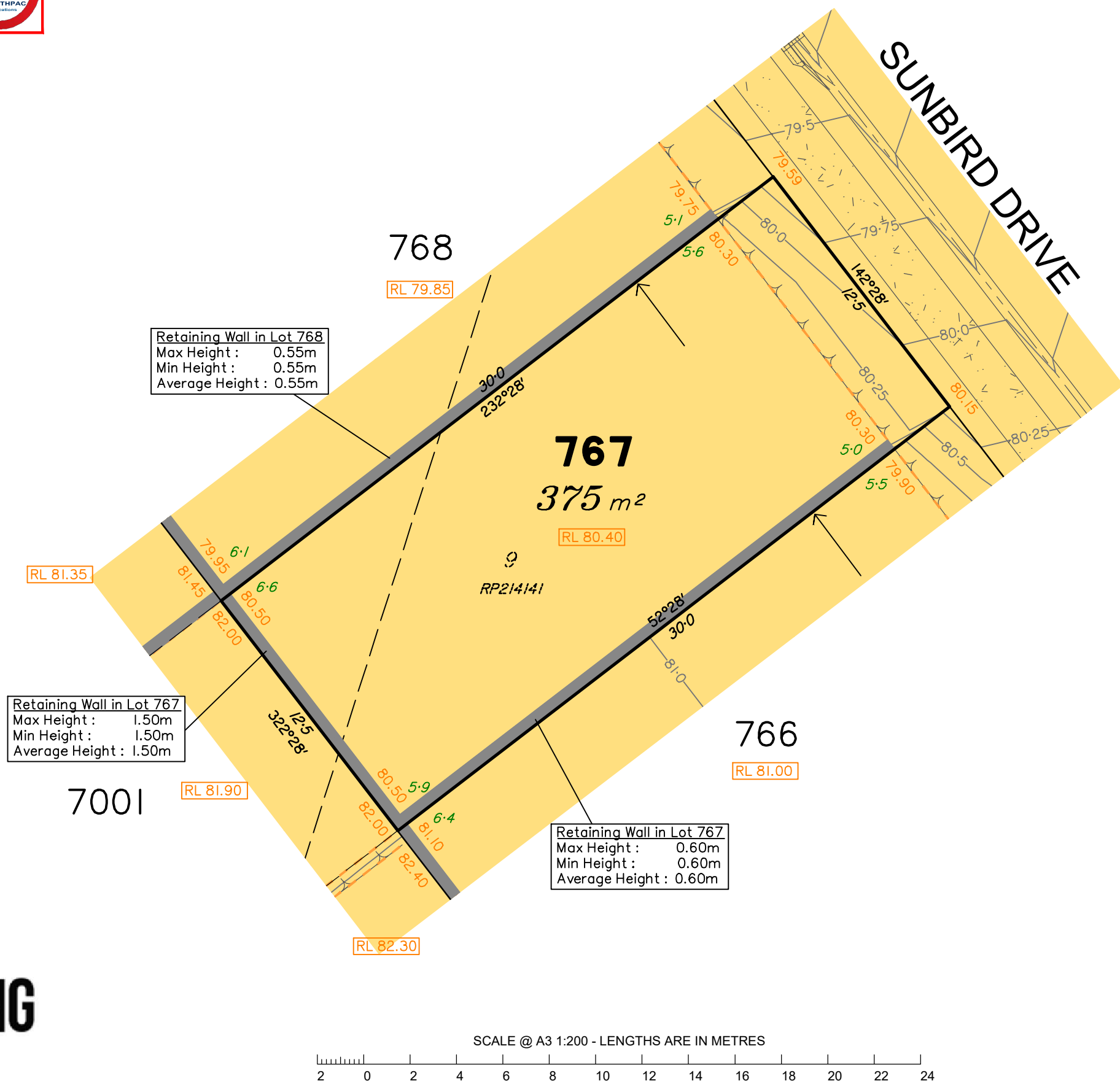
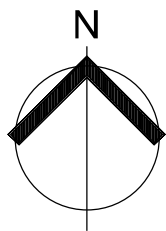
## Disclosure Plan for Proposed Lot 766 (Restricted) on SP317663

Described as part of Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_766





LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

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**NOTES**  
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Part of Lot 767 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

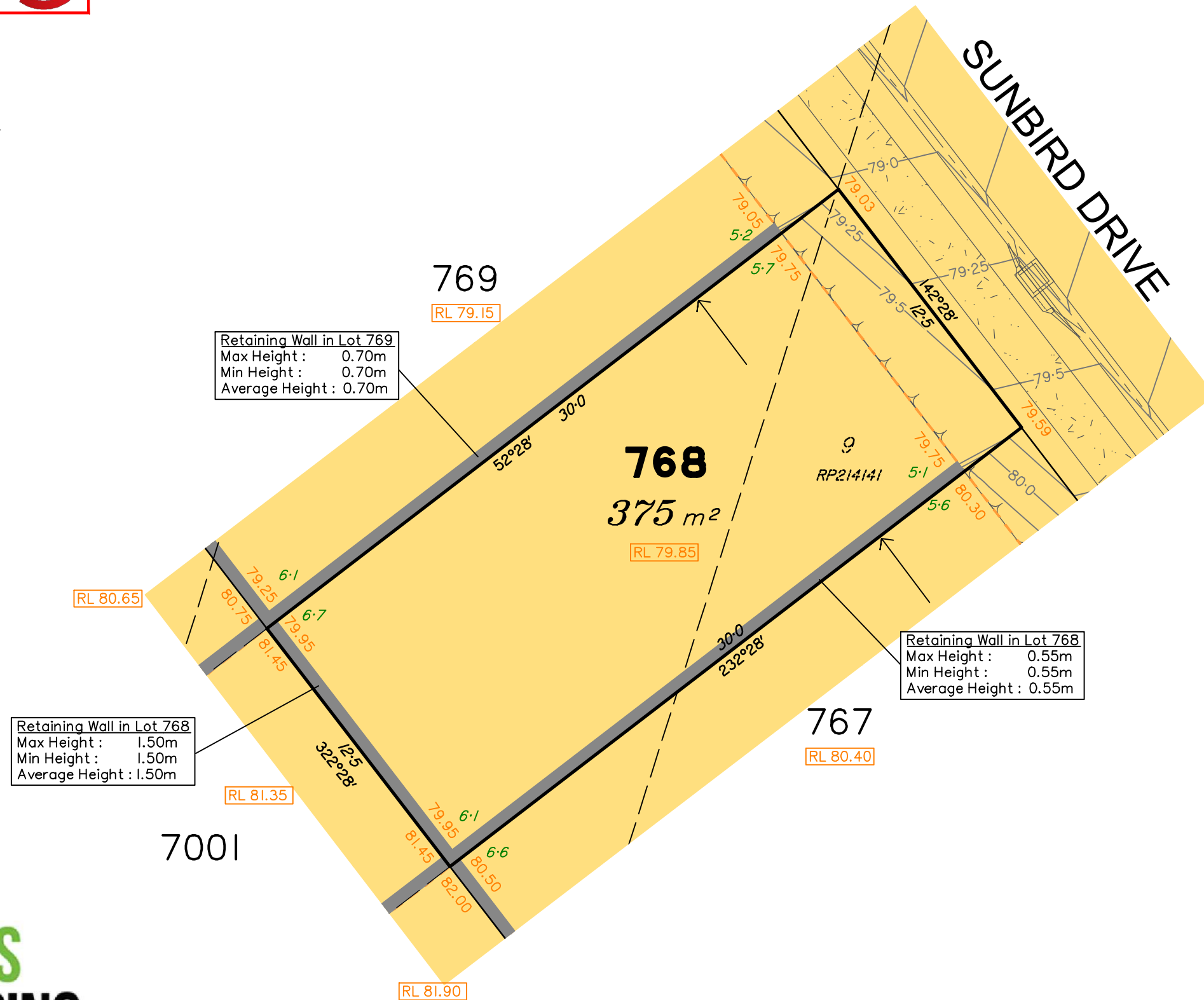
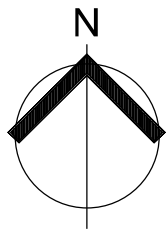
EDEN'S CROSSING  
STAGE 15A

Disclosure Plan for Proposed Lot 767 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_767



Retaining Wall in Lot 769  
Max Height : 0.70m  
Min Height : 0.70m  
Average Height : 0.70m

Retaining Wall in Lot 768  
Max Height : 0.55m  
Min Height : 0.55m  
Average Height : 0.55m

Retaining Wall in Lot 768  
Max Height : 1.50m  
Min Height : 1.50m  
Average Height : 1.50m

**EDEN'S  
CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES

## LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

## NOTES

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Part of Lot 768 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

**saunders  
havill  
group**

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surveying town planning urban design environmental management landscape architecture

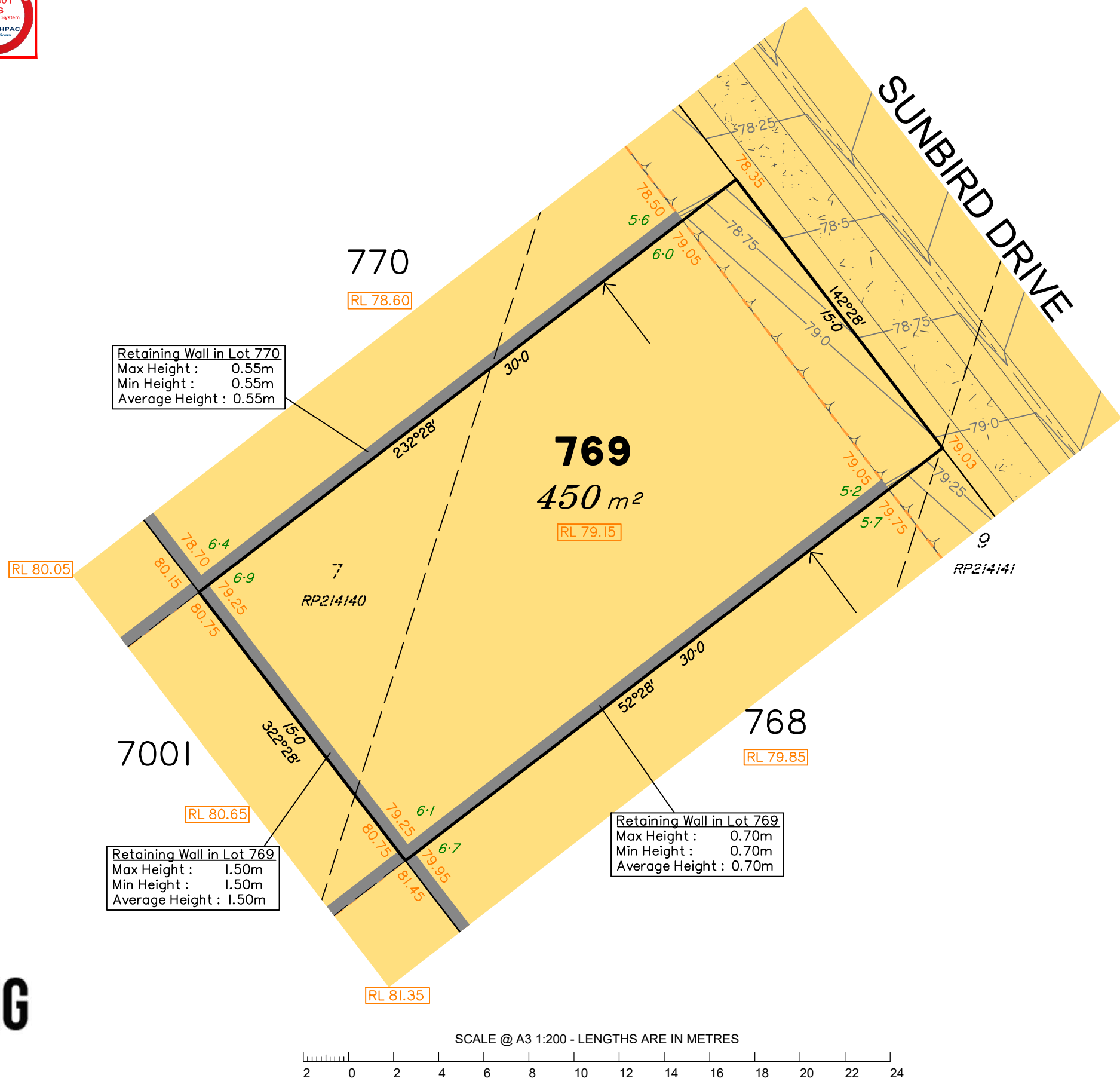
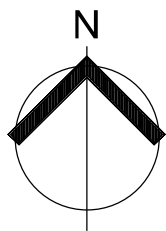
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## Disclosure Plan for Proposed Lot 768 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_768



**EDEN'S CROSSING**  
STAGE 15A

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**Disclosure Plan for Proposed Lot 769 (Restricted) on SP317663**

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

**LEGEND**

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

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**NOTES**

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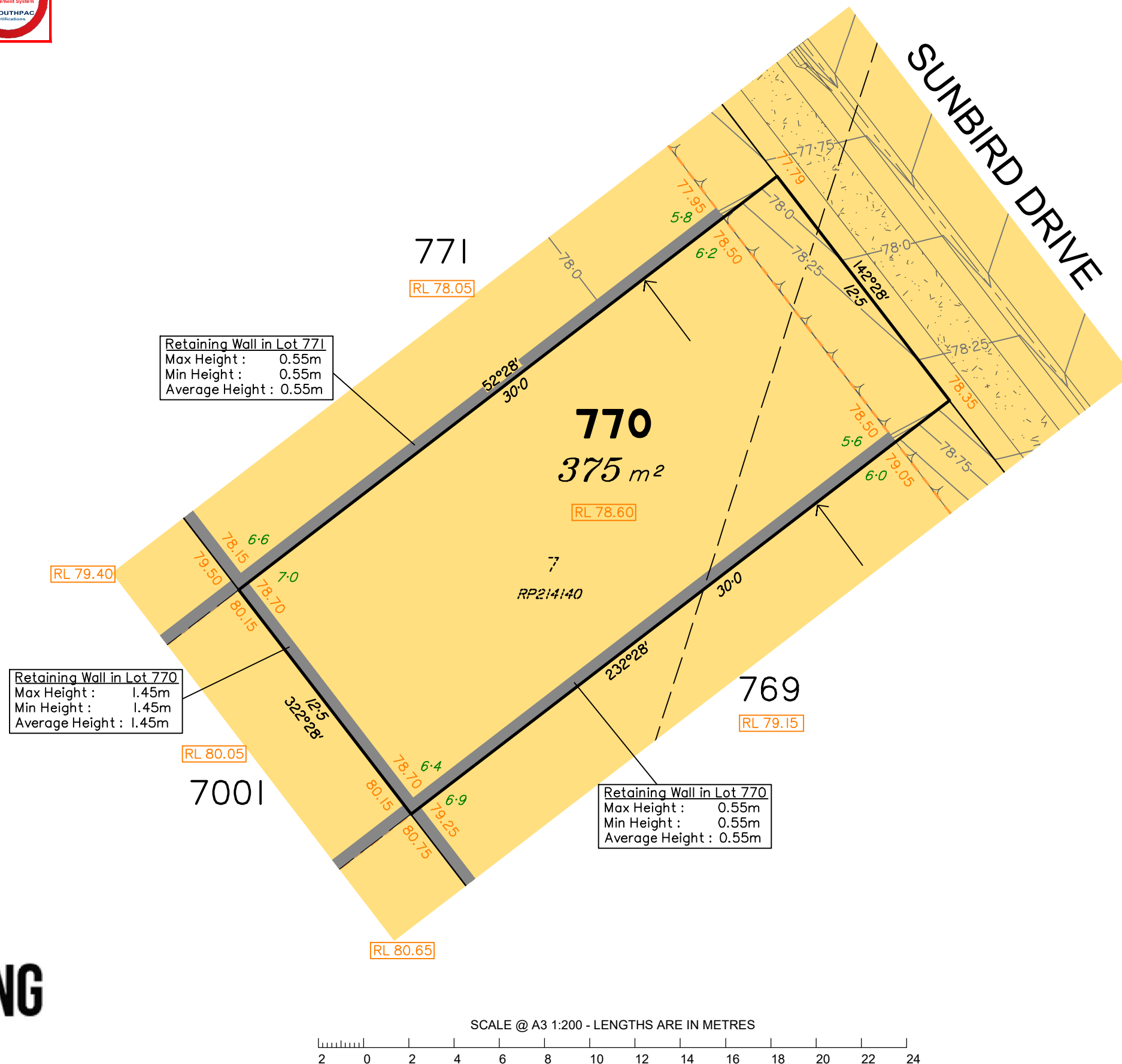
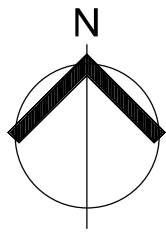
Part of Lot 769 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4804.

Part of Lot 769 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_769



**EDEN'S  
CROSSING**  
STAGE 15A

#### LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

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#### NOTES

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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 770 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

# PEET

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	A	TBG	11/08/20	Original Issue



Saunders Havill Group Pty Ltd ABN 24 144 972 949  
Brisbane Springfield Rockhampton  
head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web www.saundershavill.com

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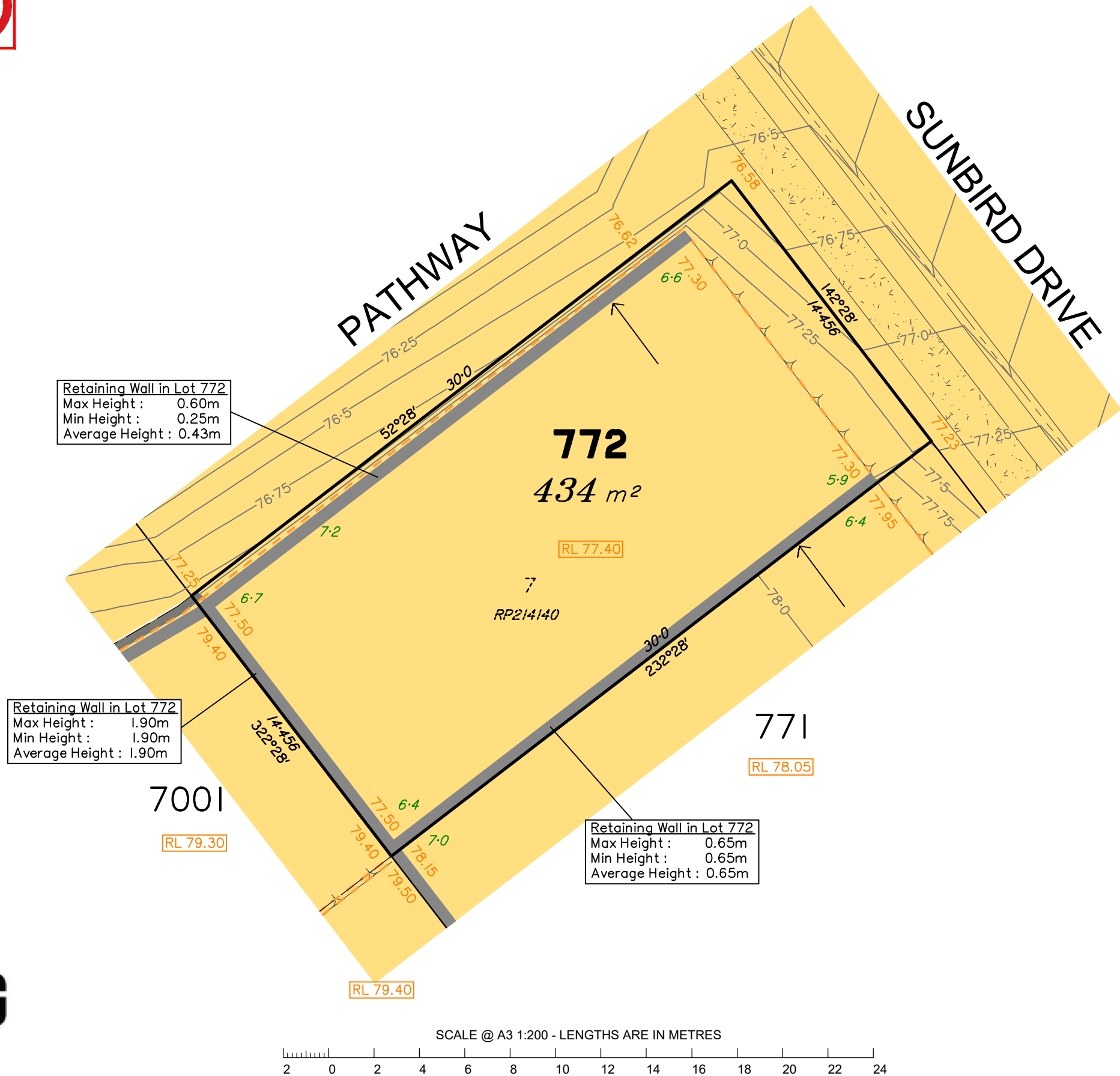
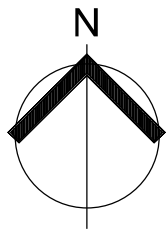
## Disclosure Plan for Proposed Lot 770 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_770





#### LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

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#### NOTES

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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 772 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

# PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

**EDEN'S CROSSING**  
STAGE 15A

**saunders havill group**

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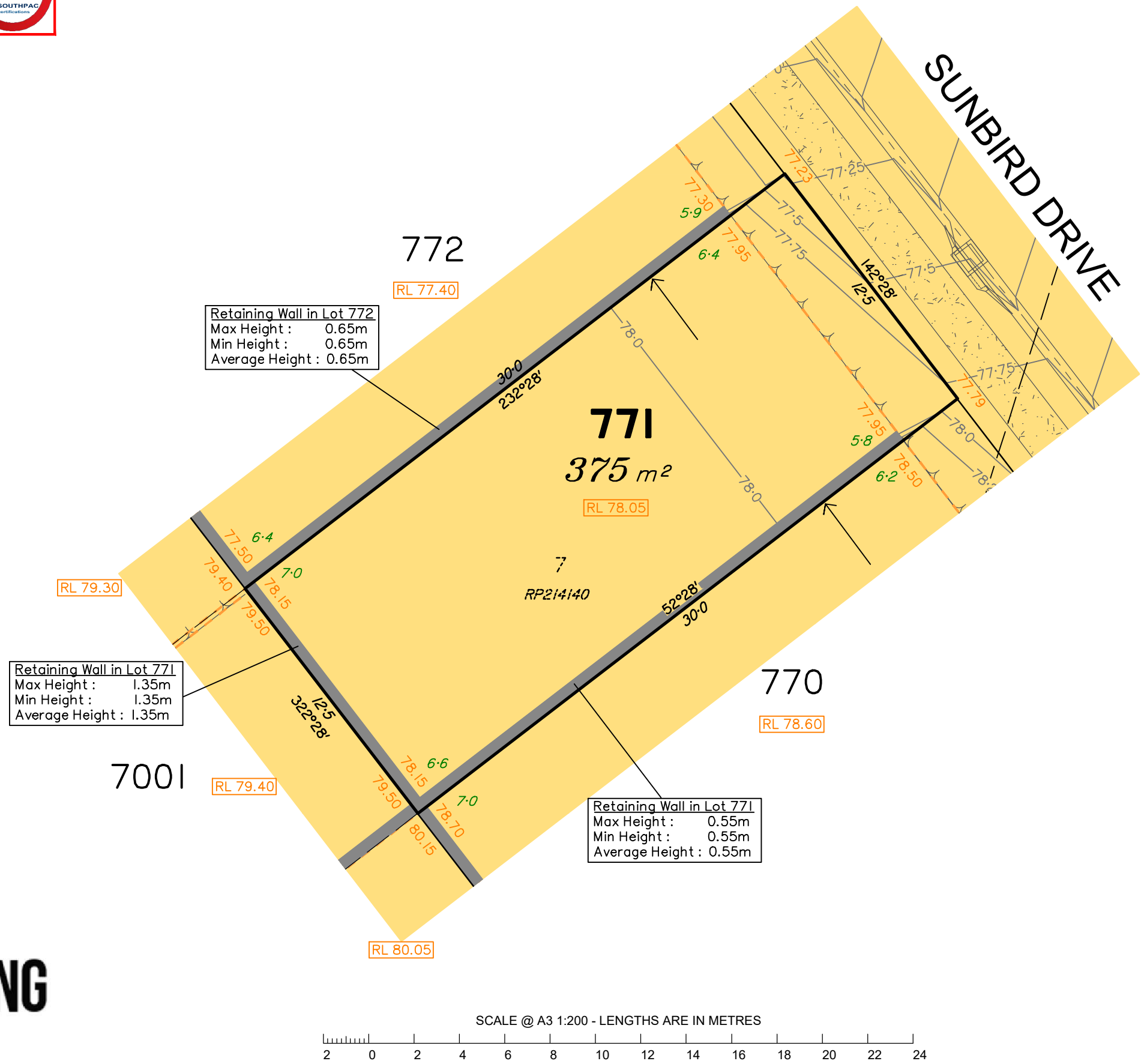
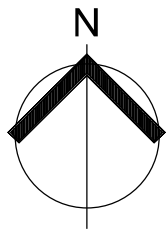
#### Disclosure Plan for Proposed Lot 772 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_772





## LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 771 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

# PEET

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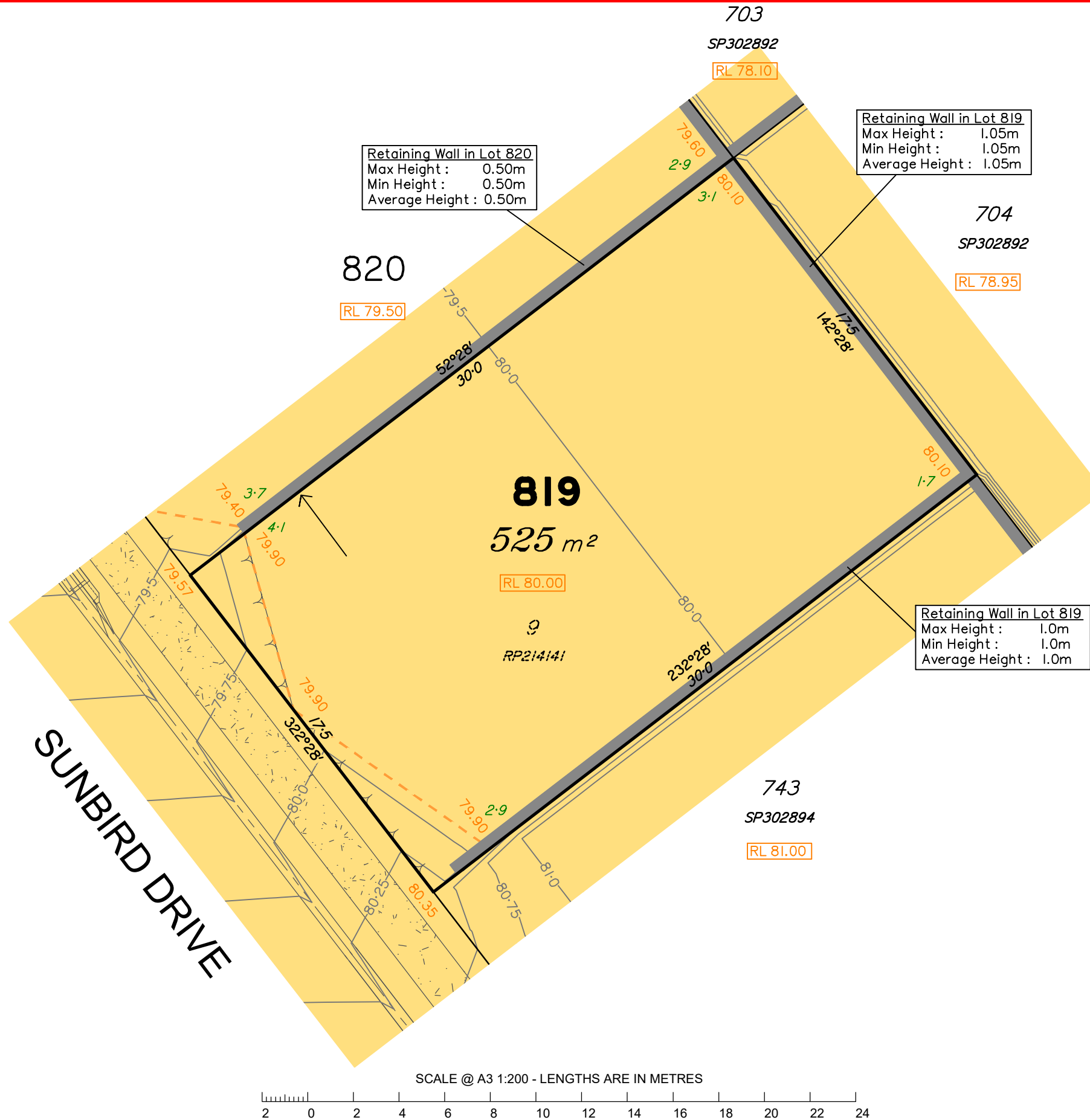
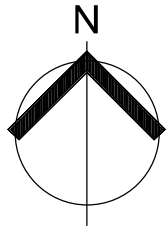
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## Disclosure Plan for Proposed Lot 771 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_771



## LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
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## NOTES

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Lot 819 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

# PEET

Issues	No.	by	Date	Description
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**EDEN'S CROSSING**  
STAGE 15A

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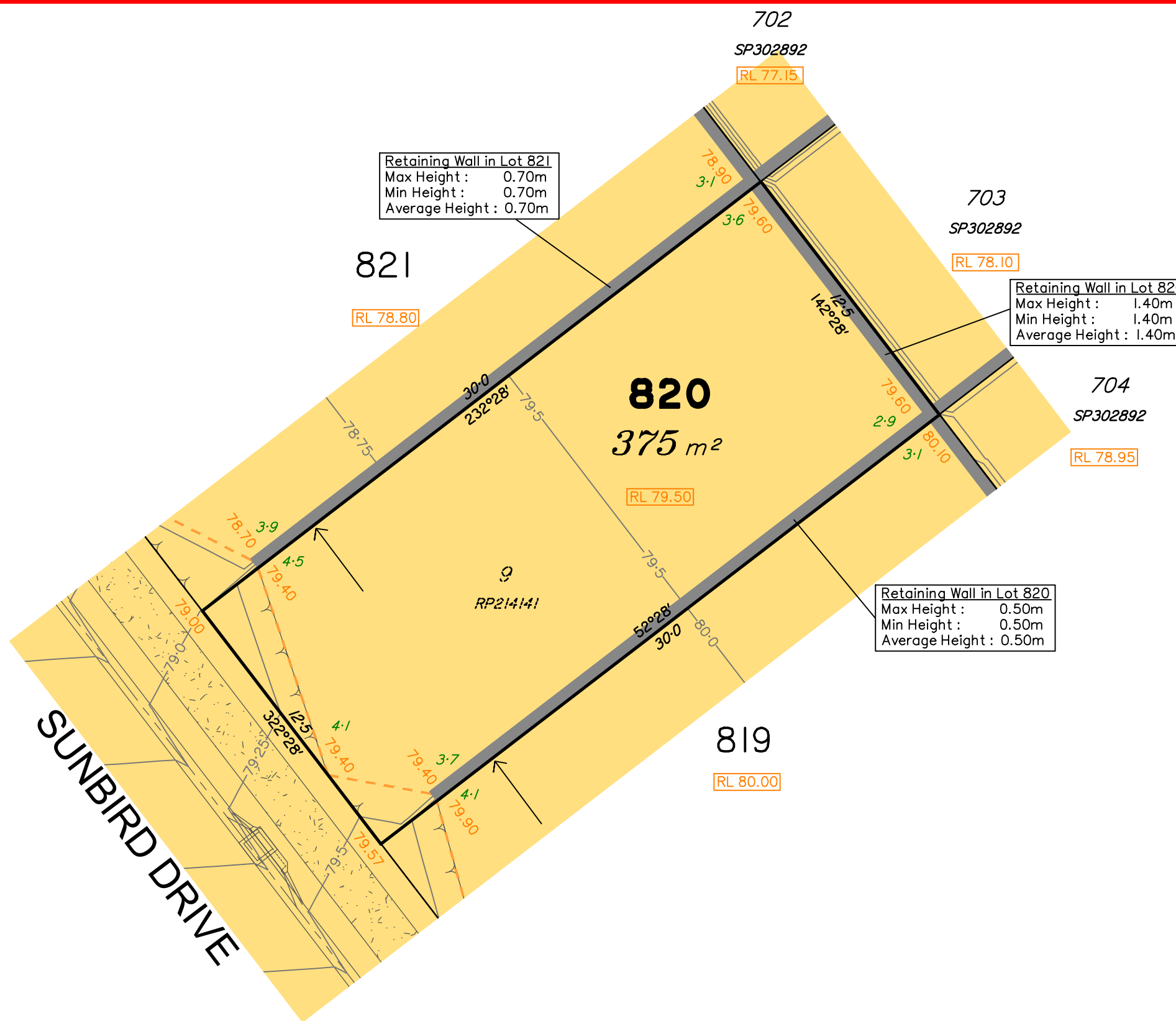
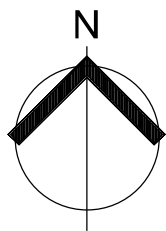
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## Disclosure Plan for Proposed Lot 819 (Restricted) on SP317663

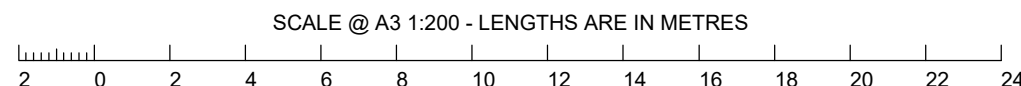
Described as part of Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_819



**EDEN'S CROSSING**  
STAGE 15A



### LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 820 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

# PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

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Saunders Havill Group Pty Ltd ABN 24 144 972 949  
Brisbane ■ Springfield ■ Rockhampton  
head office 9 Thompson St Bowen Hills Q 4006  
phone 1300 123 SHG web www.saundershavill.com

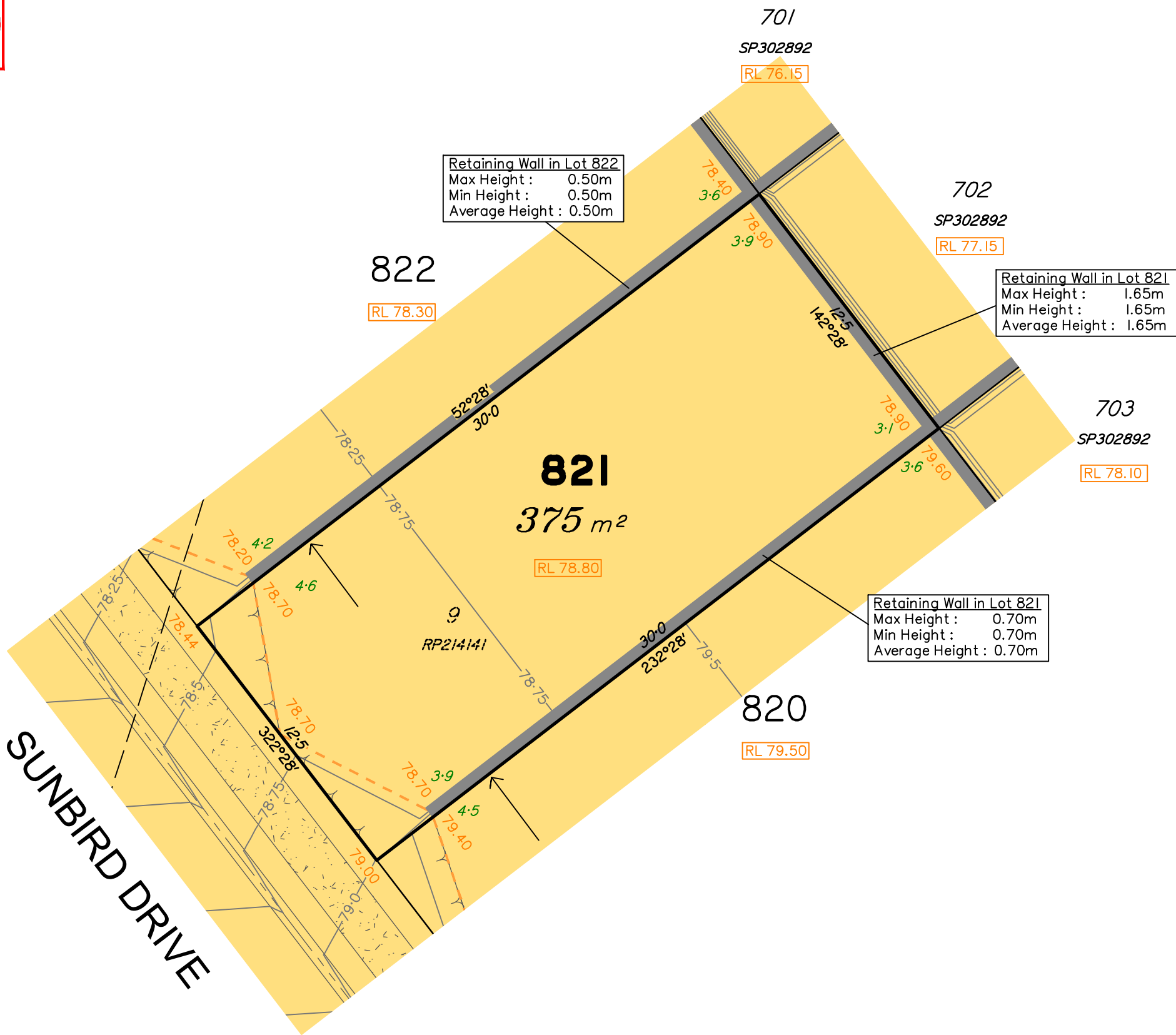
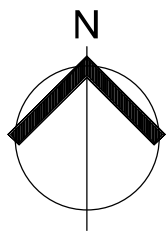
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## Disclosure Plan for Proposed Lot 820 (Restricted) on SP317663

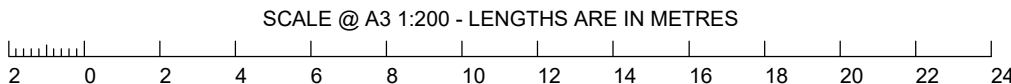
Described as part of Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_820



EDEN'S  
CROSSING  
STAGE 15A



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 821 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue



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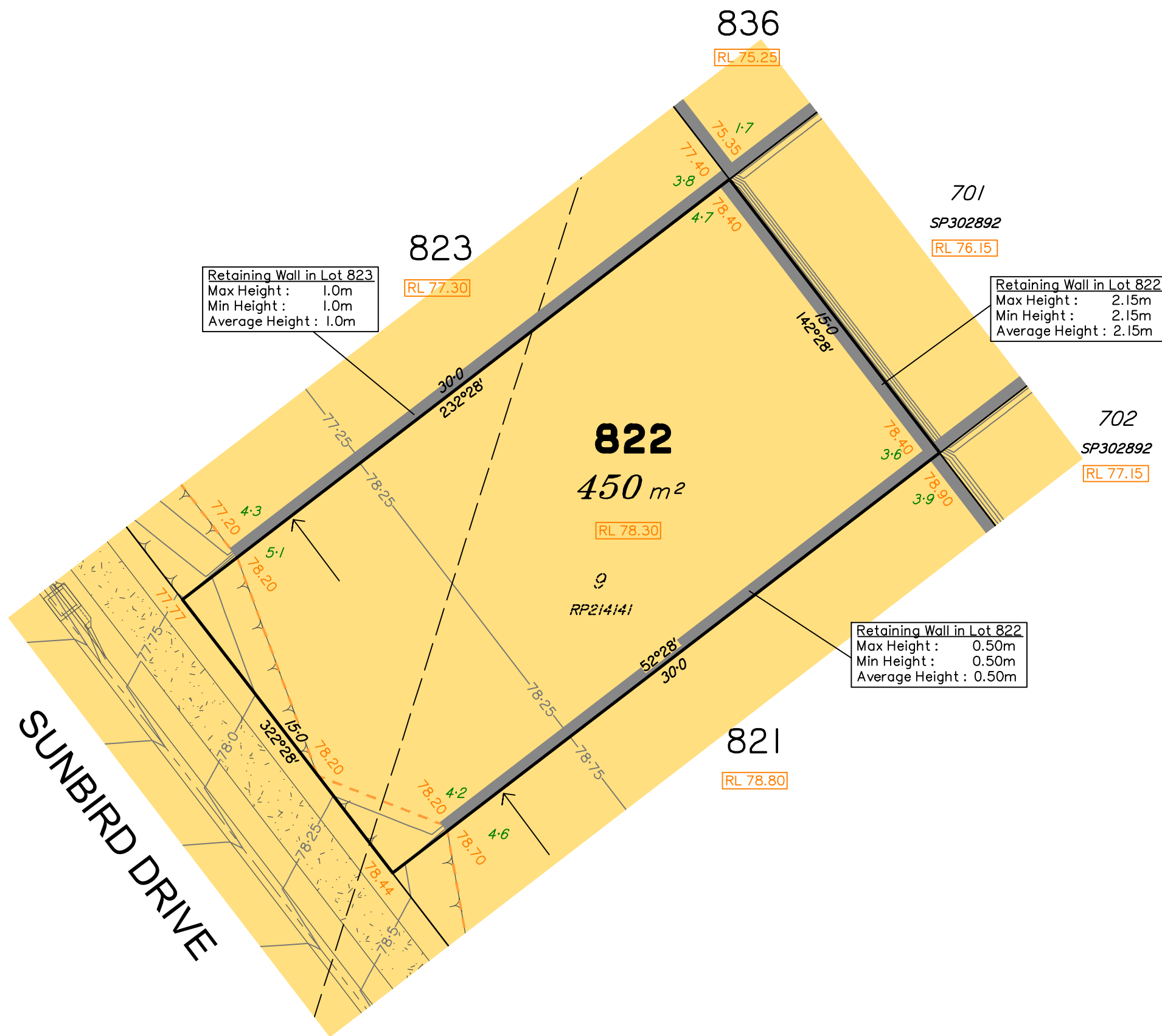
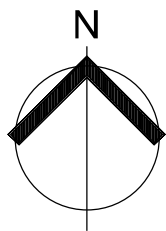
Disclosure Plan for Proposed Lot 821 (Restricted) on SP317663

Described as part of Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_821





**EDEN'S  
CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES

#### LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

#### NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 822 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

# PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

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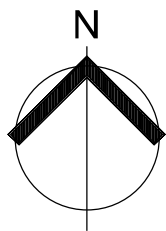
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#### Disclosure Plan for Proposed Lot 822 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_822



SUNBIRD DRIVE

EDEN'S  
CROSSING  
STAGE 15A



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## Disclosure Plan for Proposed Lot 823 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

## LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

## NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019.  
(Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

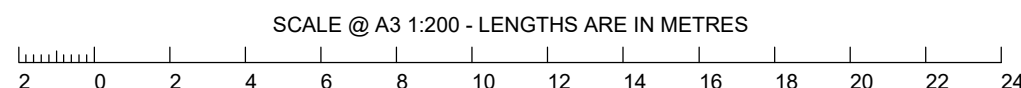
Part of Lot 823 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

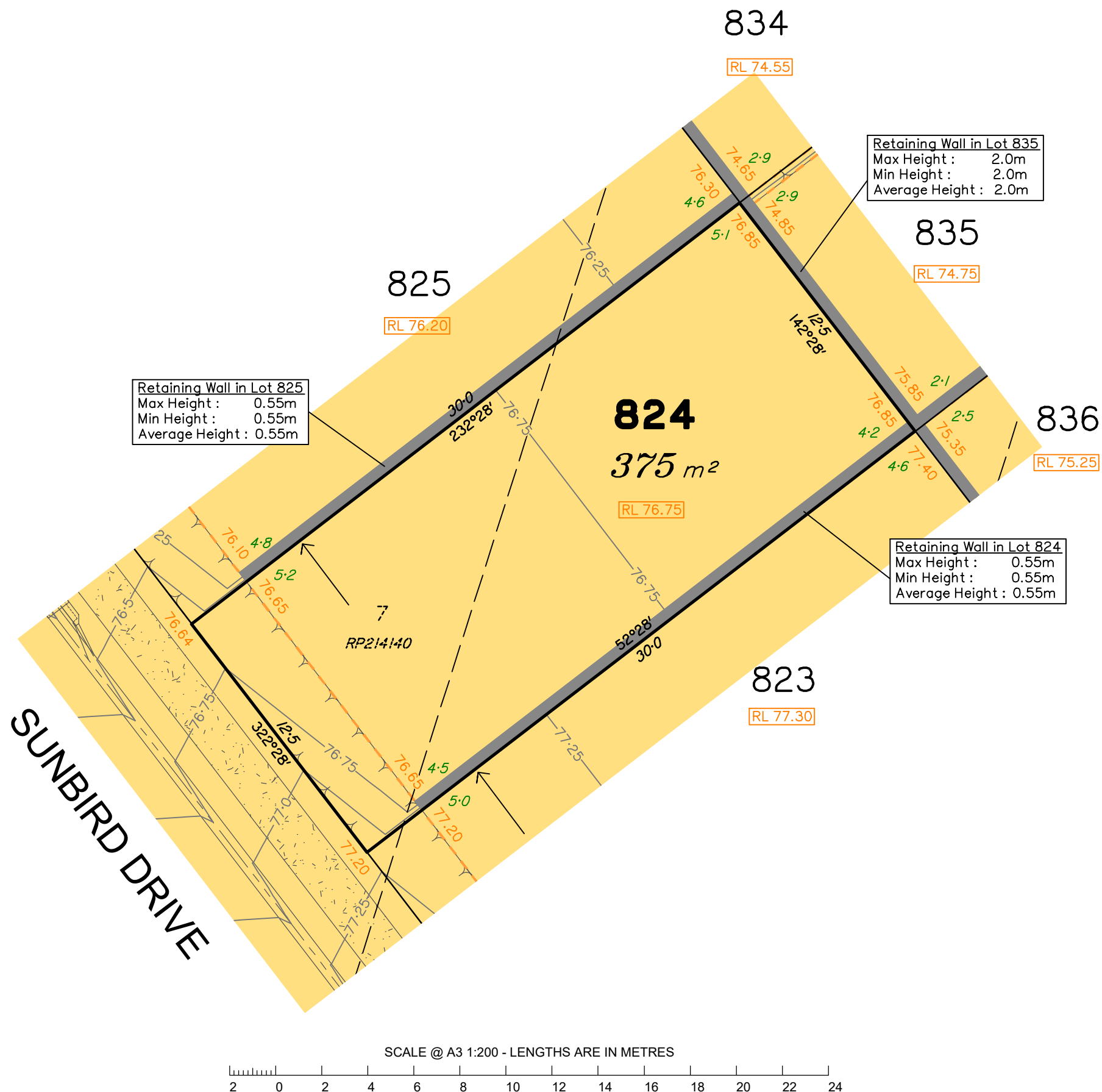
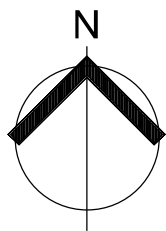
Part of Lot 823 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

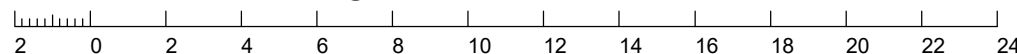
Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_823





**EDEN'S CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



#### LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

#### NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

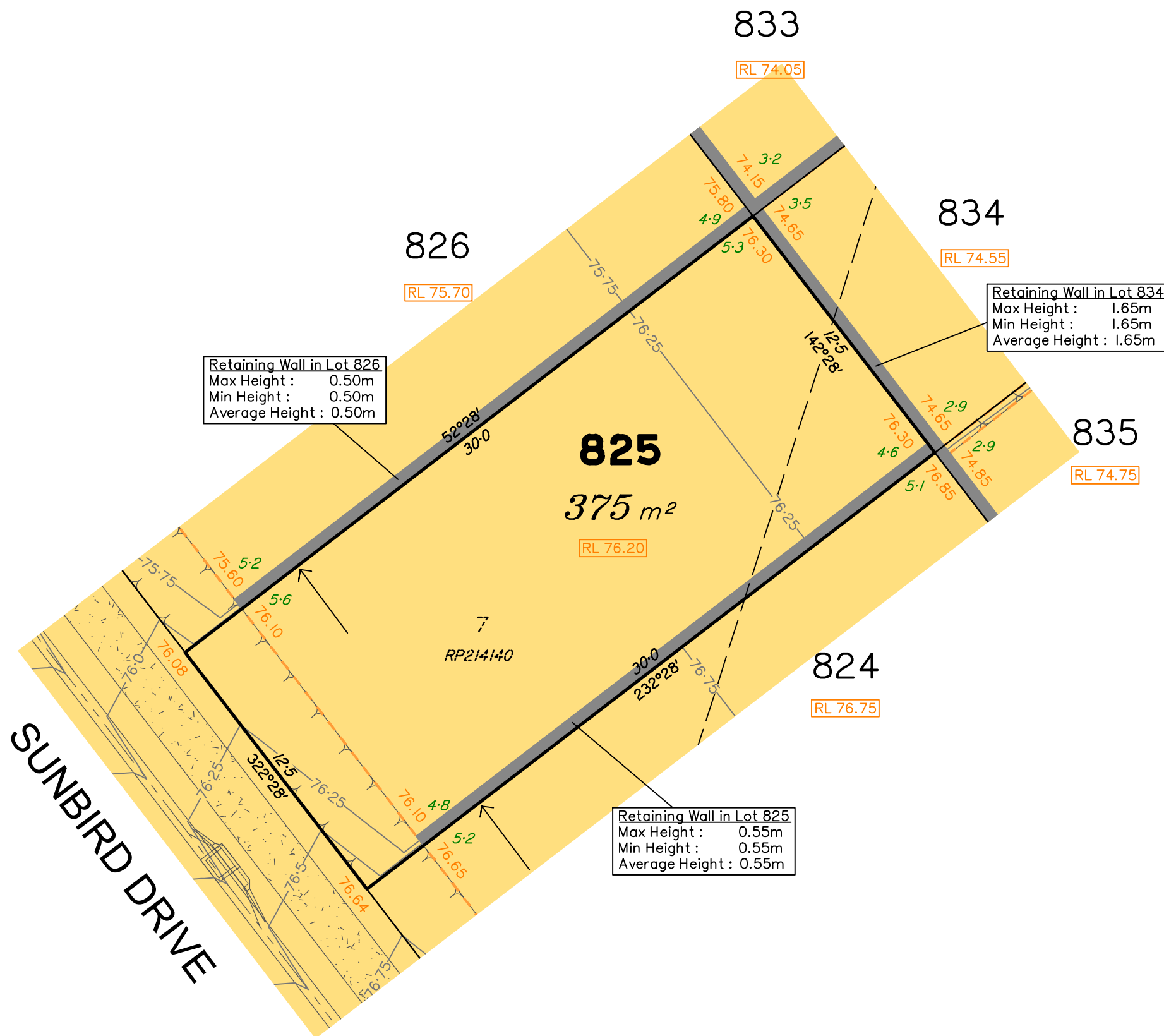
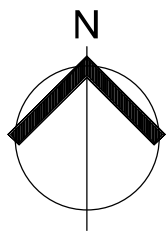
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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 824 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue



Retaining Wall in Lot 826  
Max Height : 0.50m  
Min Height : 0.50m  
Average Height : 0.50m

Retaining Wall in Lot 834  
Max Height : 1.65m  
Min Height : 1.65m  
Average Height : 1.65m

Retaining Wall in Lot 825  
Max Height : 0.55m  
Min Height : 0.55m  
Average Height : 0.55m

## LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

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## NOTES

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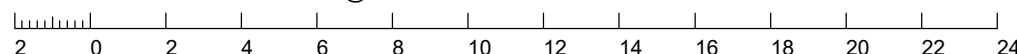
Part of Lot 825 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

# PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

**EDEN'S CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



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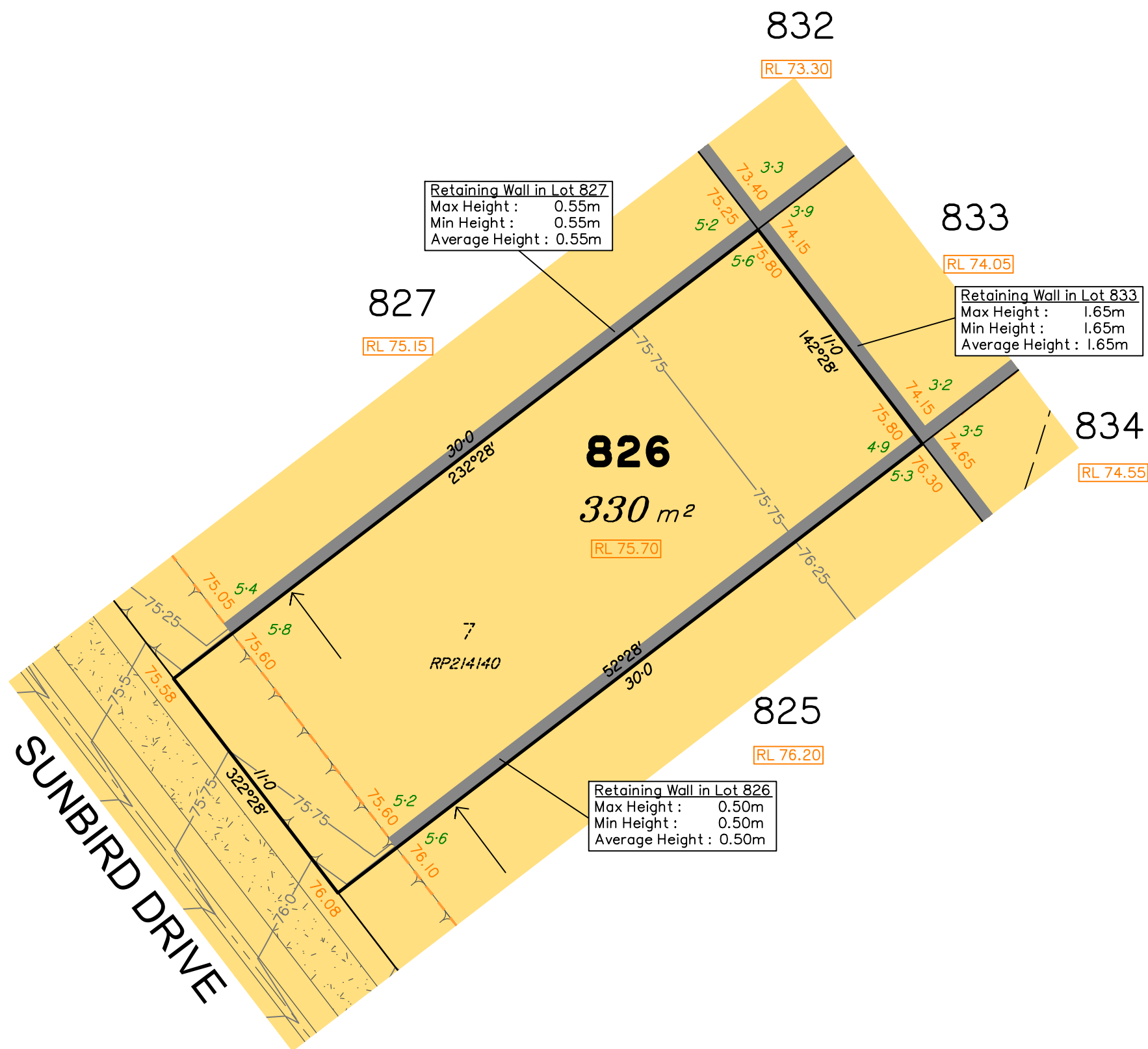
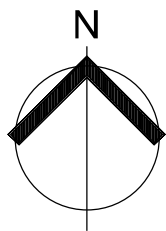
## Disclosure Plan for Proposed Lot 825 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

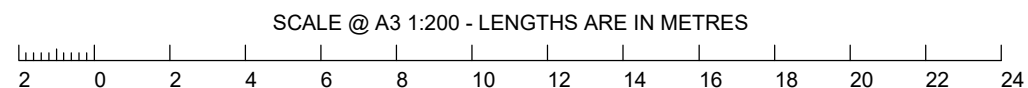
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_825





**EDEN'S CROSSING**  
STAGE 15A



#### LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

#### NOTES

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Lot 826 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

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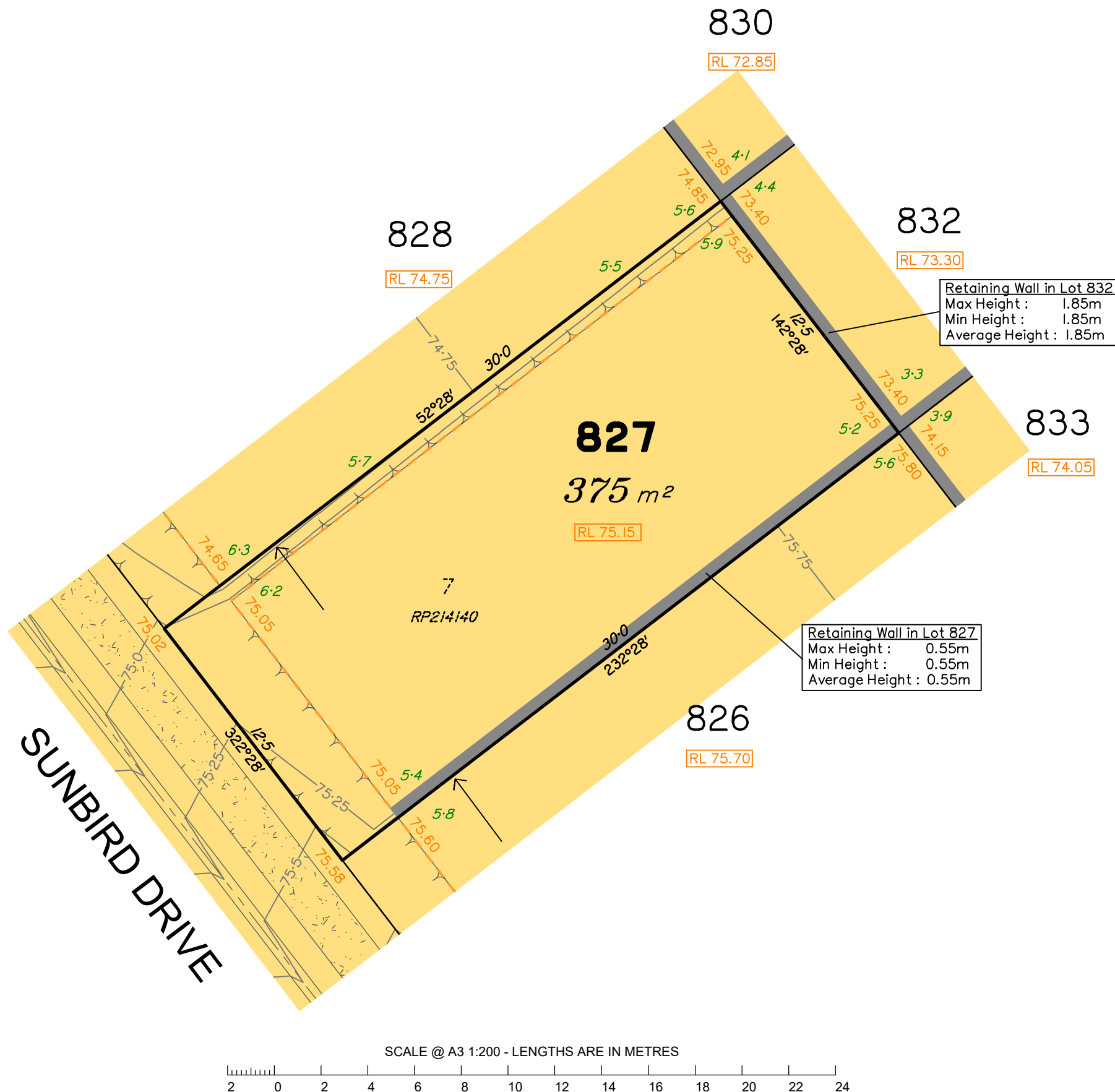
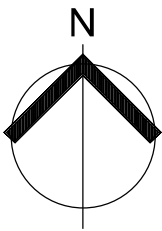
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#### Disclosure Plan for Proposed Lot 826 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

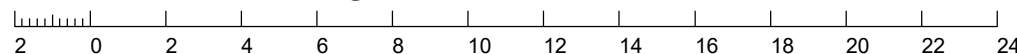
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_826



**EDEN'S  
CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



## LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

## NOTES

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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Lot 827 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

Any retaining walls exceeding 1.5m in height may be subject to change from single tier to double tier walls, pending advice / approval from Ipswich City Council.

# PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

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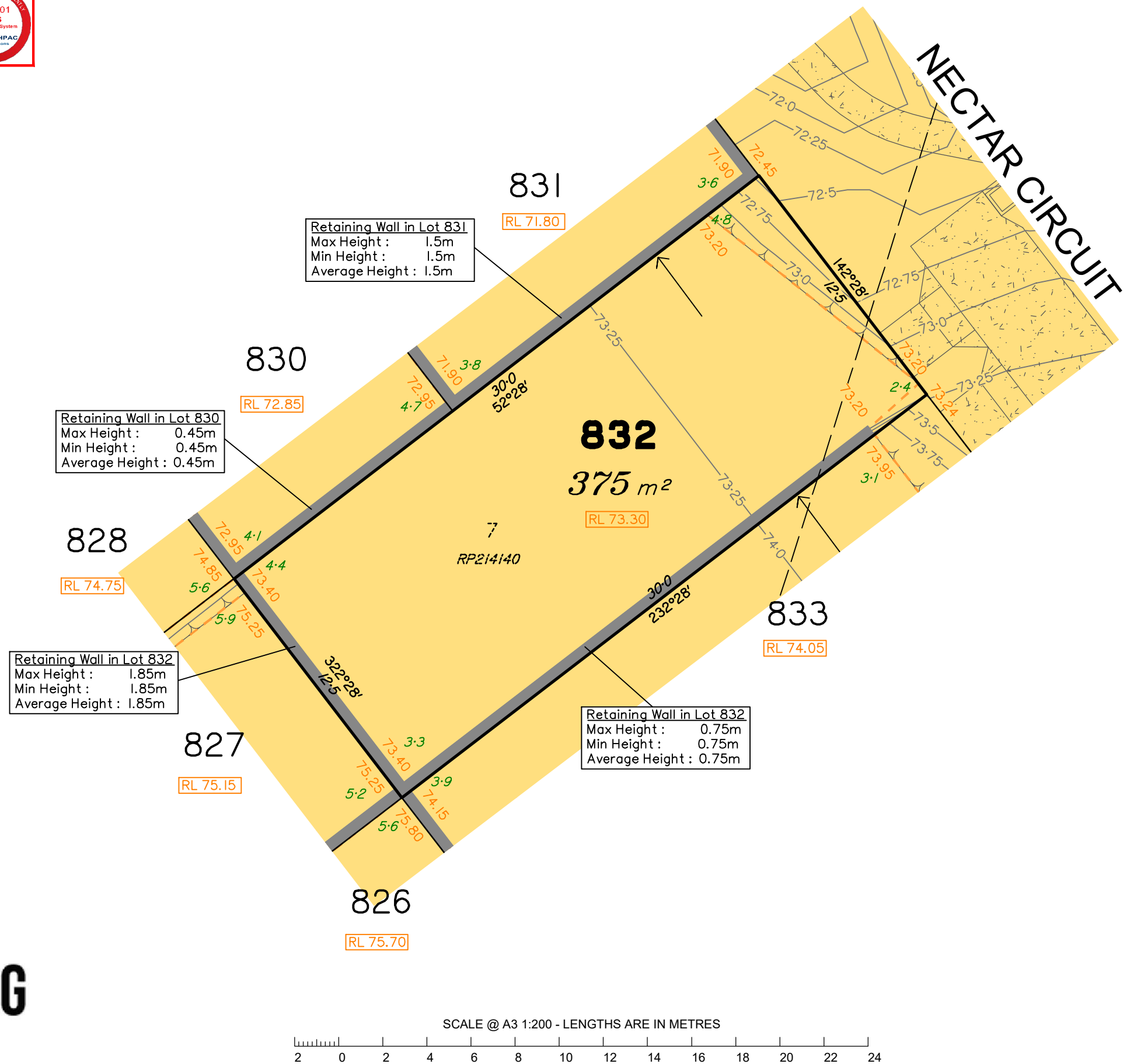
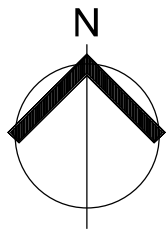
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## Disclosure Plan for Proposed Lot 827 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_827



LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

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All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 832 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

PEET

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

EDEN'S CROSSING  
STAGE 15A

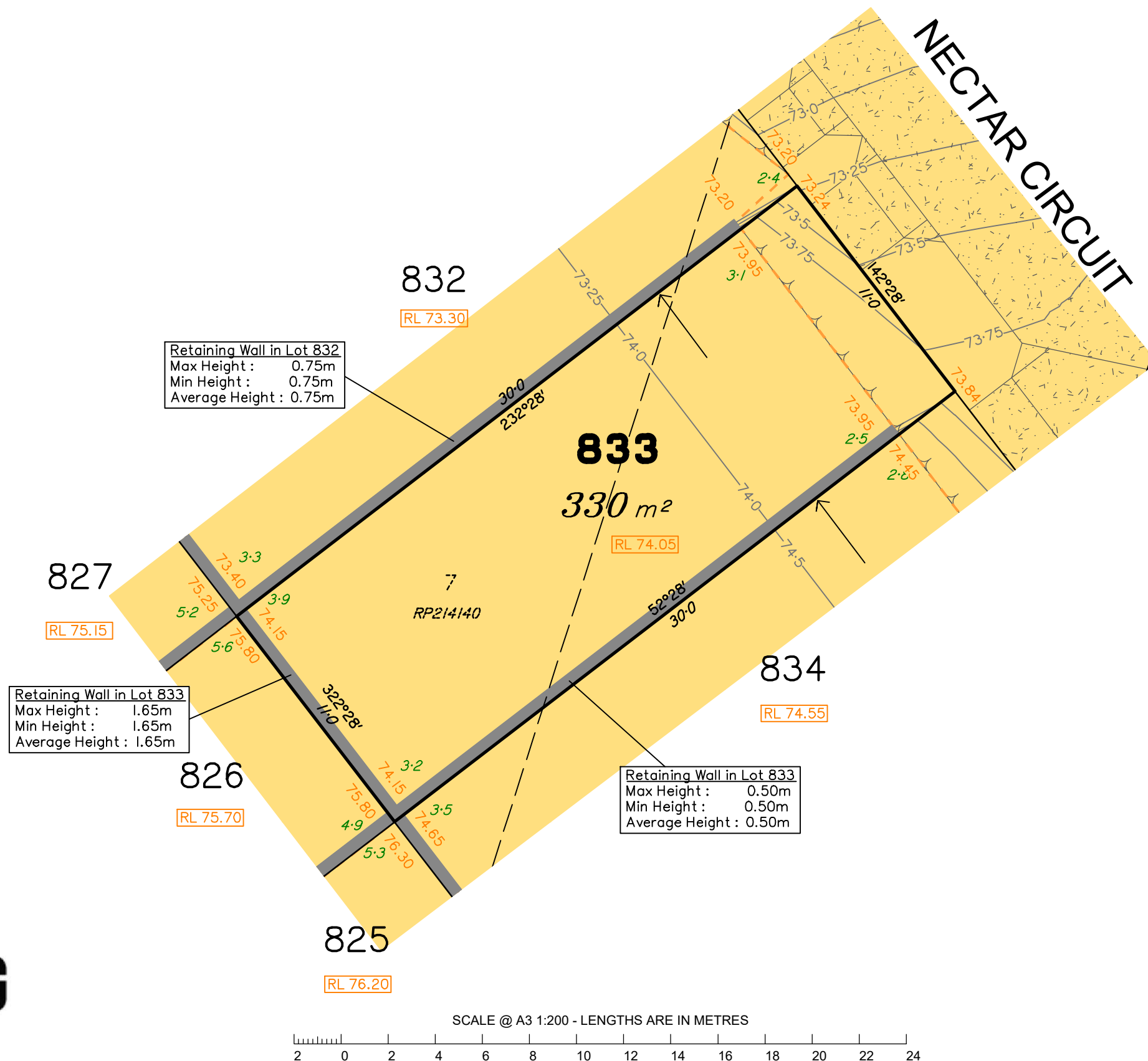
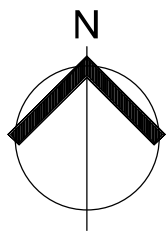
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Disclosure Plan for Proposed Lot 832 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_832



## LEGEND

	Area of Cut
	Area of Fill
	Design Contours
	Depth of Fill
	Top of Batter
	Proposed Future Lot Boundary
	Preferred Pad Level
	Retaining Wall
	Finished Surface Design Level
	Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

## NOTES

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Part of Lot 833 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

# PEET

No.	by	Date	Description
A	TBG	11/08/20	Original Issue

**EDEN'S CROSSING**  
STAGE 15A

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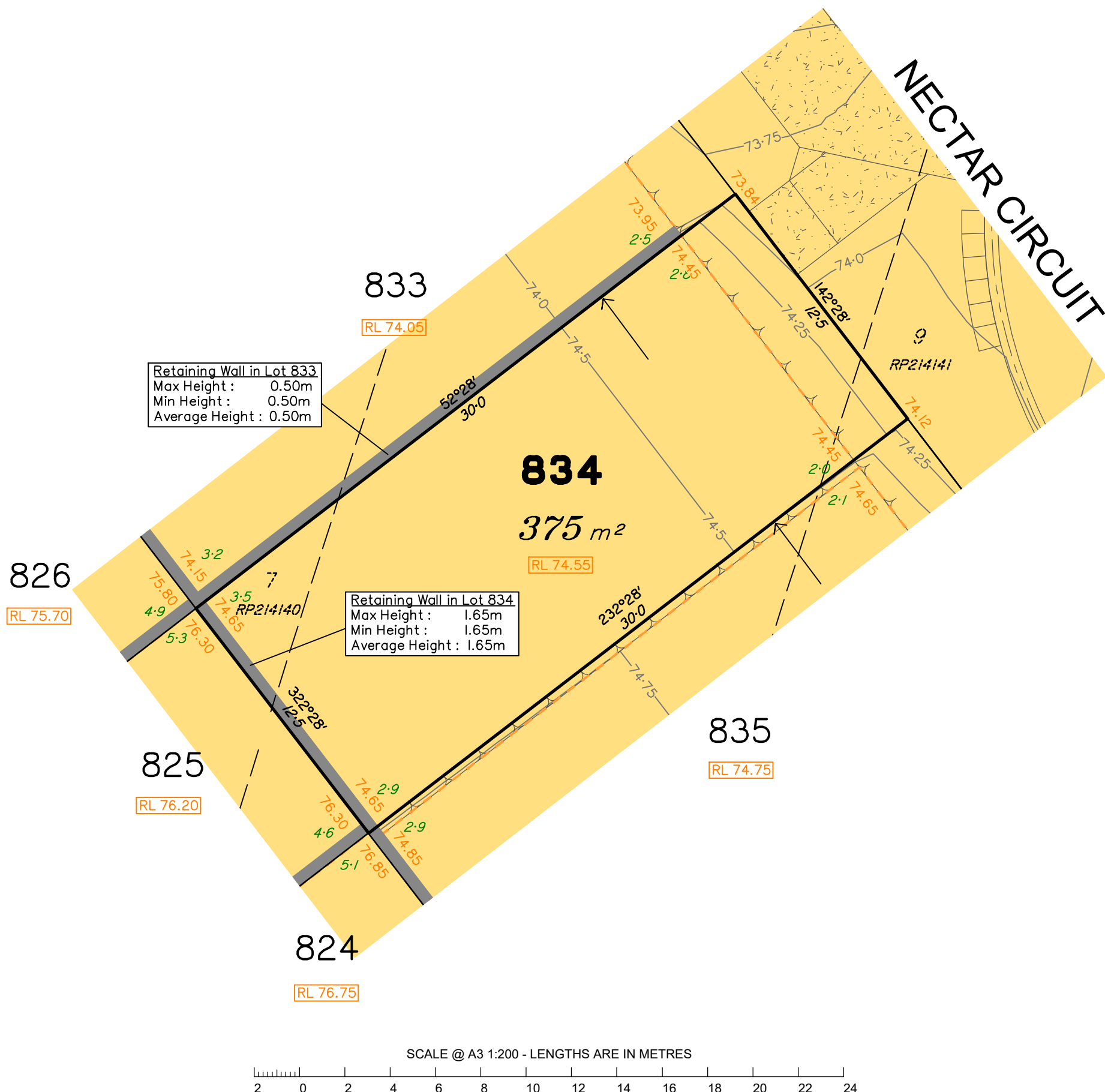
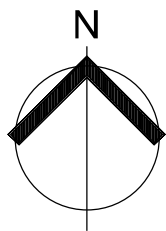
## Disclosure Plan for Proposed Lot 833 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604  
Existing Title Reference: 13725046

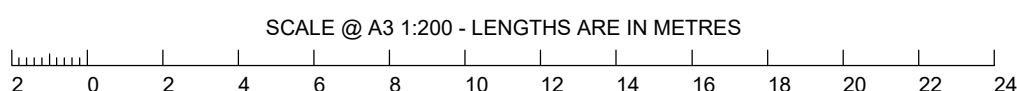
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_833





**EDEN'S  
CROSSING**  
STAGE 15A



- LEGEND**
- Area of Cut
  - Area of Fill
  - Design Contours
  - Depth of Fill
  - Top of Batter
  - Proposed Future Lot Boundary
  - Preferred Pad Level
  - Retaining Wall
  - Finished Surface Design Level
  - Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

**NOTES**

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Part of Lot 834 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

Part of Lot 834 is restricted to the depth of 18.288 metres below the surface, as defined by plan SL4604.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

**saunders havill group**

Saunders Havill Group Pty Ltd ABN 24 144 972 949

Brisbane Springfield Rockhampton

head office 9 Thompson St Bowen Hills Q 4006

phone 1300 123 SHG web www.saundershavill.com

■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly as-constructed purposes. This information is compiled from design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

**Disclosure Plan for Proposed Lot 834 (Restricted) on SP317663**

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892

Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.

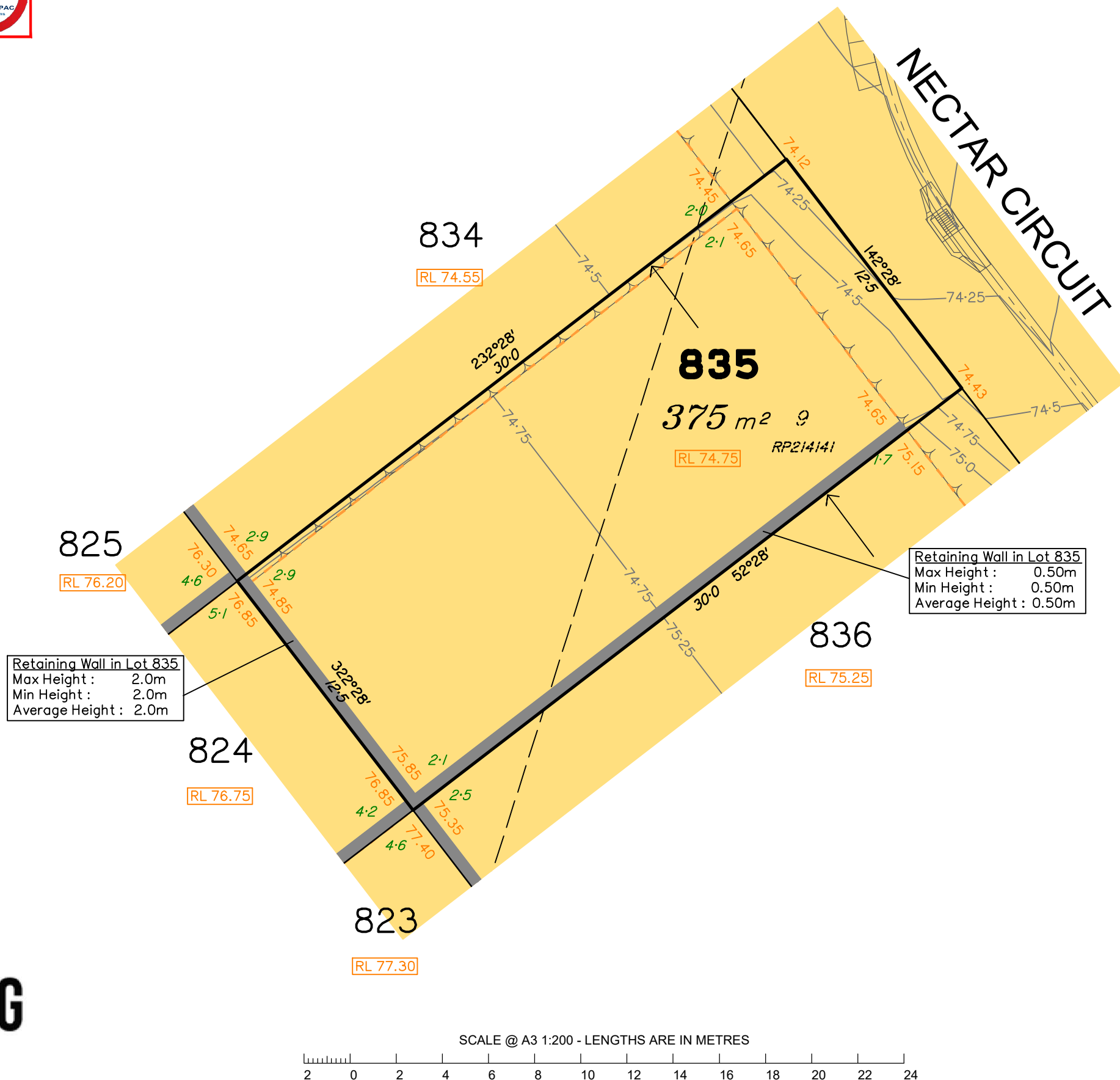
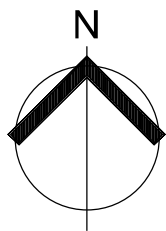
Origin of Levels: PM203676

RL of Origin: 74.071

Contour Interval: 0.25m

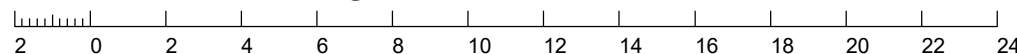
Scale @A3 1: 200

Plan No. 9112 S 02 DP A\_834



**EDEN'S  
CROSSING**  
STAGE 15A

SCALE @ A3 1:200 - LENGTHS ARE IN METRES



## LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

## NOTES

This plan has been prepared from preliminary survey plan (SP317663) and engineering data provided on the 23/07/2020 by KN Group Pty Ltd.

Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 835 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue

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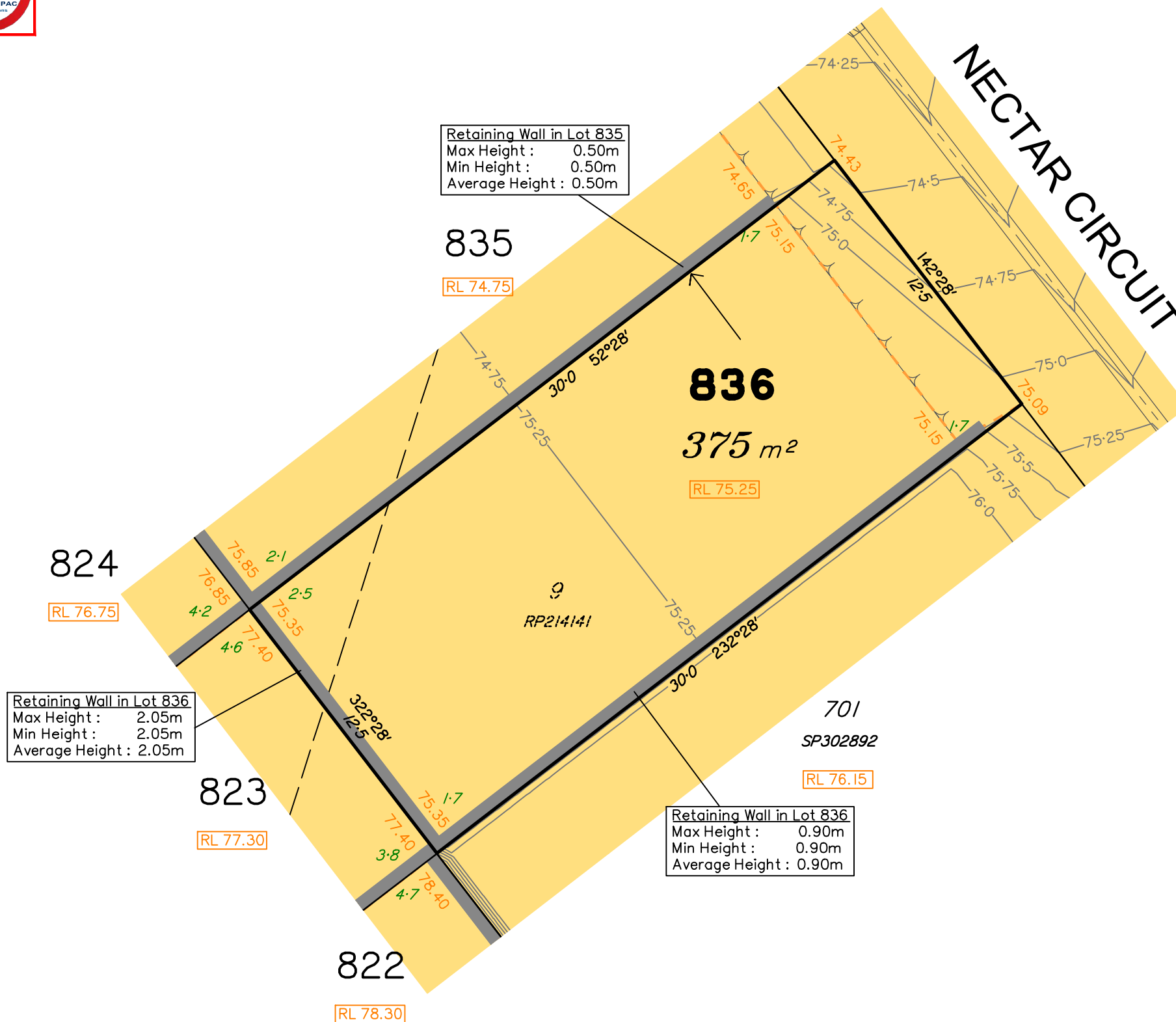
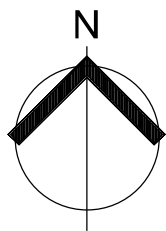
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## Disclosure Plan for Proposed Lot 835 (Restricted) on SP317663

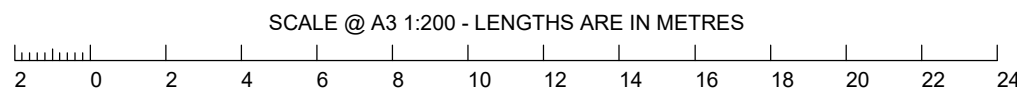
Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_835



**EDEN'S CROSSING**  
STAGE 15A



#### LEGEND

- Area of Cut
- Area of Fill
- Design Contours
- Depth of Fill
- Top of Batter
- Proposed Future Lot Boundary
- Preferred Pad Level
- Retaining Wall
- Finished Surface Design Level
- Optional Built to Boundary Wall Location

(Not all items in this legend may be relevant to the lot shown hereon)

#### NOTES

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Development approval was granted for this subdivision by the Ipswich City Council on 12.09.2019. (Application No: 2098/2015/MAOC/A)

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007. A minimum of 1.7m of fill to compaction Level 1, is present on all Stage 15 Lots.

Part of Lot 836 is restricted to the depth of 15.24 metres below the surface, as defined by plan M3172.

**PEET**

Issues	No.	by	Date	Description
	A	TBG	11/08/20	Original Issue



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#### Disclosure Plan for Proposed Lot 836 (Restricted) on SP317663

Described as part of Lot 89 (Restricted) on SL4604 & Lot 9001 (Restricted) on SP302892  
Existing Title Reference: 13725046 & 51212946

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PM203676  
RL of Origin: 74.071  
Contour Interval: 0.25m  
Scale @A3 1: 200  
Plan No. 9112 S 02 DP A\_836