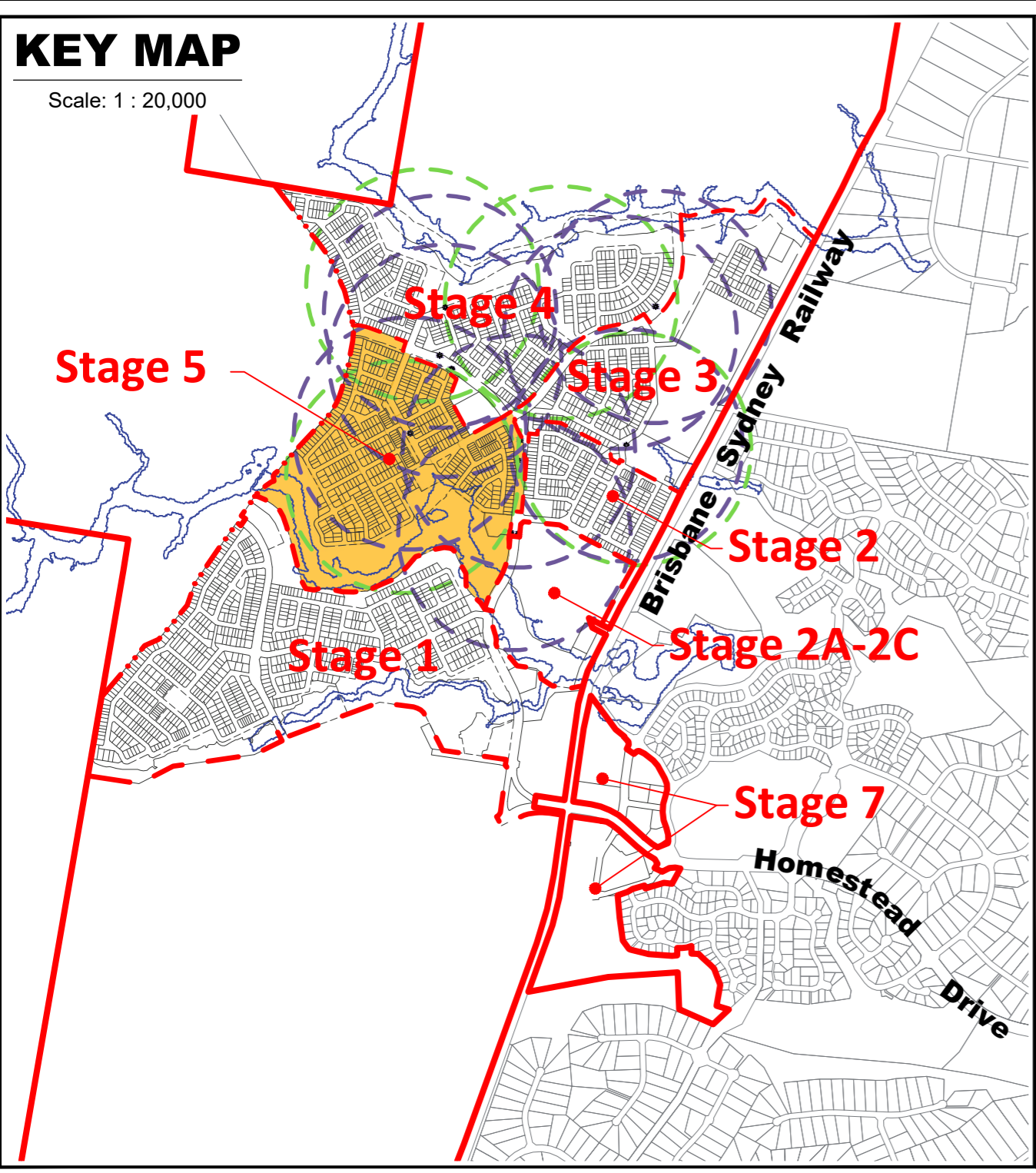


**KEY MAP**

Scale: 1 : 20,000



**Legend**

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- ▨ Entry Statements - Lease
- \* Indicative Indented Bus Stop Location
- \* Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

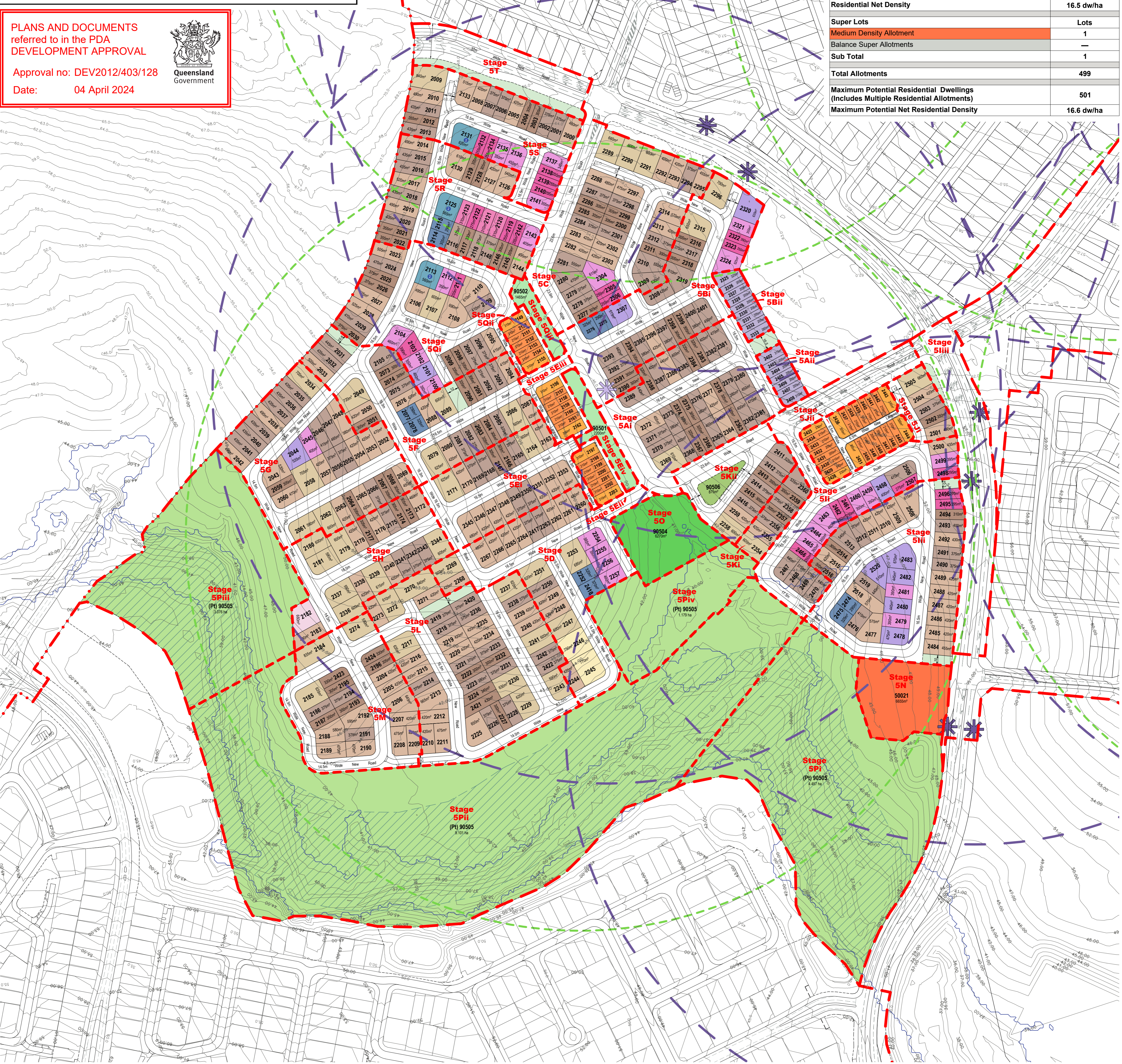
Land Budget Stage 5		
Land Use	Overall	
	Area	Area
Area of Subject Site	52.172 ha	100.0%
Saleable Area		
Residential Allotments	19.984 ha	38.3%
Medium Density Allotment	0.666 ha	1.3%
Balance Super Allotments	—	0.0%
<b>Total Area of Allotments</b>	<b>20.650 ha</b>	<b>39.6%</b>
Road		
Collector Road	3.529 ha	6.8%
Local Road	8.671 ha	16.6%
Linear Connections	0.429 ha	0.8%
Entry Statements	—	0.0%
<b>Total Area of New Road</b>	<b>12.629 ha</b>	<b>24.2%</b>
Open Space		
Corridor Park	17.812 ha	34.1%
Conservation (Within Corridor Park)	—	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	0.627 ha	1.2%
Local Recreation Park	0.088 ha	0.2%
Local Linear Recreation Park	0.366 ha	0.7%
Stormwater Detention	—	0.0%
<b>Total Open Space</b>	<b>18.893 ha</b>	<b>36.2%</b>

Yield Breakdown Stage 5				
Residential Allotments				Overall
Urban & Nano Allotments Product	Typical Size	Typical Area		
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	0.0%
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	16	3.2%
<b>Subtotal</b>			<b>16</b>	<b>3.2%</b>
16m Deep Product				
Squat Allotment	14 x 16m	220m <sup>2</sup>	10	2.0%
<b>Subtotal</b>			<b>10</b>	<b>2.0%</b>
25m Deep Product				
Villa Allotment	10 x 25m	250m <sup>2</sup>	21	4.2%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	3	0.6%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	25	5.0%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	10	2.0%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	1	0.2%
Possible Multiple Residential Allotment	—	—	3	0.6%
<b>Subtotal</b>			<b>63</b>	<b>12.7%</b>
28m - 30m Deep Product				
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	33	6.6%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	12	2.4%
<b>Subtotal</b>			<b>45</b>	<b>9.0%</b>
30m Deep Product				
Villa Allotment	10 x 30m	300m <sup>2</sup>	72	14.5%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	123	24.7%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	124	24.9%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	43	8.6%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	2	0.4%
Possible Multiple Residential Allotment	—	—	—	0.0%
<b>Subtotal</b>			<b>364</b>	<b>73.1%</b>
<b>Total Residential Allotments</b>			<b>498</b>	<b>100%</b>
<b>Residential Net Density</b>				<b>16.5 dw/ha</b>
<b>Super Lots</b>				<b>Lots</b>
Medium Density Allotment			1	
Balance Super Allotments			—	
<b>Sub Total</b>			<b>1</b>	
<b>Total Allotments</b>			<b>499</b>	
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>				<b>501</b>
<b>Maximum Potential Net Residential Density</b>				<b>16.6 dw/ha</b>

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024



Scale 1 : 2000 @ A1

**TO BE READ IN CONJUNCTION WITH 110056 - 404**

REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change	<b>Flagstone Precinct 1</b>	PEET
Z: 08/06/2022 Entry Statement Lease Areas		
AA: 16/06/2022 Temporary STF Notation	Job Ref. 110056	Date. 12 February 2024
AB: 20/09/2022 Stage 3 & 5 Layout Changes	Comp By. NF	DWG Name. Precinct 1 Stage 5
AC: 14/11/2022 Stage 5 Boundary Changes	Chk'd By. MD	Locality. Flagstone
AD: 10/01/2023 Stage 3 & 4 Layout Changes	Local Authority. Economic Development Queensland	
AE: 24/02/2023 Stage 3 & 5 Layout Changes		
AF: 20/03/2023 Stage 3 & 5 Layout Changes		
AG: 13/04/2023 Stage 3 & 5 Layout Changes		
AH: 25/07/2023 Stage 4 Layout Changes		
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		

REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change	<b>Flagstone Precinct 1</b>	PEET
Z: 08/06/2022 Entry Statement Lease Areas		
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AH: 25/07/2023 Stage 4 Layout Changes		
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		

CLIENT

**PEET**

Plan of Subdivision  
Stage 5 Overall  
Allotment Layout

Scale 1 : 2000	Sheet A1	Plan Ref 110056 - 403	Rev AJ
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**RPS**

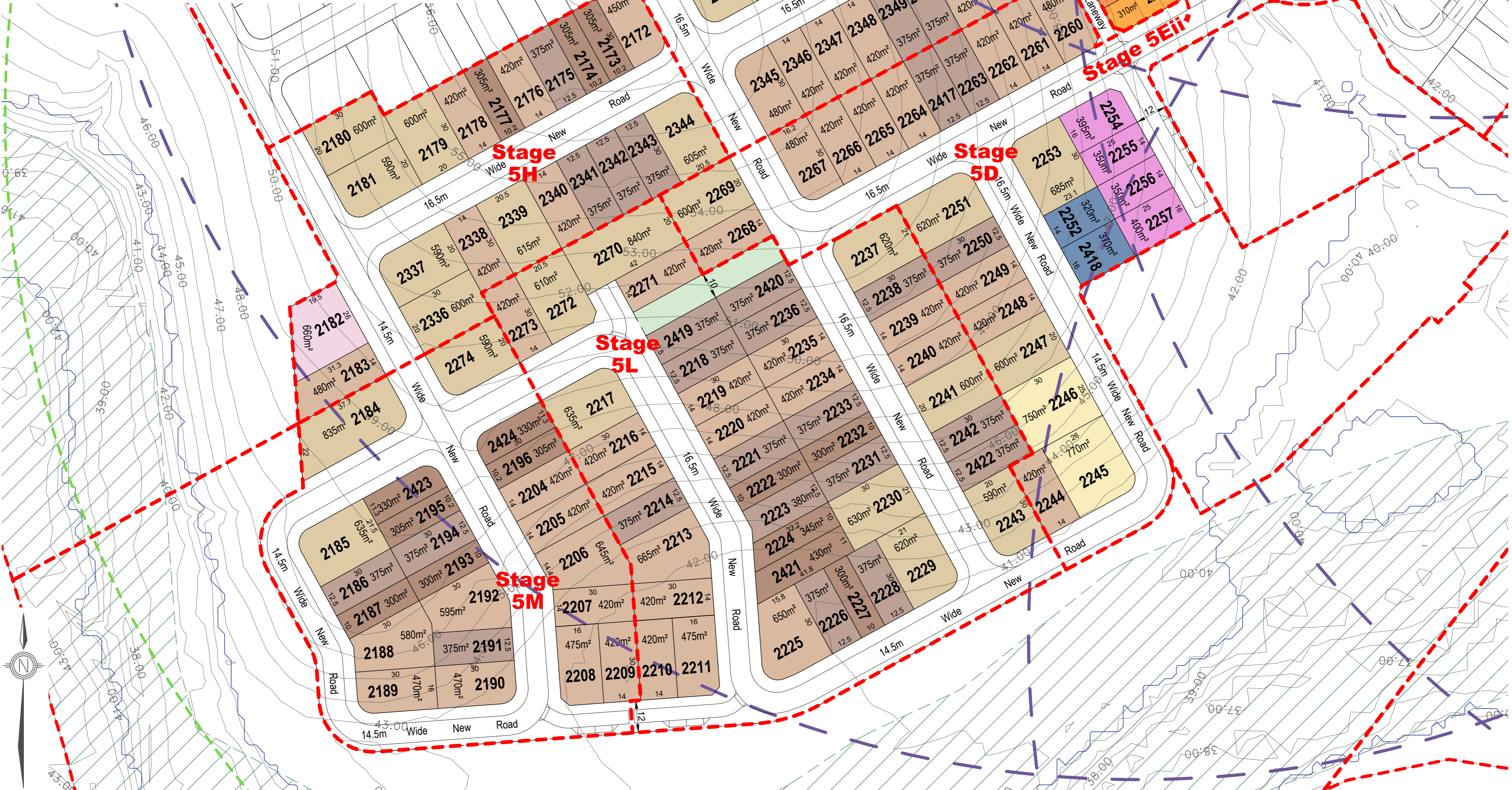
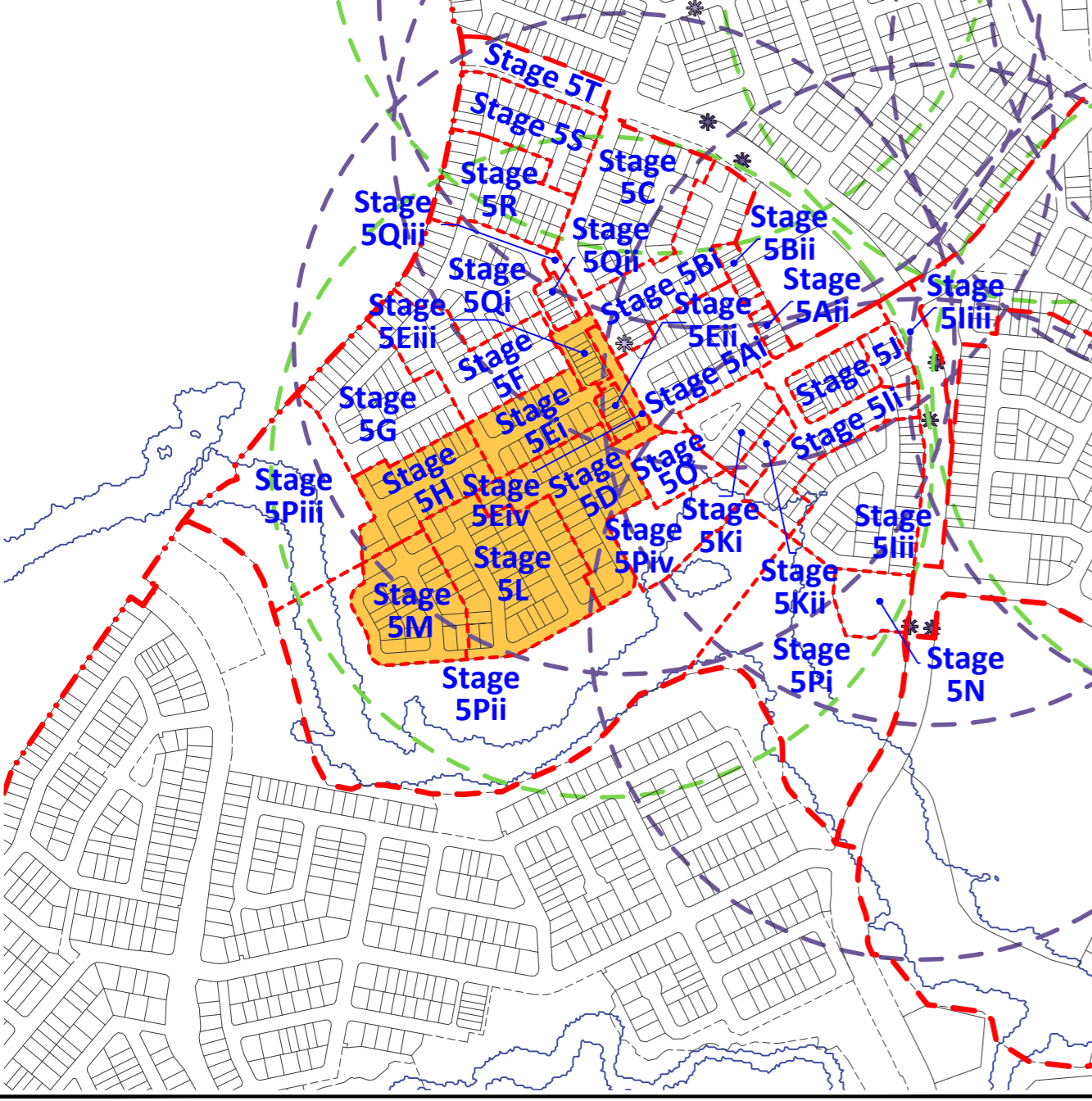
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**KEY MAP**

Scale: 1 : 7,500



Yield Breakdown											
Residential Allotments		Typical Size	Typical Area	Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5H	Stage 5L	Stage 5M	Overall
<b>Urban &amp; Nano Allotments Product</b>											
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>											0.0%
<b>16m Deep Product</b>											
Squat Allotment	14 x 16m	220m <sup>2</sup>	2	—	—	—	—	—	—	—	1.4%
<b>Subtotal</b>			2	—	—	—	—	—	—	—	1.4%
<b>25m Deep Product</b>											
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	4	—	—	—	—	—	—	—	2.8%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	1	—	—	—	0.7%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			4	—	—	—	—	1	—	—	3.5%
<b>28m - 30m Deep Product</b>											
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	5	5	—	—	—	—	10.0%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	2	2	—	—	—	—	2.8%
<b>Subtotal</b>			—	—	7	7	—	—	—	—	14.8%
<b>30m Deep Product</b>											
Villa Allotment	10 x 30m	300m <sup>2</sup>	—	2	—	—	—	3	5	6	11.2%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	3	5	—	—	4	14	3	29	20.3%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	11	9	—	—	6	15	10	51	35.7%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	4	2	—	—	7	8	3	24	16.8%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	2	—	—	—	—	—	—	2	1.4%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			20	18	—	—	—	20	42	22	85.3%
<b>Total Residential Allotments</b>			26	18	7	7	21	42	22	143	100.0%
<b>Residential Net Density</b>			13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	15.4 dw/ha	15.3 dw/ha	13.3 dw/ha		
<b>Super Lots</b>											
Medium Density Allotment			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	
Balance Super Allotments			—	—	—	—	—	—	—	—	
<b>Sub Total</b>			—	—	—	—	—	—	—	—	
<b>Total Allotments</b>			26	18	7	7	21	42	22	143	
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			26	18	7	7	21	42	22	143	
<b>Maximum Potential Net Residential Density</b>			13.3 dw/ha	15.4 dw/ha	35.2 dw/ha	21.0 dw/ha	15.4 dw/ha	15.3 dw/ha	13.3 dw/ha		

**Legend**

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Intended Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

**Note:**

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m<sup>2</sup>. The boundaries shown on this plan should not be used for final detailed engineers design.

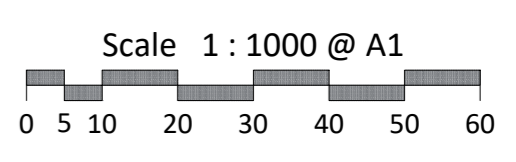
Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

**PLANS AND DOCUMENTS** referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024



Land Use	Land Budget								Overall	
	Stage 5D	Stage 5Ei	Stage 5Eii	Stage 5Eiii	Stage 5Eiv	Stage 5H	Stage 5L	Stage 5M		
<b>Area of Subject Site</b>	1.949 ha	1.171 ha	0.199 ha	0.334 ha	0.220 ha	1.366 ha	2.740 ha	1.648 ha	9.627 ha	100.0%
<b>Saleable Area</b>										
Residential Allotments	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	0.990 ha	1.892 ha	0.999 ha	6.185 ha	64.2%
Medium Density Allotment	—	—	—	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	0.0%
<b>Total Area of Allotments</b>	1.208 ha	0.762 ha	0.167 ha	0.167 ha	—	0.990 ha	1.892 ha	0.999 ha	6.185 ha	64.2%
<b>Road</b>										
Collector Road	—	—	—	—	—	—	—	—	—	0.0%
Local Road	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.376 ha	0.788 ha	0.649 ha	3.162 ha	32.8%
Linear Connections	—	—	—	—	—	—	0.060 ha	—	0.060 ha	0.6%
Entry Statements	—	—	—	—	—	—	—	—	—	0.0%
<b>Total Area of New Road</b>	0.741 ha	0.409 ha	0.032 ha	0.167 ha	—	0.376 ha	0.848 ha	0.649 ha	3.222 ha	33.5%
<b>Open Space</b>										
Corridor Park	—	—	—	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.220 ha	—	—	—	0.220 ha	2.3%
Stormwater Detention	—	—	—	—	—	—	—	—	—	0.0%
<b>Total Open Space</b>	—	—	—	—	0.220 ha	—	—	—	0.220 ha	2.3%

REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change	<b>Flagstone Precinct 1</b>	PEET
Z: 08/06/2022 Entry Statement Lease Areas		
AA: 16/06/2022 Temporary STF Notation	Job Ref. 110056	Date. 12 February 2024
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AG: 13/04/2023 Stage 3 & 5 Layout Changes		
AH: 25/07/2023 Stage 4 Layout Changes		
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		

REVISION	PROJECT	CLIENT
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Z: 08/06/2022 Entry Statement Lease Areas		
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AJ: 12/02/2024 Stage 5R Layout Change		

CLIENT: PEET

Plan of Subdivision  
Stage 5D, Ei, Eii, Eiii, Eiv, H, L & M  
Allotment Layout

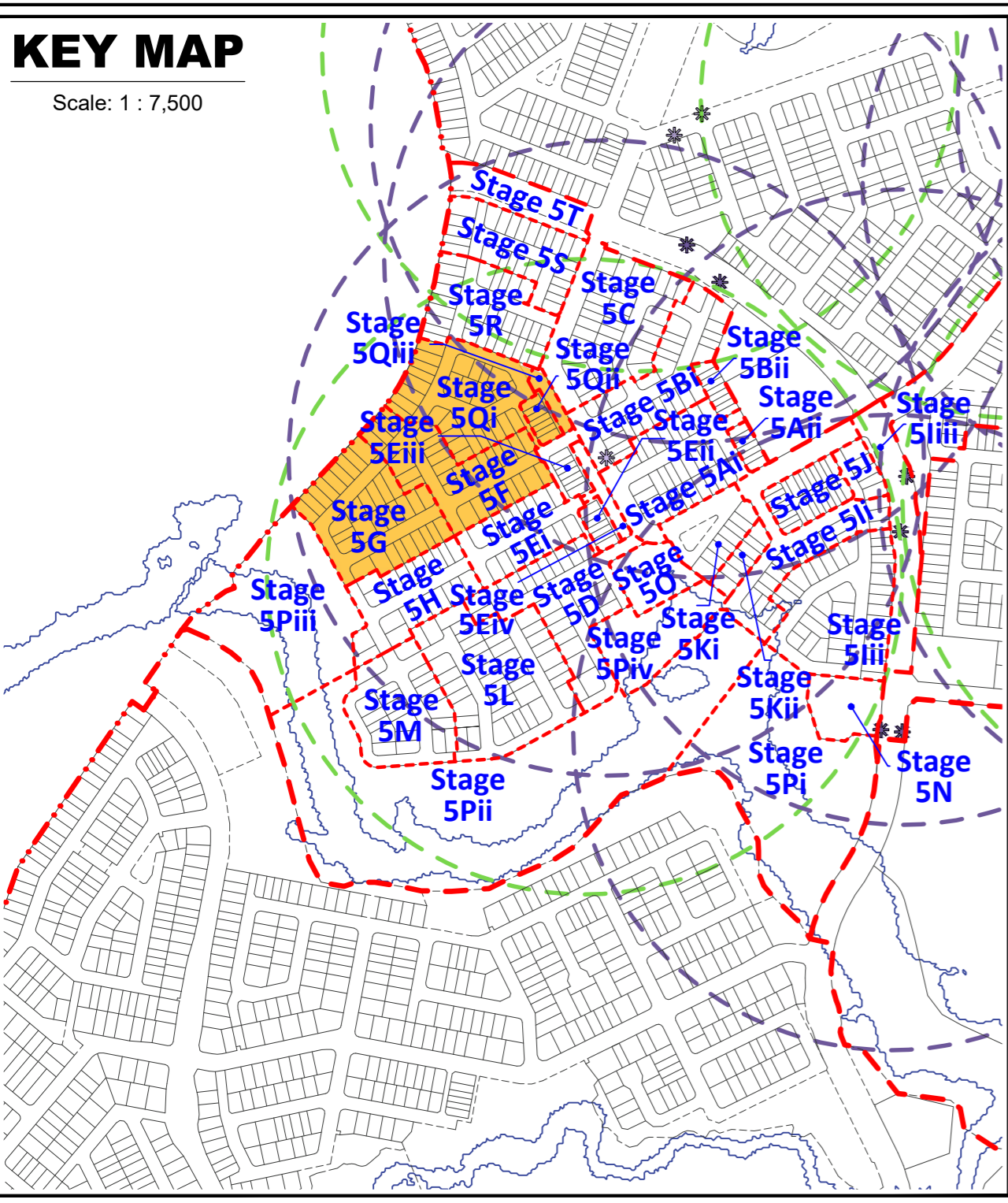
Scale: 1 : 1000	Sheet: A1	Plan Ref: 110056 - 405	Rev: AJ
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**KEY MAP**

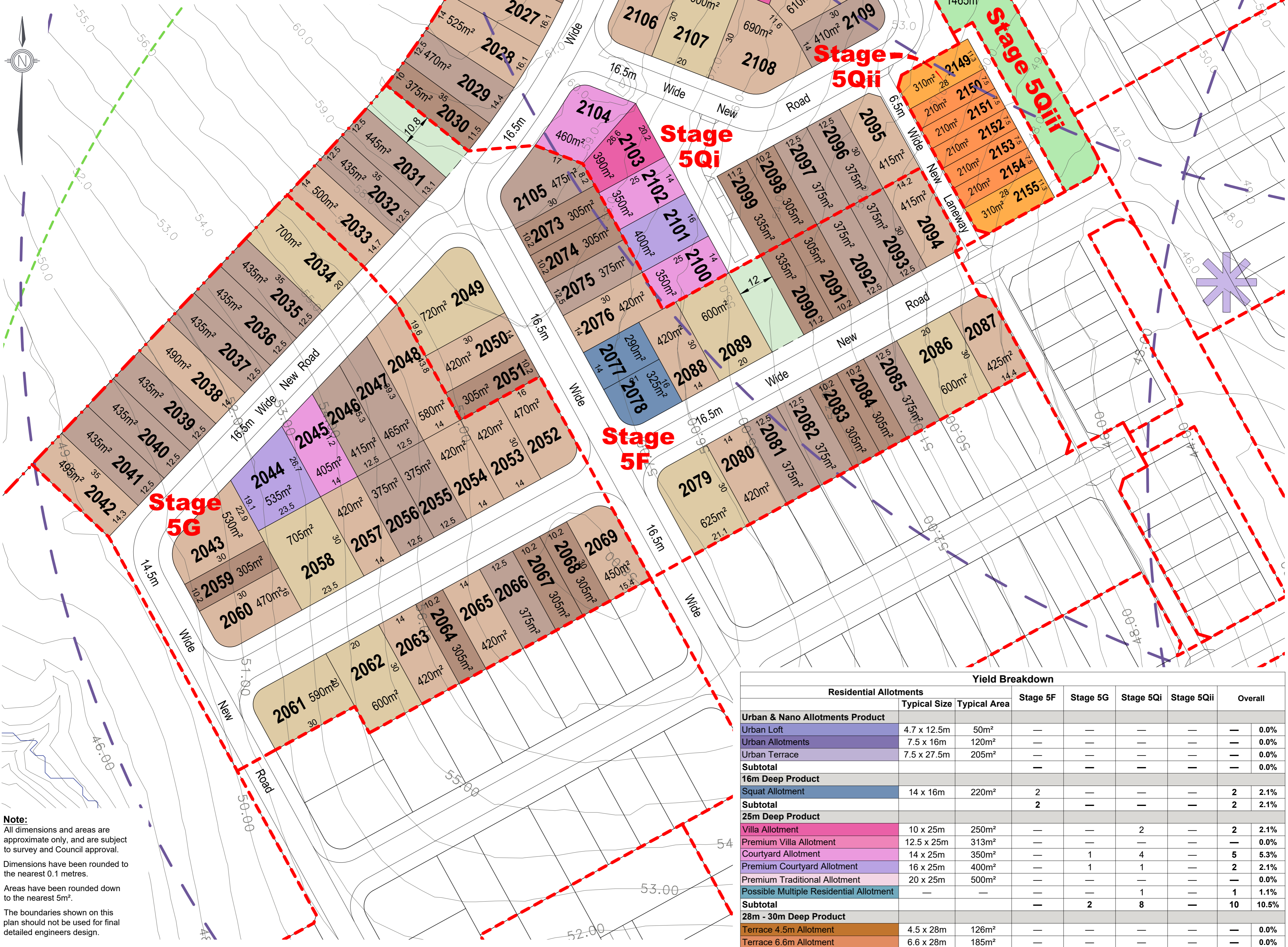
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL



Approval no: DEV2012/403/128  
Date: 04 April 2024



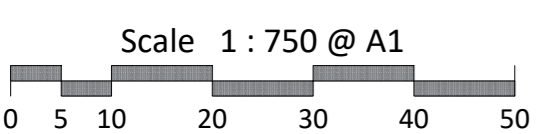
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- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- ⊛ Indicative Indented Bus Stop Location
- ⊛ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)



Land Use	Land Budget					Overall Area	%
	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Stage 5Qiii		
<b>Area of Subject Site</b>	<b>1.800 ha</b>	<b>2.042 ha</b>	<b>1.863 ha</b>	<b>0.194 ha</b>	<b>0.146 ha</b>	<b>6.045 ha</b>	<b>100.0%</b>
<b>Saleable Area</b>							
Residential Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha	66.2%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
<b>Total Area of Allotments</b>	<b>1.198 ha</b>	<b>1.500 ha</b>	<b>1.137 ha</b>	<b>0.167 ha</b>	<b>—</b>	<b>4.002 ha</b>	<b>66.2%</b>
<b>Road</b>							
Collector Road	—	—	—	—	—	—	0.0%
Local Road	0.528 ha	0.542 ha	0.726 ha	0.027 ha	—	1.823 ha	30.2%
Linear Connections	0.074 ha	—	—	—	—	0.074 ha	1.2%
Entry Statements	—	—	—	—	—	—	0.0%
<b>Total Area of New Road</b>	<b>0.602 ha</b>	<b>0.542 ha</b>	<b>0.726 ha</b>	<b>0.027 ha</b>	<b>—</b>	<b>1.897 ha</b>	<b>31.4%</b>
<b>Open Space</b>							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.146 ha	0.146 ha	2.4%
Stormwater Detention	—	—	—	—	—	—	0.0%
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.146 ha</b>	<b>0.146 ha</b>	<b>2.4%</b>

Residential Allotments	Typical Size	Typical Area	Yield Breakdown				Overall	
			Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii		
<b>Urban &amp; Nano Allotments Product</b>								
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	0.0%	
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	—	—	—	—	0.0%	
<b>Subtotal</b>								
<b>16m Deep Product</b>								
Squat Allotment	14 x 16m	220m <sup>2</sup>	2	—	—	—	2.1%	
<b>Subtotal</b>			<b>2</b>				<b>2.1%</b>	
<b>25m Deep Product</b>								
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	2	—	2.1%	
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	0.0%	
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	—	1	4	—	5.3%	
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	1	1	—	2.1%	
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	1	—	1.1%	
<b>Subtotal</b>				<b>2</b>	<b>8</b>		<b>10</b>	<b>10.5%</b>
<b>28m - 30m Deep Product</b>								
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	5	5	5.3%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	2	2	2.1%
<b>Subtotal</b>						<b>7</b>	<b>7</b>	<b>7.4%</b>
<b>30m Deep Product</b>								
Villa Allotment	10 x 30m	300m <sup>2</sup>	7	4	5	—	16	16.8%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	9	11	5	—	25	26.3%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	7	12	7	—	26	27.4%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	4	4	1	—	9	9.5%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>27</b>	<b>31</b>	<b>18</b>		<b>76</b>	<b>80.0%</b>
<b>Total Residential Allotments</b>			<b>29</b>	<b>33</b>	<b>26</b>	<b>7</b>	<b>95</b>	<b>100.0%</b>
<b>Residential Net Density</b>			<b>16.1 dw/ha</b>	<b>16.2 dw/ha</b>	<b>14.0 dw/ha</b>	<b>36.1 dw/ha</b>		
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	
Medium Density Allotment	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—	—
<b>Sub Total</b>								
<b>Total Allotments</b>			<b>29</b>	<b>33</b>	<b>26</b>	<b>7</b>	<b>95</b>	
<b>Maximum Potential Residential Dwellings (includes Multiple Residential Allotments)</b>			<b>29</b>	<b>33</b>	<b>27</b>	<b>7</b>	<b>96</b>	
<b>Maximum Potential Net Residential Density</b>			<b>16.1 dw/ha</b>	<b>16.2 dw/ha</b>	<b>14.5 dw/ha</b>	<b>36.1 dw/ha</b>		

REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change	<b>Flagstone Precinct 1</b>	<b>PEET</b>
Z: 08/06/2022 Entry Statement Lease Areas		
AA: 16/06/2022 Temporary STF Notation		
AB: 20/09/2022 Stage 3 & 5 Layout Changes		
AC: 14/11/2022 Stage 5 Boundary Changes		
AD: 10/01/2023 Stage 3 & 4 Layout Changes		
AE: 24/02/2023 Stage 3 & 5 Layout Changes		
AF: 20/03/2023 Stage 3 & 5 Layout Changes		
AG: 13/04/2023 Stage 3 & 5 Layout Changes		
AH: 25/07/2023 Stage 4 Layout Changes		
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		

Job Ref.	Date.
110056	12 February 2024
Comp By. NF	DWG Name. Precinct 1 Stage 5
Chk'd By. MD	Locality. Flagstone
Local Authority. Economic Development Queensland	

**PEET**

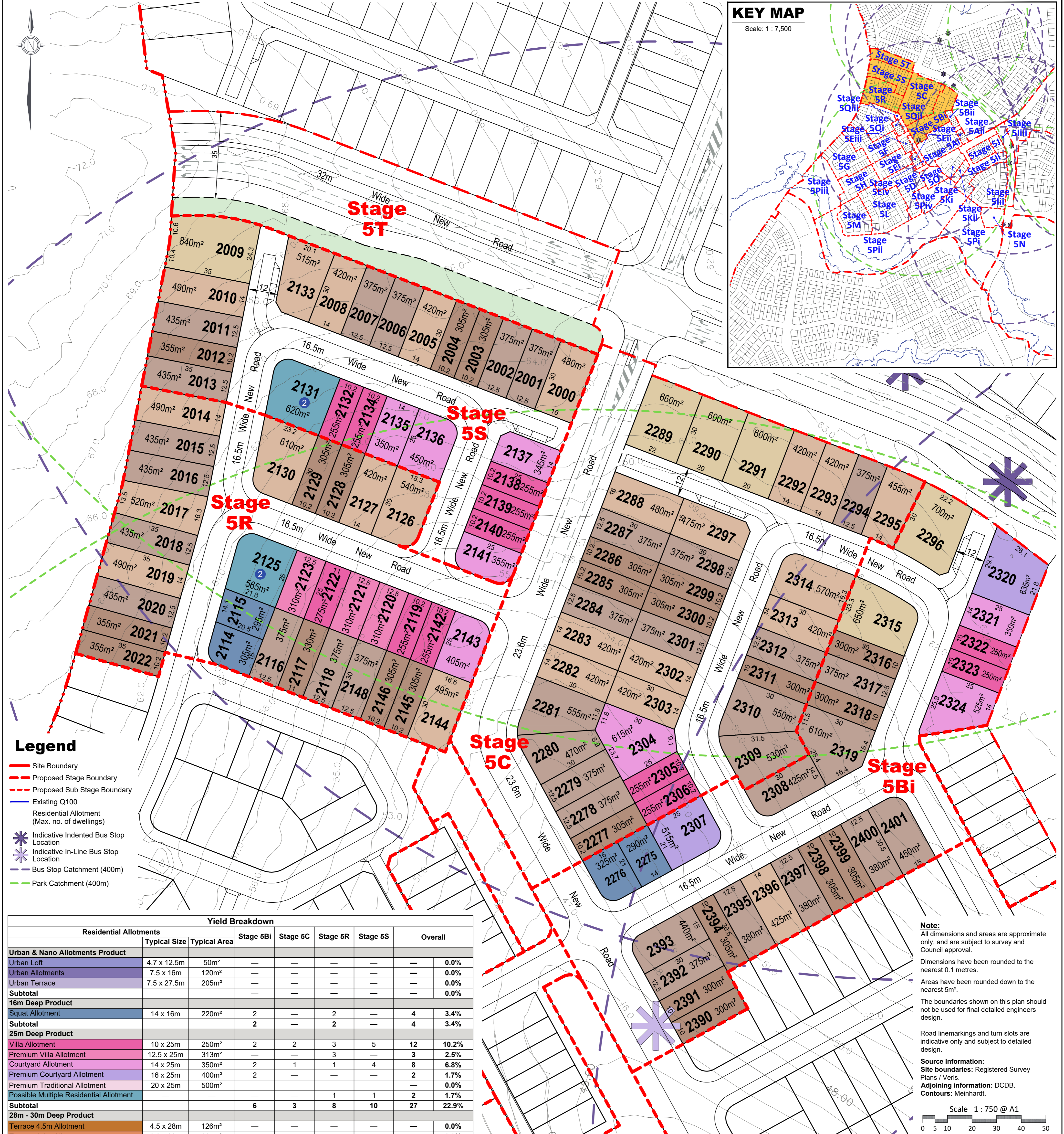
Plan of Subdivision  
Stage 5F, G, Qi, Qii & Qiii  
Allotment Layout

**RPS**

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Sheet: A1  
Plan Ref: 110056 - 406  
Rev: AJ

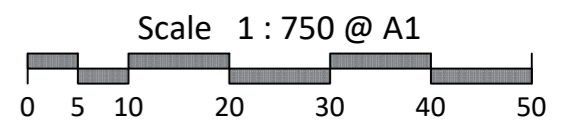


- Legend**
- Site Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
  - Existing Q100
  - Residential Allotment (Max. no. of dwellings)
  - Indicative Indented Bus Stop Location
  - Indicative In-Line Bus Stop Location
  - Bus Stop Catchment (400m)
  - Park Catchment (400m)

Yield Breakdown							
Residential Allotments	Typical Size	Typical Area	Stage				Overall
			5Bi	5C	5R	5S	
<b>Urban &amp; Nano Allotments Product</b>							
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>16m Deep Product</b>							
Squat Allotment	14 x 16m	220m <sup>2</sup>	2	—	2	—	3.4%
<b>Subtotal</b>			<b>2</b>		<b>2</b>		<b>3.4%</b>
<b>25m Deep Product</b>							
Villa Allotment	10 x 25m	250m <sup>2</sup>	2	2	3	5	10.2%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	3	—	2.5%
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	2	1	1	4	6.8%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	2	—	—	—	1.7%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	1	—	1	1.7%
<b>Subtotal</b>			<b>6</b>	<b>3</b>	<b>8</b>	<b>10</b>	<b>22.9%</b>
<b>28m - 30m Deep Product</b>							
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	0.0%
<b>Subtotal</b>							<b>0.0%</b>
<b>30m Deep Product</b>							
Villa Allotment	10 x 30m	300m <sup>2</sup>	7	6	7	3	19.5%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	9	12	7	6	28.8%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	1	11	7	5	20.3%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	2	3	—	1	5.1%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
<b>Subtotal</b>			<b>19</b>	<b>32</b>	<b>21</b>	<b>15</b>	<b>73.7%</b>
<b>Total Residential Allotments</b>			<b>27</b>	<b>35</b>	<b>31</b>	<b>25</b>	<b>100.0%</b>
<b>Residential Net Density</b>			<b>16.7 dw/ha</b>	<b>19.3 dw/ha</b>	<b>19.9 dw/ha</b>	<b>18.1 dw/ha</b>	
<b>Super Lots</b>			<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>	<b>Lots</b>
Medium Density Allotment	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—
<b>Sub Total</b>							
<b>Total Allotments</b>			<b>27</b>	<b>35</b>	<b>31</b>	<b>25</b>	<b>118</b>
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			<b>27</b>	<b>35</b>	<b>32</b>	<b>26</b>	<b>120</b>
<b>Maximum Potential Net Residential Density</b>			<b>16.7 dw/ha</b>	<b>19.3 dw/ha</b>	<b>20.5 dw/ha</b>	<b>18.8 dw/ha</b>	

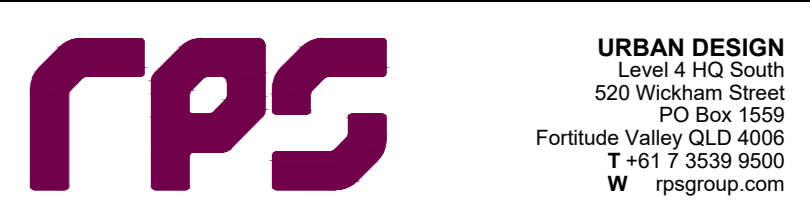
Land Budget							
Land Use	Stage					Overall	
	5Bi	5C	5R	5S	5T	Area	%
<b>Area of Subject Site</b>	<b>1.821 ha</b>	<b>2.354 ha</b>	<b>1.559 ha</b>	<b>1.385 ha</b>	<b>0.786 ha</b>	<b>7.905 ha</b>	<b>100.0%</b>
<b>Saleable Area</b>							
Residential Allotments	1.088 ha	1.484 ha	1.201 ha	0.991 ha	—	4.764 ha	60.3%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
<b>Total Area of Allotments</b>	<b>1.088 ha</b>	<b>1.484 ha</b>	<b>1.201 ha</b>	<b>0.991 ha</b>	<b>—</b>	<b>4.764 ha</b>	<b>60.3%</b>
<b>Road</b>							
Collector Road	0.201 ha	0.544 ha	—	—	0.622 ha	1.367 ha	17.3%
Local Road	0.532 ha	0.326 ha	0.358 ha	0.394 ha	—	1.610 ha	20.4%
Linear Connections	—	—	—	—	0.164 ha	0.164 ha	2.1%
<b>Entry Statements</b>							
<b>Total Area of New Road</b>	<b>0.733 ha</b>	<b>0.870 ha</b>	<b>0.358 ha</b>	<b>0.394 ha</b>	<b>0.786 ha</b>	<b>3.141 ha</b>	<b>39.7%</b>
<b>Open Space</b>							
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.0%</b>

**Note:**  
 All dimensions and areas are approximate only, and are subject to survey and Council approval.  
 Dimensions have been rounded to the nearest 0.1 metres.  
 Areas have been rounded down to the nearest 5m<sup>2</sup>.  
 The boundaries shown on this plan should not be used for final detailed engineers design.  
 Road linemarkings and turn slots are indicative only and subject to detailed design.  
**Source Information:**  
 Site boundaries: Registered Survey Plans / Veris.  
 Adjoining information: DCDB.  
 Contours: Meinhardt.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
 Approval no: DEV2012/403/128  
 Date: 04 April 2024

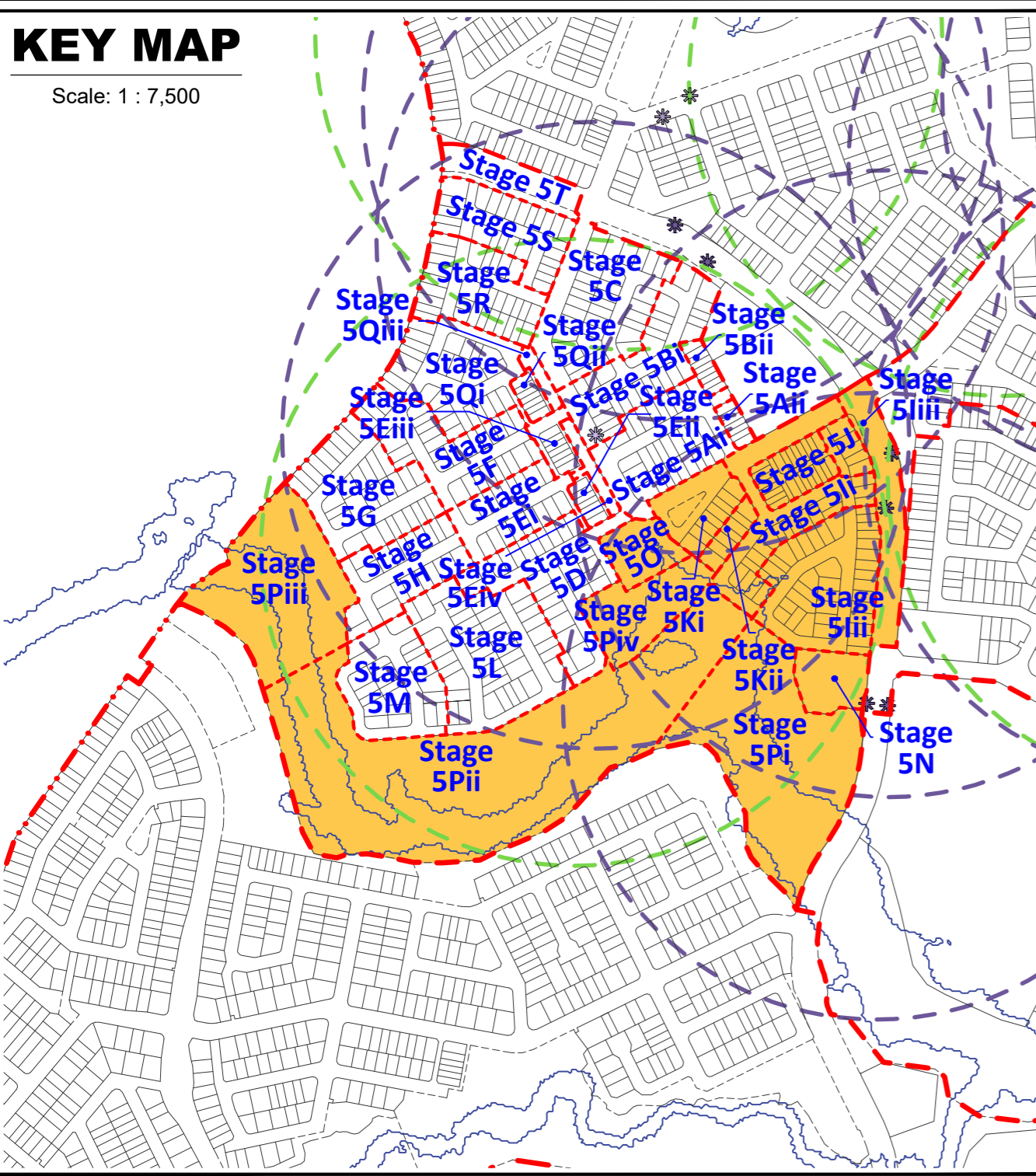
<b>REVISION</b> Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	<b>PROJECT</b> <b>Flagstone Precinct 1</b> Job Ref. 110056 Date. 12 February 2024 Comp By. NF DWG Name. Precinct 1 Stage 5 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	<b>CLIENT</b> <b>PEET</b> Plan of Subdivision Stage 5Bi, C, R, S & T Allotment Layout	<b>Scale</b> 1 : 750	<b>Sheet</b> A1	<b>Plan Ref</b> 110056 - 407	<b>Rev</b> AJ
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**KEY MAP**

Scale: 1 : 7,500



**Legend**

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- ⊙ Indicative Indented Bus Stop Location
- ⊙ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 750 @ A1

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024

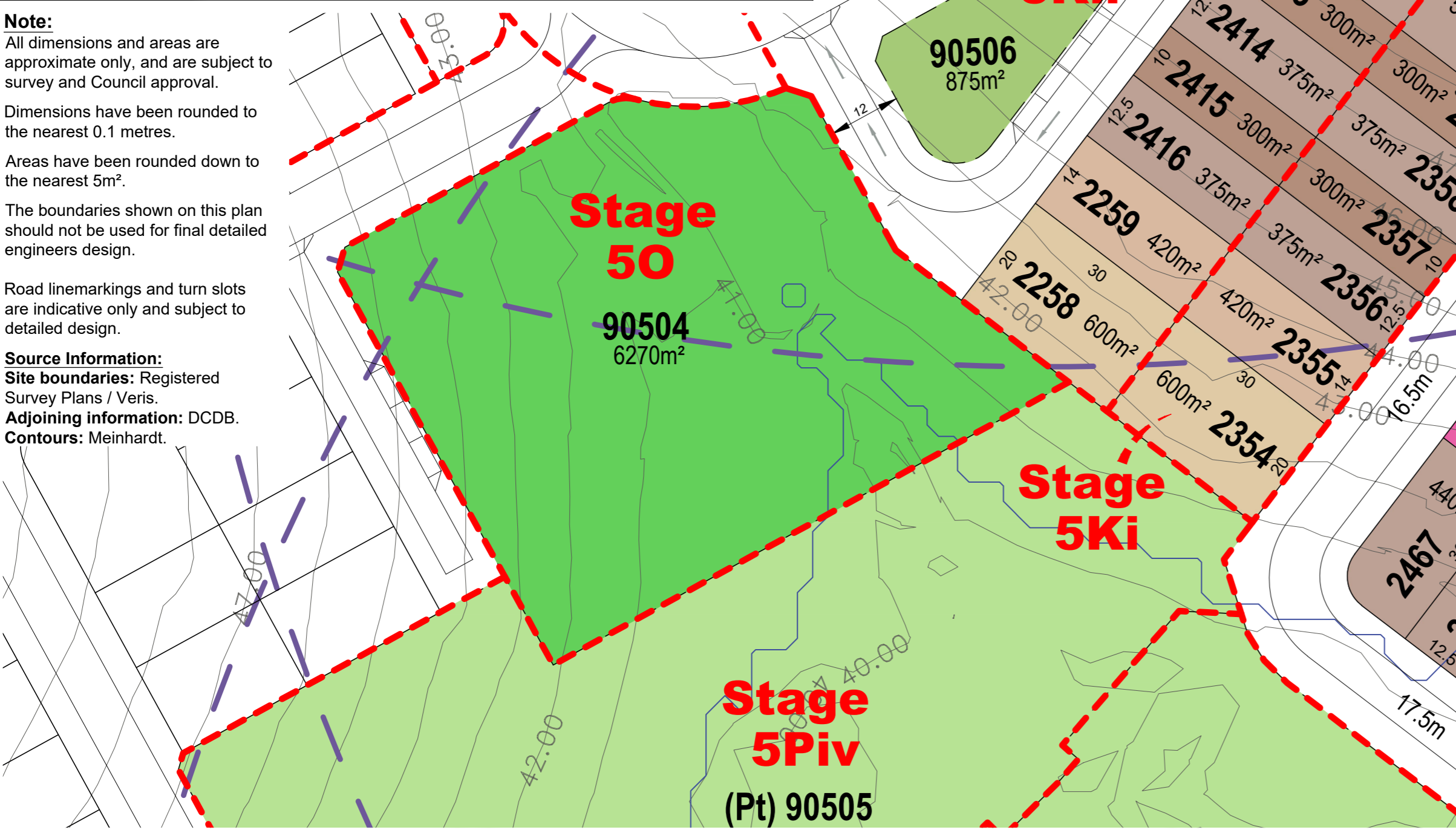


**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.



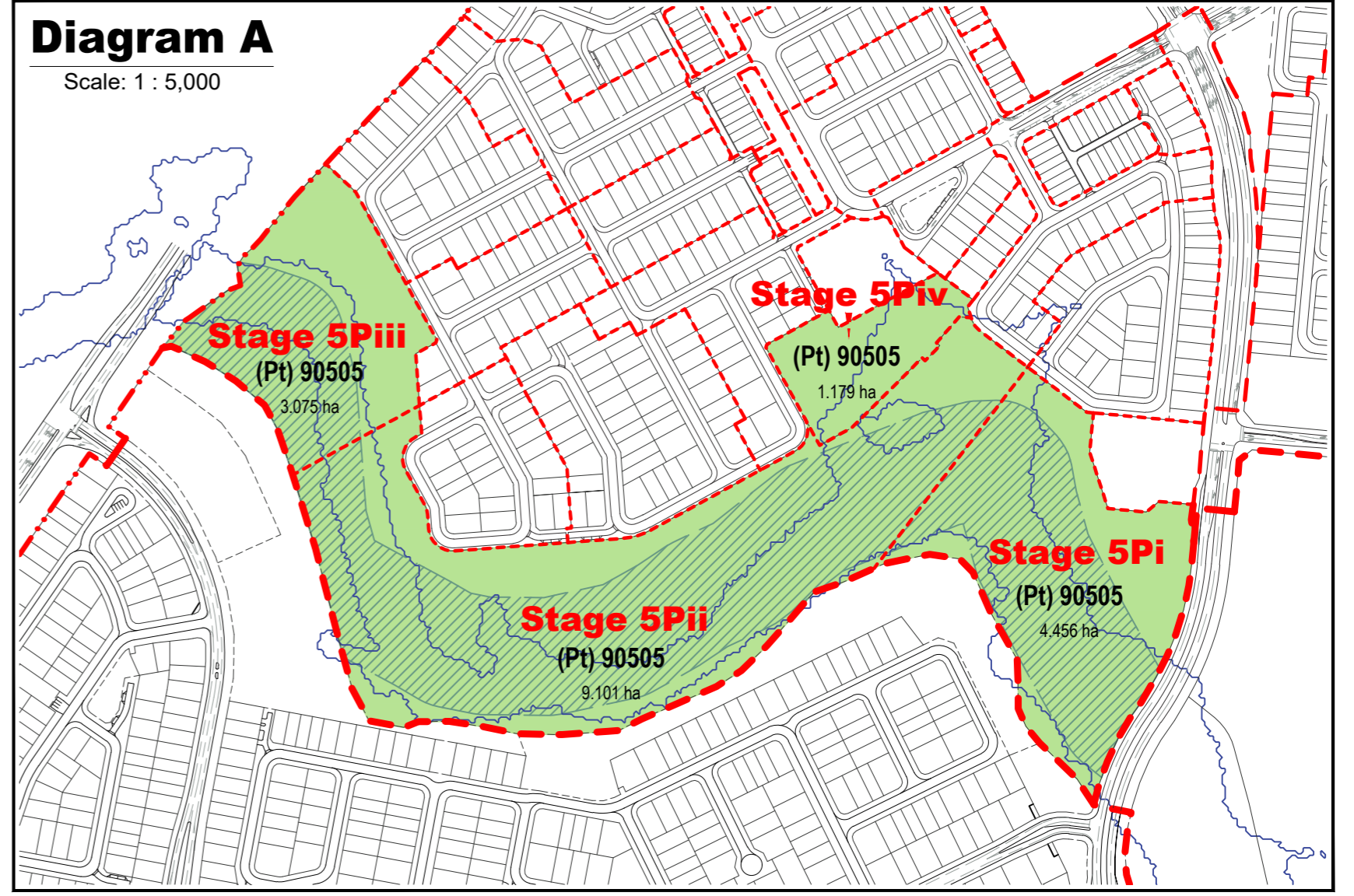
Land Use	Land Budget														Overall
	Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5L	Stage 5N	Stage 5O	Stage 5Pi	Stage 5Pii	Stage 5Piii	Stage 5Piv	
Area of Subject Site	1.725 ha	2.270 ha	1.205 ha	0.633 ha	0.291 ha	0.827 ha	2.740 ha	0.666 ha	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	27.934 ha	100.0%
<b>Saleable Area</b>															
Residential Allotments	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	—	—	—	—	—	5.420 ha	19.4%
Medium Density Allotment	—	—	—	—	—	—	—	0.666 ha	—	—	—	—	—	0.666 ha	2.4%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Total Area of Allotments</b>	0.652 ha	1.481 ha	—	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.666 ha	—	—	—	—	6.086 ha	21.8%
<b>Road</b>															
Collector Road	0.451 ha	—	1.176 ha	—	—	—	0.257 ha	—	—	—	—	—	—	1.884 ha	6.7%
Local Road	0.622 ha	0.732 ha	—	0.087 ha	0.086 ha	—	0.155 ha	0.788 ha	—	—	—	—	—	2.470 ha	8.8%
Linear Connections	—	0.057 ha	0.029 ha	—	—	—	—	0.060 ha	—	—	—	—	—	0.146 ha	0.5%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
<b>Total Area of New Road</b>	1.073 ha	0.789 ha	1.205 ha	0.087 ha	0.086 ha	—	0.412 ha	0.848 ha	—	—	—	—	—	4.500 ha	16.1%
<b>Open Space</b>															
Corridor Park	—	—	—	—	—	—	—	—	—	4.457 ha	9.101 ha	3.076 ha	1.179 ha	16.633 ha	59.5%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	0.627 ha	—	—	—	0.627 ha	2.2%
Local Recreation Park	—	—	—	—	—	—	—	0.088 ha	—	—	—	—	—	0.088 ha	0.3%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	0.088 ha	—	—	—	0.088 ha	0.0%
<b>Total Open Space</b>	—	—	—	—	—	—	—	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	17.348 ha	62.1%	

	Residential Allotments		Stage 5Ii	Stage 5Iii	Stage 5Iiii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5N	Overall									
	Typical Size	Typical Area																		
<b>Urban &amp; Nano Allotments Product</b>																				
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%									
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%									
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	—	—	—	—	—	—	—	—	0.0%									
<b>Subtotal</b>											0.0%									
<b>16m Deep Product</b>																				
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	2	—	—	—	—	—	—	2	2.1%								
<b>Subtotal</b>											2	2.1%								
<b>25m Deep Product</b>																				
Villa Allotment	10 x 25m	250m <sup>2</sup>	5	2	—	—	—	—	—	—	7	7.2%								
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	—	—	—	—	—	0.0%								
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	6	2	—	—	—	—	—	—	8	8.2%								
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	1	5	—	—	—	—	—	—	6	6.2%								
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	—	—	—	—	—	0.0%								
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	0.0%								
<b>Subtotal</b>											12	9	21	21.6%						
<b>28m - 30m Deep Product</b>																				
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	—	—	—	—	—	—	—	—	0.0%								
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	—	—	—	—	—	—	—	—	0.0%								
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	—	—	—	—	18	18.8%								
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	—	—	—	—	6	6.2%								
<b>Subtotal</b>											—	24	24	24.7%						
<b>30m Deep Product</b>																				
Villa Allotment	10 x 30m	300m <sup>2</sup>	—	3	—	1	—	2	2	—	8	8.2%								
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	5	7	—	1	—	3	4	—	20	20.6%								
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	1	14	—	2	—	1	1	—	19	19.6%								
Traditional Allotment	20 x 30m	600m <sup>2</sup>	—	—	—	1	—	1	1	—	3	3.1%								
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	—	—	—	—	—	0.0%								
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	0.0%								
<b>Subtotal</b>											6	24	5	7	8	50	51.5%			
<b>Total Residential Allotments</b>											18	35	—	5	24	7	8	—	97	100.0%
<b>Residential Net Density</b>											14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	—	—	—
<b>Super Lots</b>																				
Medium Density Allotment	—	—	—	—	—	—	—	—	—	—	—	1	—	—	—	—	—	—	—	
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	
<b>Sub Total</b>											—	—	—	—	—	—	—	—	—	1
<b>Total Allotments</b>											18	35	—	5	24	7	8	1	—	98
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>											18	35	—	5	24	7	8	—	—	97
<b>Maximum Potential Net Residential Density</b>											14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	—	—	—

See Diagram A

**Diagram A**

Scale: 1 : 5,000



REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5 SR Layout Change	<b>Flagstone Precinct 1</b>	<b>PEET</b>

Job Ref. 110056	Date. 12 February 2024
Comp By. NF	DWG Name. Precinct 1 Stage 5
Chk'd By. MD	Locality. Flagstone
Local Authority. Economic Development Queensland	

**PEET**

Plan of Subdivision  
Stage 5Ii, Iii, Iiii, Ji, Jii, K, N, O & P  
Allotment Layout

**rps**

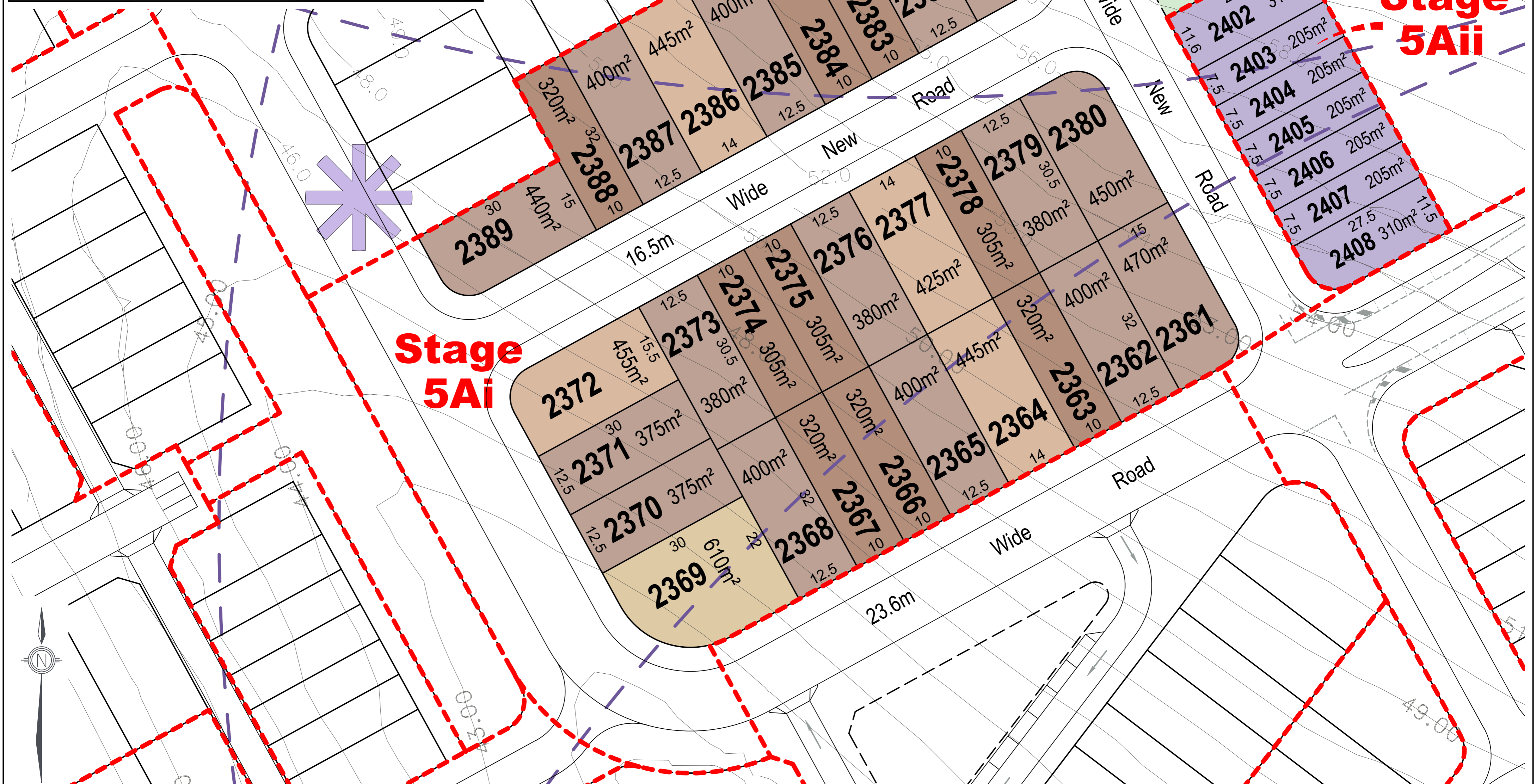
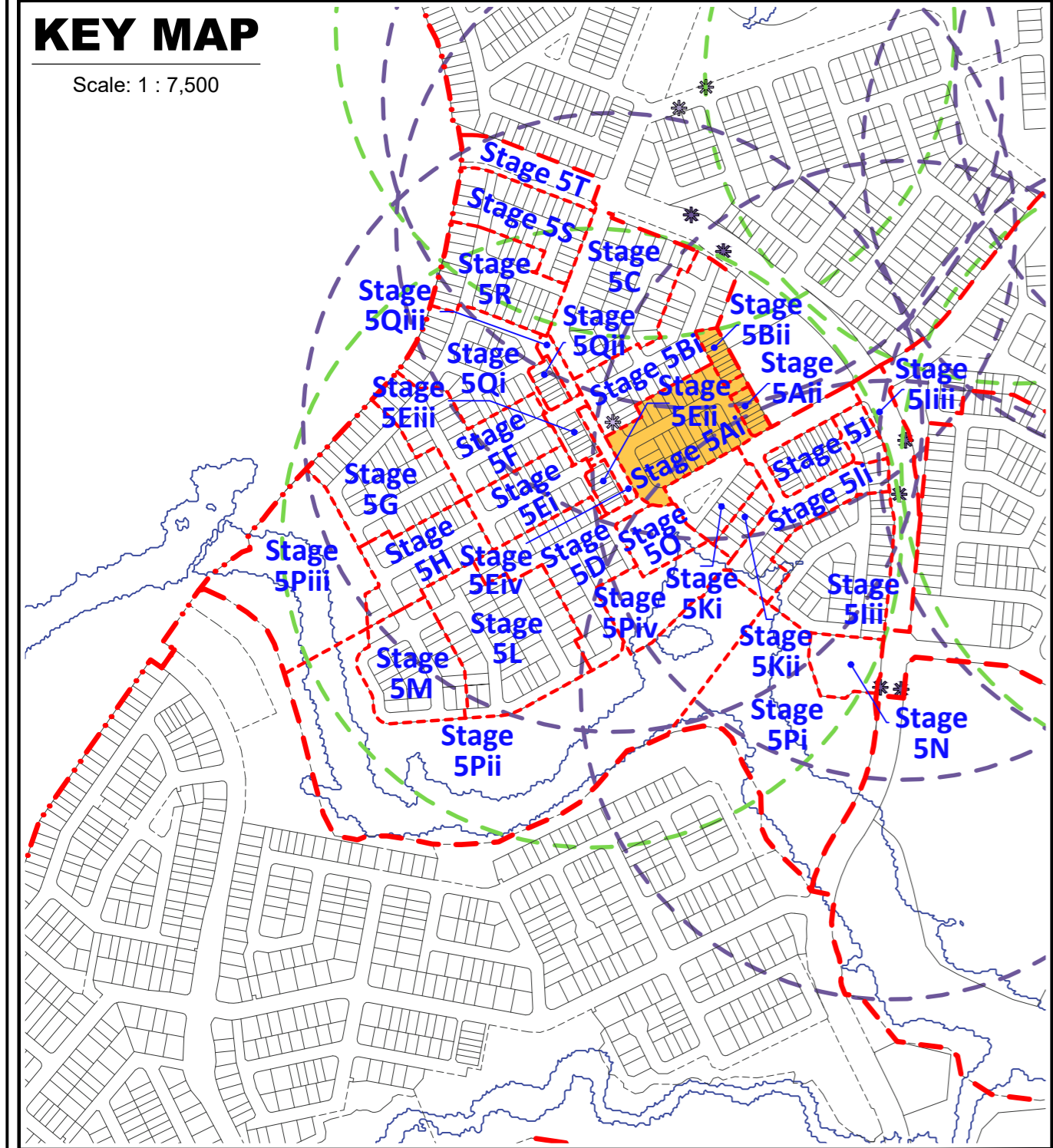
URBAN DESIGN  
Level 4 HQ South  
520 Wickham Street  
PO Box 1559  
Fortitude Valley QLD 4006  
T +61 7 3539 9500  
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Scale 1 : 750

Sheet A1

Plan Ref 110056 - 408

Rev AJ



Yield Breakdown								
Residential Allotments		Typical Size	Typical Area	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall	
<b>Urban &amp; Nano Allotments Product</b>								
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>	—	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m <sup>2</sup>	—	—	—	—	0.0%	
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>	—	7	9	16	35.6%	
<b>Subtotal</b>					7	9	16	35.6%
<b>16m Deep Product</b>								
Squat Allotment	14 x 16m	220m <sup>2</sup>	—	—	—	—	0.0%	
<b>Subtotal</b>							0.0%	
<b>25m Deep Product</b>								
Villa Allotment	10 x 25m	250m <sup>2</sup>	—	—	—	—	0.0%	
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—	—	—	0.0%	
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	—	—	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	—	—	—	—	0.0%	
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%	
<b>Subtotal</b>							0.0%	
<b>28m - 30m Deep Product</b>								
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—	—	—	—	0.0%	
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>	—	—	—	—	0.0%	
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	—	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—	—	—	—	0.0%	
<b>Subtotal</b>							0.0%	
<b>30m Deep Product</b>								
Villa Allotment	10 x 30m	300m <sup>2</sup>	9	—	—	9	20.0%	
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	15	—	—	15	33.3%	
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	4	—	—	4	8.9%	
Traditional Allotment	20 x 30m	600m <sup>2</sup>	1	—	—	1	2.2%	
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%	
<b>Subtotal</b>			29	—	—	29	64.4%	
<b>Total Residential Allotments</b>			29	7	9	45	100.0%	
<b>Residential Net Density</b>			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha			
<b>Super Lots</b>								
Medium Density Allotment			—	—	—	—	—	
Balance Super Allotments			—	—	—	—	—	
<b>Sub Total</b>			—	—	—	—	—	
<b>Total Allotments</b>			29	7	9	45		
<b>Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)</b>			29	7	9	45		
<b>Maximum Potential Net Residential Density</b>			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha			

Land Budget				
Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall
Area of Subject Site	1.853 ha	0.166 ha	0.203 ha	2.222 ha
Saleable Area				
Residential Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha
Medium Density Allotment	—	—	—	0.0%
Balance Super Allotments	—	—	—	0.0%
<b>Total Area of Allotments</b>	<b>1.136 ha</b>	<b>0.166 ha</b>	<b>0.203 ha</b>	<b>1.505 ha</b>
<b>Road</b>				
Collector Road	0.278 ha	—	—	0.278 ha
Local Road	0.394 ha	—	—	0.394 ha
Linear Connections	0.045 ha	—	—	0.045 ha
<b>Entry Statements</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.0%</b>
<b>Total Area of New Road</b>	<b>0.717 ha</b>	<b>—</b>	<b>—</b>	<b>0.717 ha</b>
<b>Open Space</b>				
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
District Recreation Park	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	0.0%
Stormwater Detention	—	—	—	0.0%
<b>Total Open Space</b>	<b>—</b>	<b>—</b>	<b>—</b>	<b>0.0%</b>

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024

**Legend**

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.

**Scale:** 1 : 500 @ A1

**Scale:** 0 5 10 15 20 25 30

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change	<b>Flagstone Precinct 1</b>	PEET
Z: 08/06/2022 Entry Statement Lease Areas		
AA: 16/06/2022 Temporary STF Notation	Job Ref. 110056	Date. 12 February 2024
AB: 20/09/2022 Stage 3 & 5 Layout Changes	Comp By. NF	DWG Name. Precinct 1 Stage 5
AC: 14/11/2022 Stage 5 Boundary Changes	Chk'd By. MD	Locality. Flagstone
AD: 10/01/2023 Stage 3 & 4 Layout Changes	Local Authority. Economic Development Queensland	
AE: 24/02/2023 Stage 3 & 5 Layout Changes		
AF: 20/03/2023 Stage 3 & 5 Layout Changes		
AG: 13/04/2023 Stage 3 & 5 Layout Changes		
AH: 25/07/2023 Stage 4 Layout Changes		
AI: 08/08/2023 Stage 5 Basin Change		
AJ: 12/02/2024 Stage 5R Layout Change		

REVISION	PROJECT	CLIENT
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**PEET**

Plan of Subdivision  
Stage 5Ai, Aii & Bii  
Allotment Layout

**rps**

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Scale 1 : 500

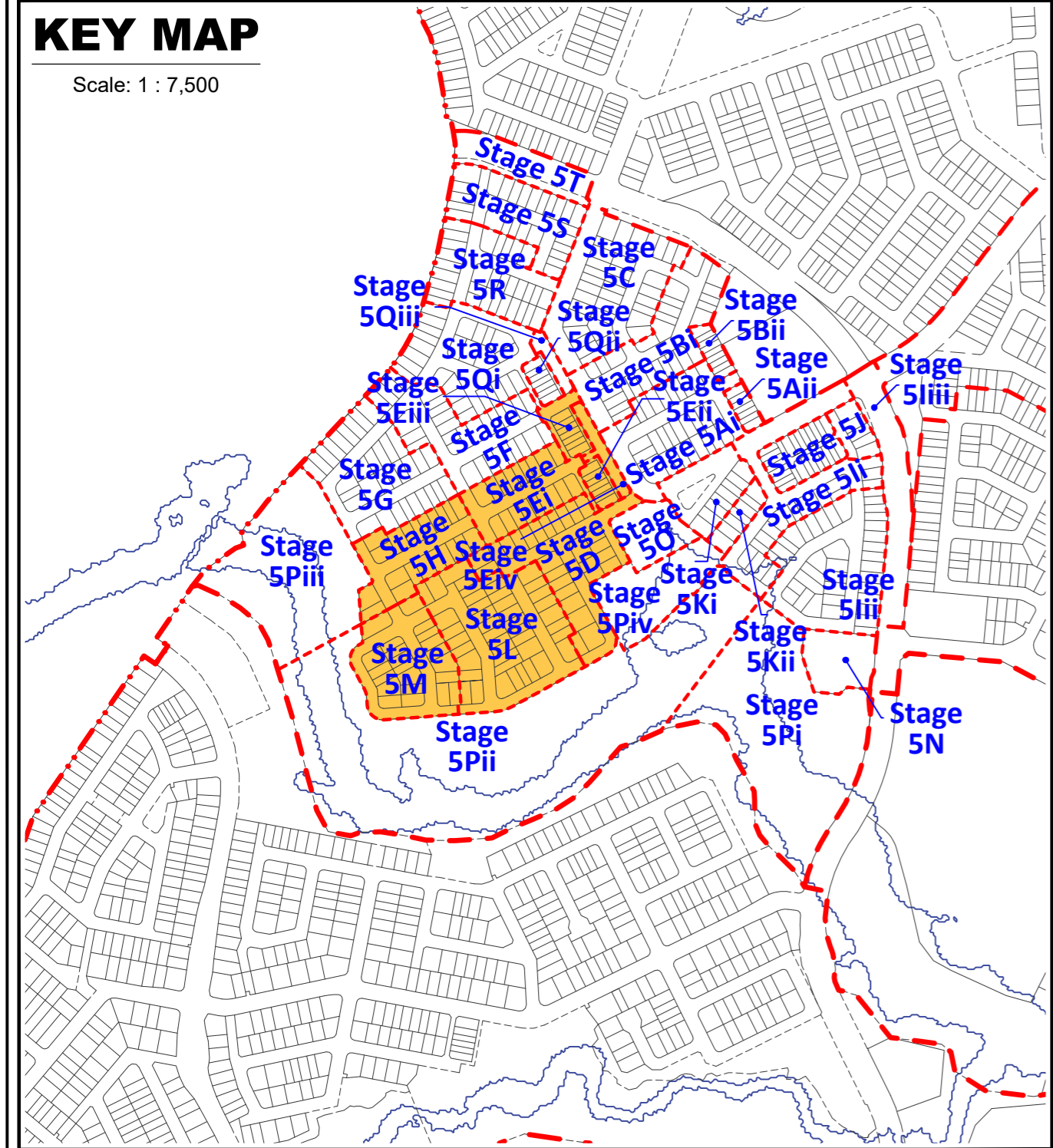
Sheet A1

Plan Ref 110056 - 409

Rev AJ







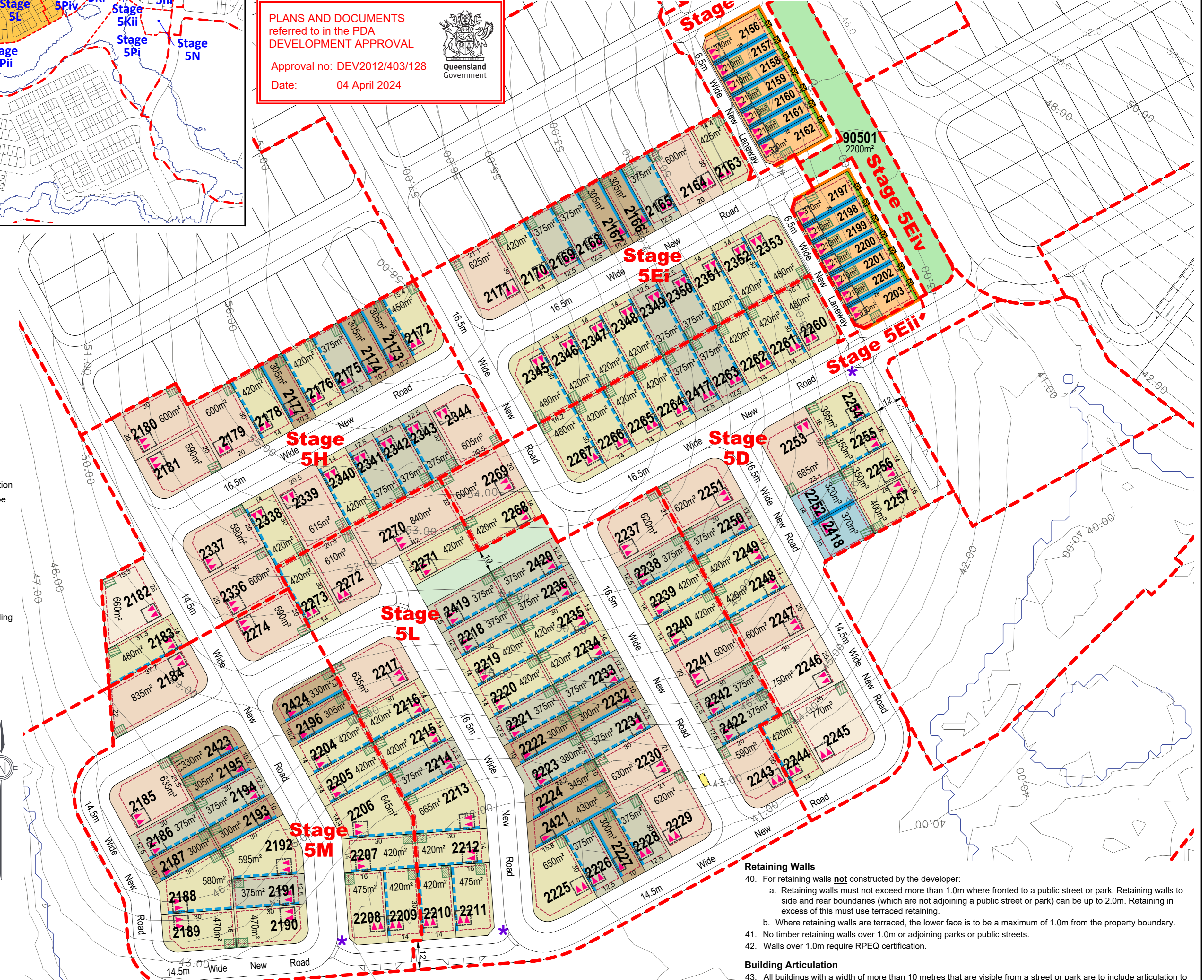
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
<b>Side - General Lots</b>																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
<b>Laneway Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024

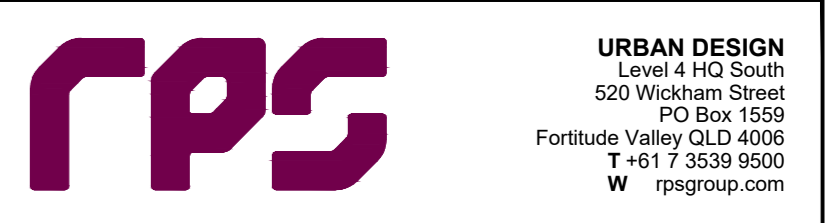
- Legend**
- General**
- Site Boundary
  - Proposed Precinct Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
  - Possible Multiple Residential Allotment (Max. no. of dwellings)
  - Entry Statements - Lease
- Open Space**
- Local Linear Recreation Park
  - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
  - Maximum Building Location Envelope
  - Mandatory Built to Boundary Wall
  - Nominal Built to Boundary Wall
  - No Vehicle Access
  - Primary Frontage
  - 2m High Solid Timber Fence
  - Preferred Double Garage Location
  - Preferred Single Garage Location
  - Letterbox Location for Primary Dwelling (on a laneway)
  - Lot Impacted by Potential Acoustic Requirements
- Note:**
- All dimensions and areas are approximate only, and are subject to survey and Council approval.
- Dimensions have been rounded to the nearest 0.1 metres.
- Areas have been rounded down to the nearest 5m<sup>2</sup>.
- The boundaries shown on this plan should not be used for final detailed engineers design.
- Road linemarkings and turn slots are indicative only and subject to detailed design.
- Source Information:**
- Site boundaries: Registered Survey Plans / Veris.
- Adjoining information: DCDB.
- Contours: Meinhardt.
- Scale 1 : 1000 @ A1**
- 0 5 10 20 30 40 50 60

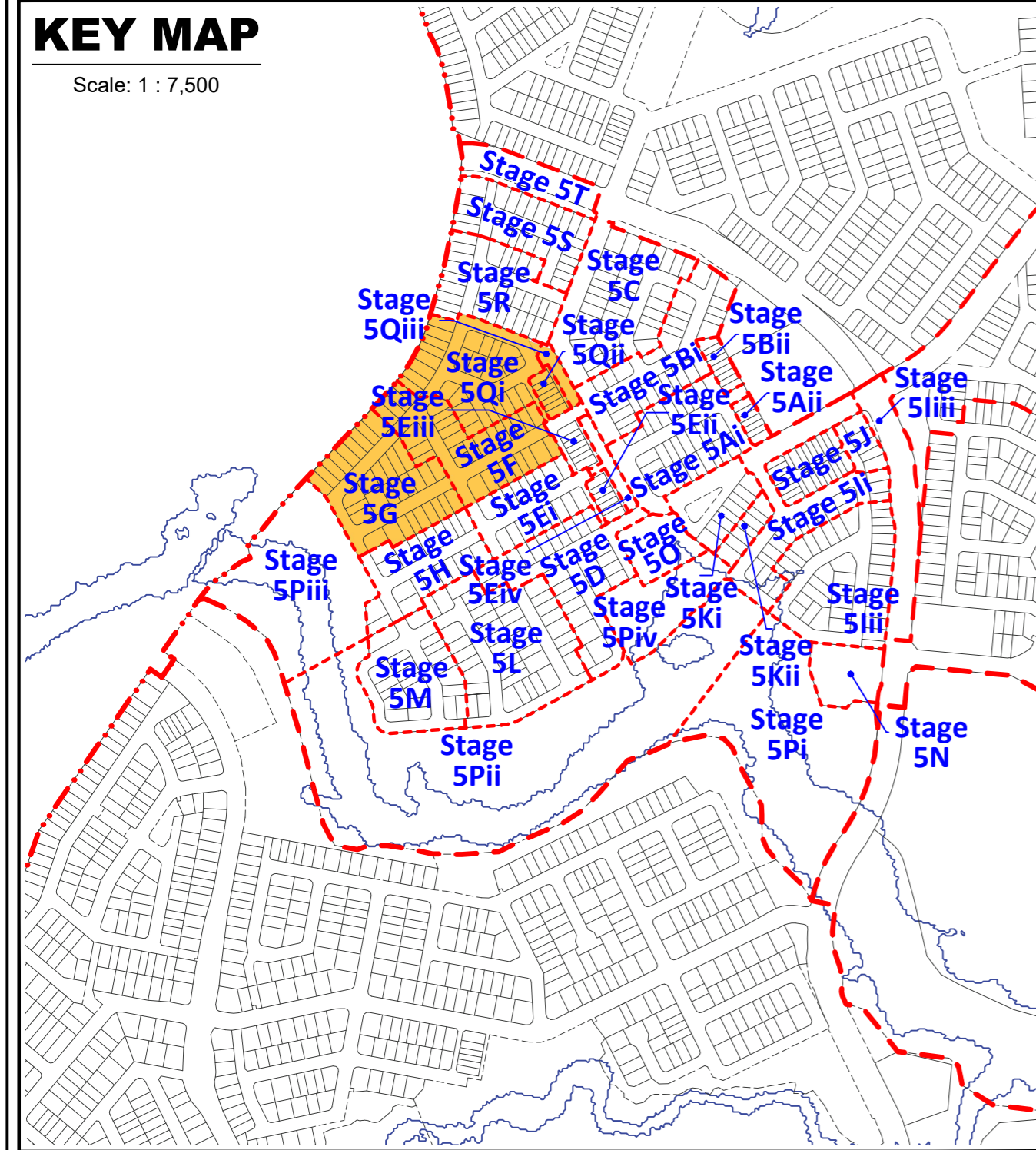


- Retaining Walls**
40. For retaining walls not constructed by the developer:
- Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
  - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
41. No timber retaining walls over 1.0m or adjoining parks or public streets.
42. Walls over 1.0m require RPEQ certification.
- Building Articulation**
43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
- Windows recessed into the facade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACiACle room orientated towards the open space.
45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
49. Screened drying and rubbish bins area must be behind the main face of the dwelling.
50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
54. Buildings must address all street frontages with driveways, pedestrian entries or both.
55. All dwellings must have a clearly identifiable front door, which is undercover.
56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
58. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
59. Materials, detailing, colours and roof form are consistent with those of the primary house.
60. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

- On-site car parking and driveways**
24. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide - 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
- The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - The garage door:
    - Width must not exceed 4.8m
    - Must have a minimum 450mm eave above it
    - Must be setback a minimum of 240mm behind the pillar of the garage door, and
    - Must have a sectional, tilt or roller door.
  - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
    - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
    - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
    - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
    - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
30. Maximum of one driveway per dwelling unless it is a MR lot.
31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
32. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
33. Driveways must be completed prior to occupation of the dwelling.
- Fencing**
34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

<b>REVISION</b> Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	<b>PROJECT</b> <b>Flagstone Precinct 1</b>		<b>CLIENT</b> <b>PEET</b>		<b>Scale</b> 1 : 1000	<b>Sheet</b> A1	<b>Plan Ref</b> 110056 - 411	<b>Rev</b> AJ
	Job Ref. 110056	Date. 12 February 2024	Plan of Development Stage 5D, Ei, Eii, Eiii, H, L & M Residential Allotments					
Comp By. NF	DWG Name. Precinct 1 Stage 5							
Chk'd By. MD	Locality. Flagstone							
Local Authority. Economic Development Queensland								





Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	n/a
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
<b>Side - General Lots</b>																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
<b>Laneway Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%		75%

**PLANS AND DOCUMENTS** referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024

**Legend**

**General**

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

**Open Space**

- Local Linear Recreation Park
- Linear Connections

**Allotment Details**

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

**Note:**

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m<sup>2</sup>. The boundaries shown on this plan should not be used for final detailed engineers design. Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**

Site boundaries: Registered Survey Plans / Veris.

Adjoining information: DCDB.

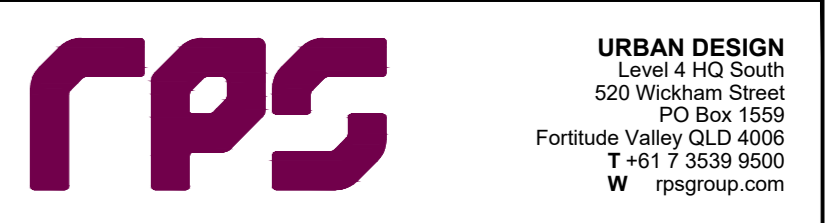
Contours: Meinhardt.

- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension of 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m



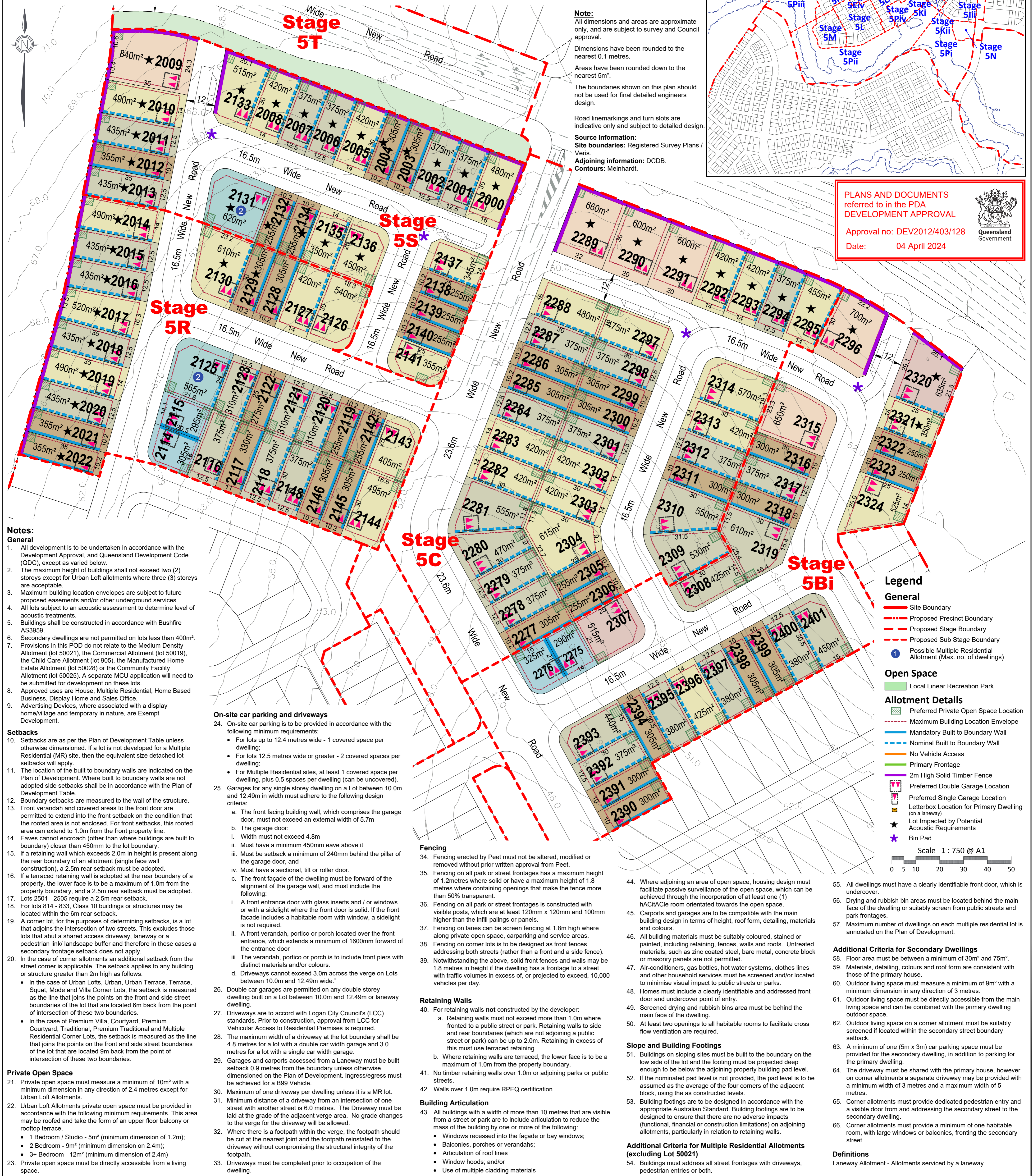
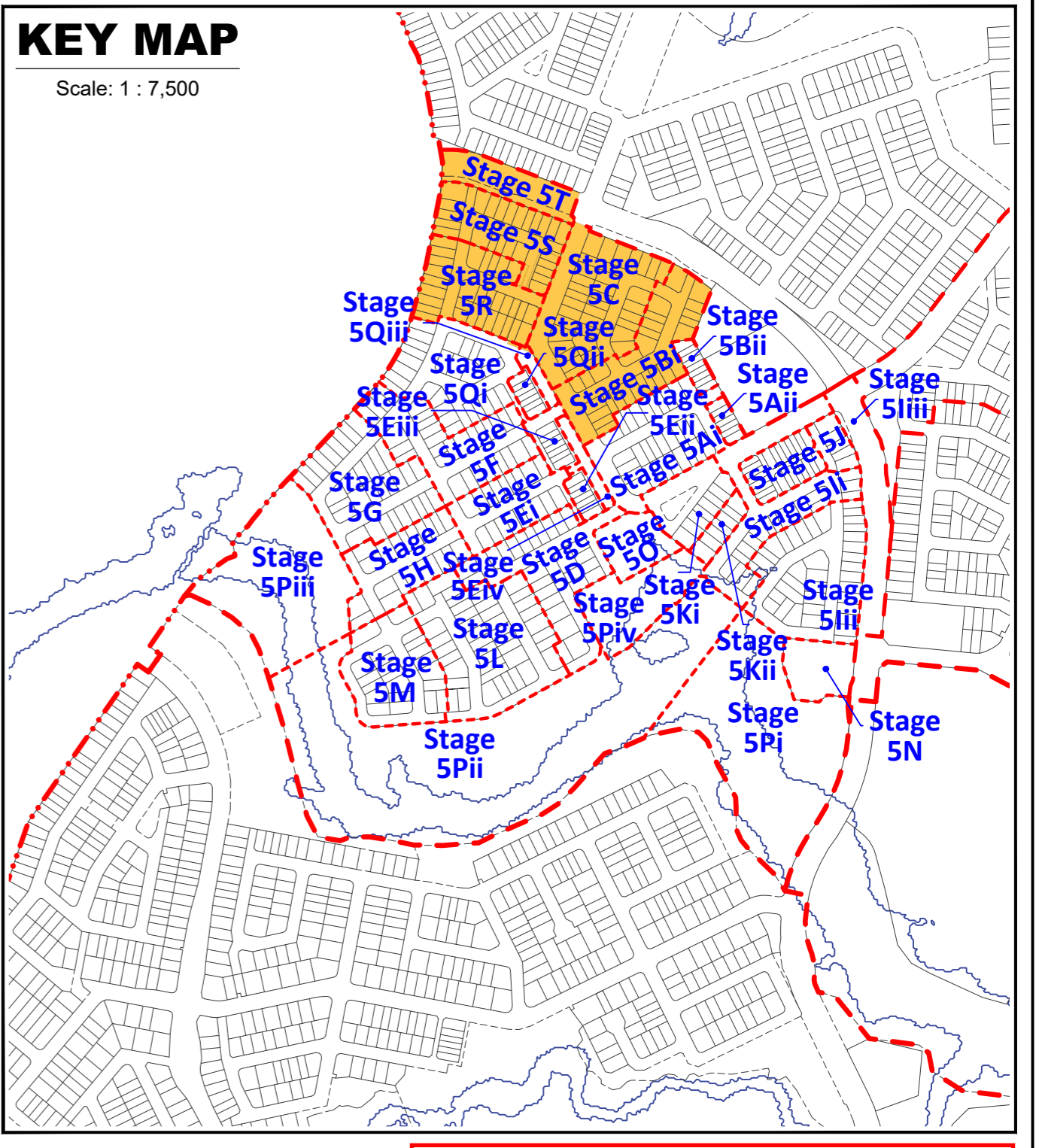
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the facade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACitACie room orientated towards the open space.
  - Carparks and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
  - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
  - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEQ certification.

<b>REVISION</b> Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	<b>PROJECT</b> <b>Flagstone Precinct 1</b>	<b>CLIENT</b> <b>PEET</b>	<b>Scale</b> 1 : 1000	<b>Sheet</b> A1	<b>Plan Ref</b> <b>110056 - 412</b>	<b>Rev</b> <b>AJ</b>	
	Job Ref. 110056	Date. 12 February 2024					<b>Plan of Development</b> <b>Stage 5F, G, Qi &amp; Qii</b> <b>Residential Allotments</b>
	Comp By. NF	DWG Name. Precinct 1 Stage 5					
	Chk'd By. MD	Locality. Flagstone					
Local Authority. Economic Development Queensland							



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Plan of Development Table	Urban Loft Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m	1.5m	1.5m	
* Additional setback required on some allotments - refer POD Notes 14-16.																									
<b>Side - General Lots</b>																									
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	90%	90%	75%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
<b>Laneway Lots</b>																									
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
<b>Site Cover</b>	90%	75%	75%	75%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	60%	75%	



- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension of 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
    - Must be setback a minimum of 240mm behind the pillar of the garage door, and
    - Must have a sectional, tilt or roller door.
  - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
    - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
    - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
    - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
  - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.\*
  - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
  - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
  - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
  - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
  - Maximum of one driveway per dwelling unless it is a MR lot.
  - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
  - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
  - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
  - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
  - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
    - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
    - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
  - No timber retaining walls over 1.0m or adjoining parks or public streets.
  - Walls over 1.0m require RPEQ certification.
- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the facade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m<sup>2</sup>.  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Varies  
Adjoining information: DCDB.  
Contours: Meinhardt.

**PLANS AND DOCUMENTS**  
referred to in the PDA  
**DEVELOPMENT APPROVAL**

Approval no: DEV2012/403/128  
Date: 04 April 2024

**Legend**

**General**

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

**Open Space**

- Local Linear Recreation Park

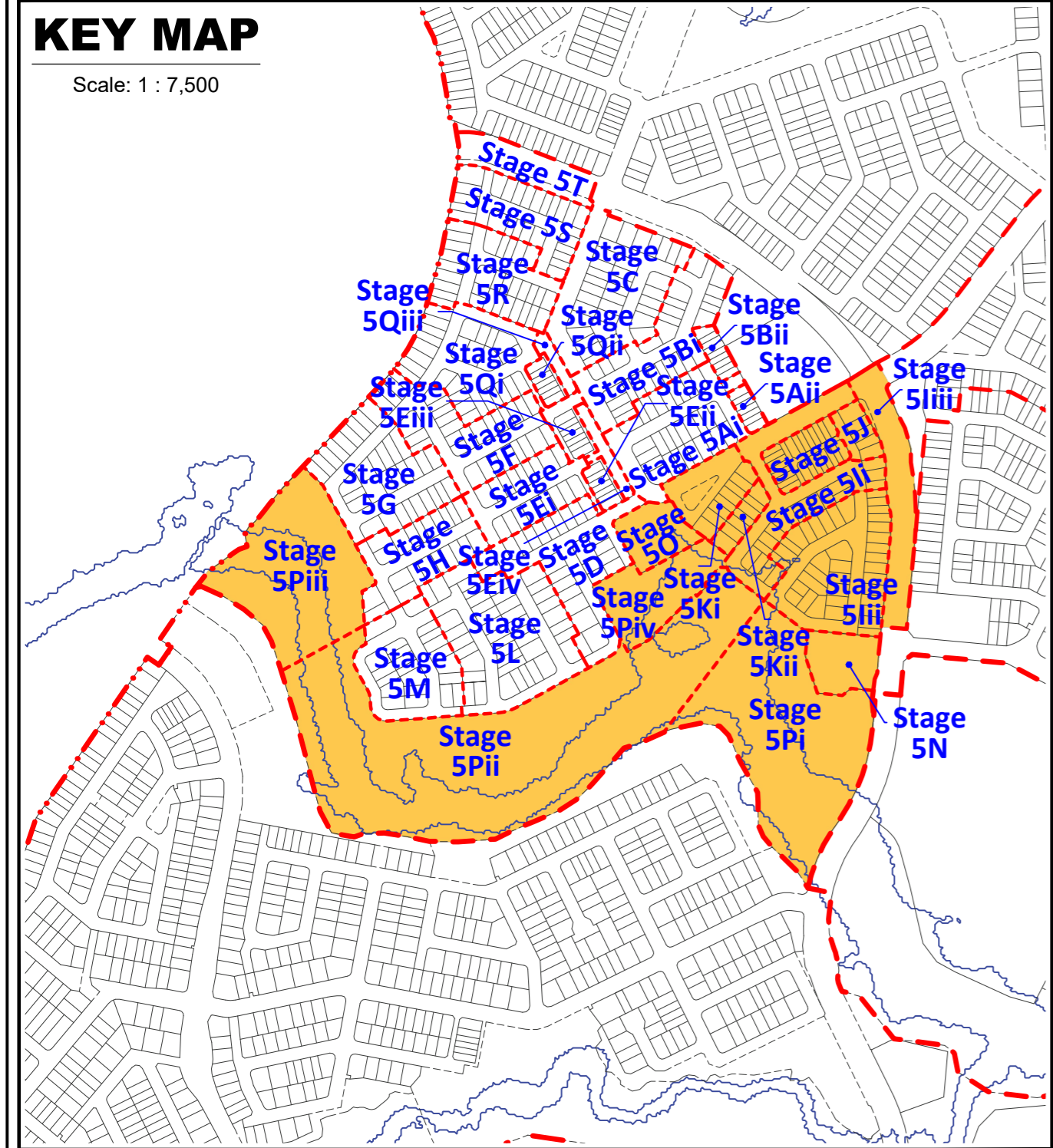
**Allotment Details**

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Scale 1:750 @ A1

0 5 10 20 30 40 50

<b>REVISION</b> Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	<b>PROJECT</b> <h3>Flagstone Precinct 1</h3>	<b>CLIENT</b> <h1>PEET</h1> <p>Plan of Development Stage 5Bi, C, R, S &amp; T Residential Allotments</p>	<p>URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com</p>
Job Ref. 110056 Date. 12 February 2024 Comp By. NF DWG Name. Precinct 1 Stage 5 Chk'd By. MD Locality. Flagstone	Local Authority. Economic Development Queensland	Scale 1:750 Sheet A1 Plan Ref 110056 - 413 Rev AJ	



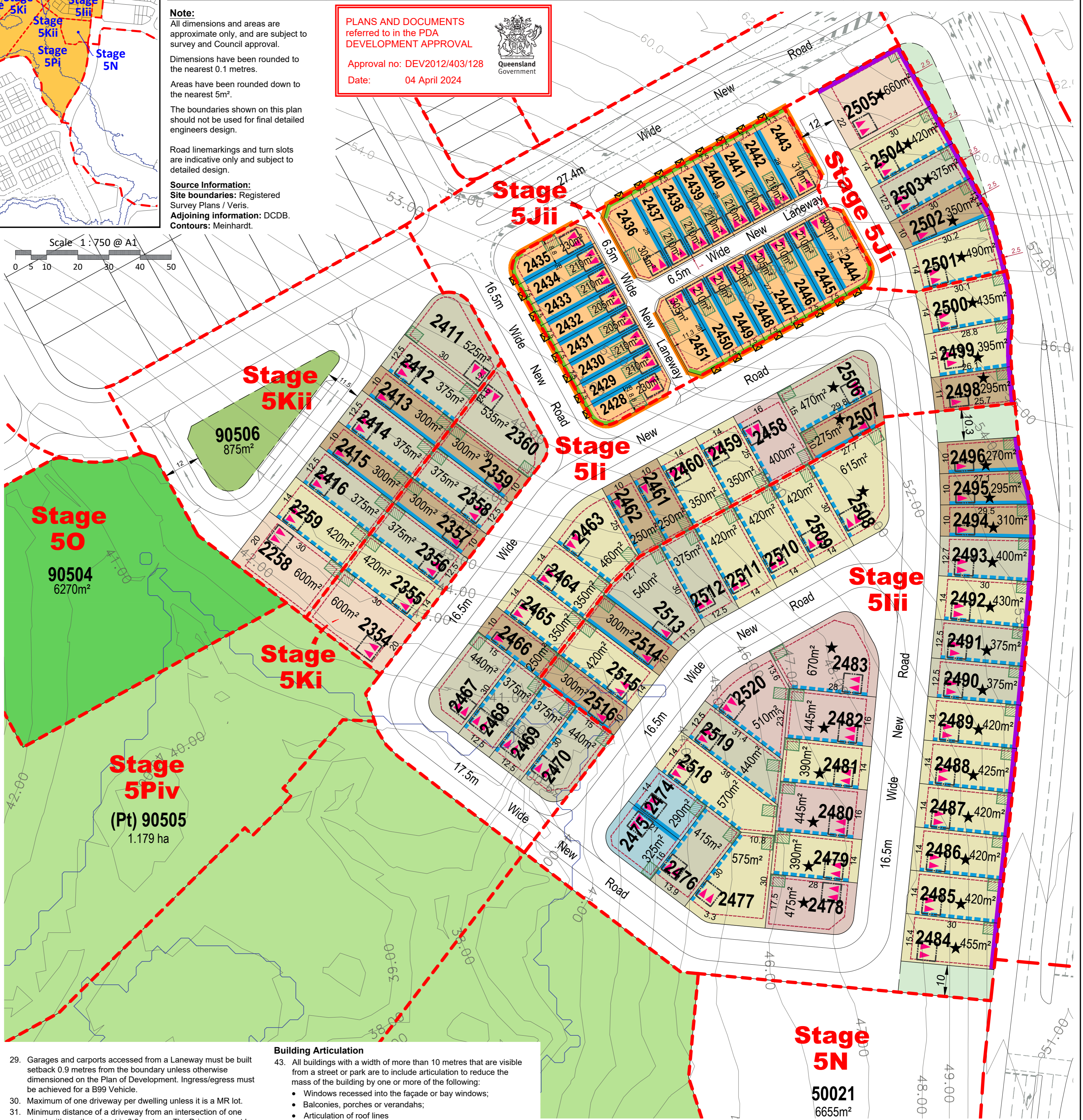
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor		
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a		
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	1.5m*	2.0m*	1.5m*	1.5m*	1.5m*		
* Additional setback required on some allotments - refer POD Notes 14-16.																												
<b>Side - General Lots</b>																												
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a			
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m		
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m		
<b>Laneway Lots</b>																												
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a		
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%			

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**PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL**  
Approval no: DEV2012/403/128  
Date: 04 April 2024



- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension on 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
      - Must be setback a minimum of 240mm behind the pillar of the garage door, and
    - Must have a sectional, tilt or roller door.
  - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
    - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
    - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
    - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
  - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.\*
  - Double car garages are permitted on any double storey dwelling on a Lot between 10.0m and 12.49m or laneway dwelling.
  - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
  - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
  - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
  - Maximum of one driveway per dwelling unless it is a MR lot.
  - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
  - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
  - Driveways must be completed prior to occupation of the dwelling.



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  - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
  - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.

- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the façade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACiACle room orientated towards the open space.
  - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
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- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.

- All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

**Legend**

**General**

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

**Open Space**

- Conservation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Connections

**Allotment Details**

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
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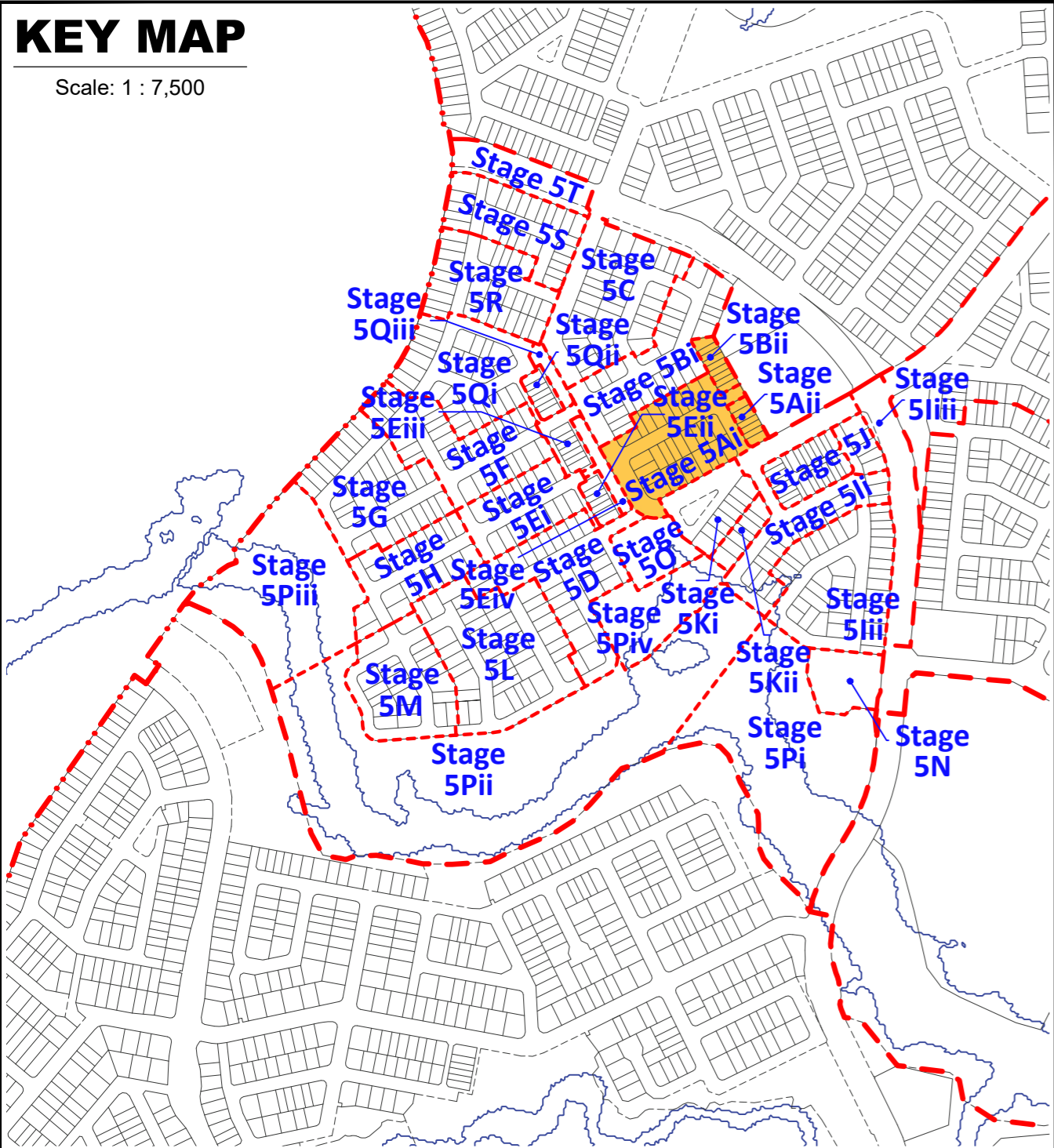
**Definitions**

Laneway Allotment - Allotments serviced by a laneway.

<b>REVISION</b> Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	<b>PROJECT</b> <b>Flagstone Precinct 1</b> Job Ref. 110056 Date. 12 February 2024 Comp By. NF DWG Name. Precinct 1 Stage 5 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	<b>CLIENT</b> <b>PEET</b> Plan of Development Stage 5Ii, Iii, Ji, Jii, K, N, O & P Residential Allotments	<b>URBAN DESIGN</b> Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 8500 W rpsgroup.com
Scale 1 : 750	Sheet A1	Plan Ref 110056 - 414	Rev AJ

**KEY MAP**

Scale: 1 : 7,500



Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m	
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	1.0m*	1.5m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.0m*	1.5m*	1.0m*	1.5m*	1.5m*	2.0m*	1.5m*	2.0m*	1.5m*	1.5m*	
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<b>Laneway Lots</b>																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%	75%	

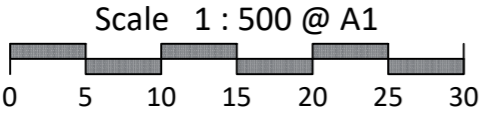
**PLANS AND DOCUMENTS** referred to in the PDA **DEVELOPMENT APPROVAL**

Approval no: **DEV2012/403/128**

Date: **04 April 2024**

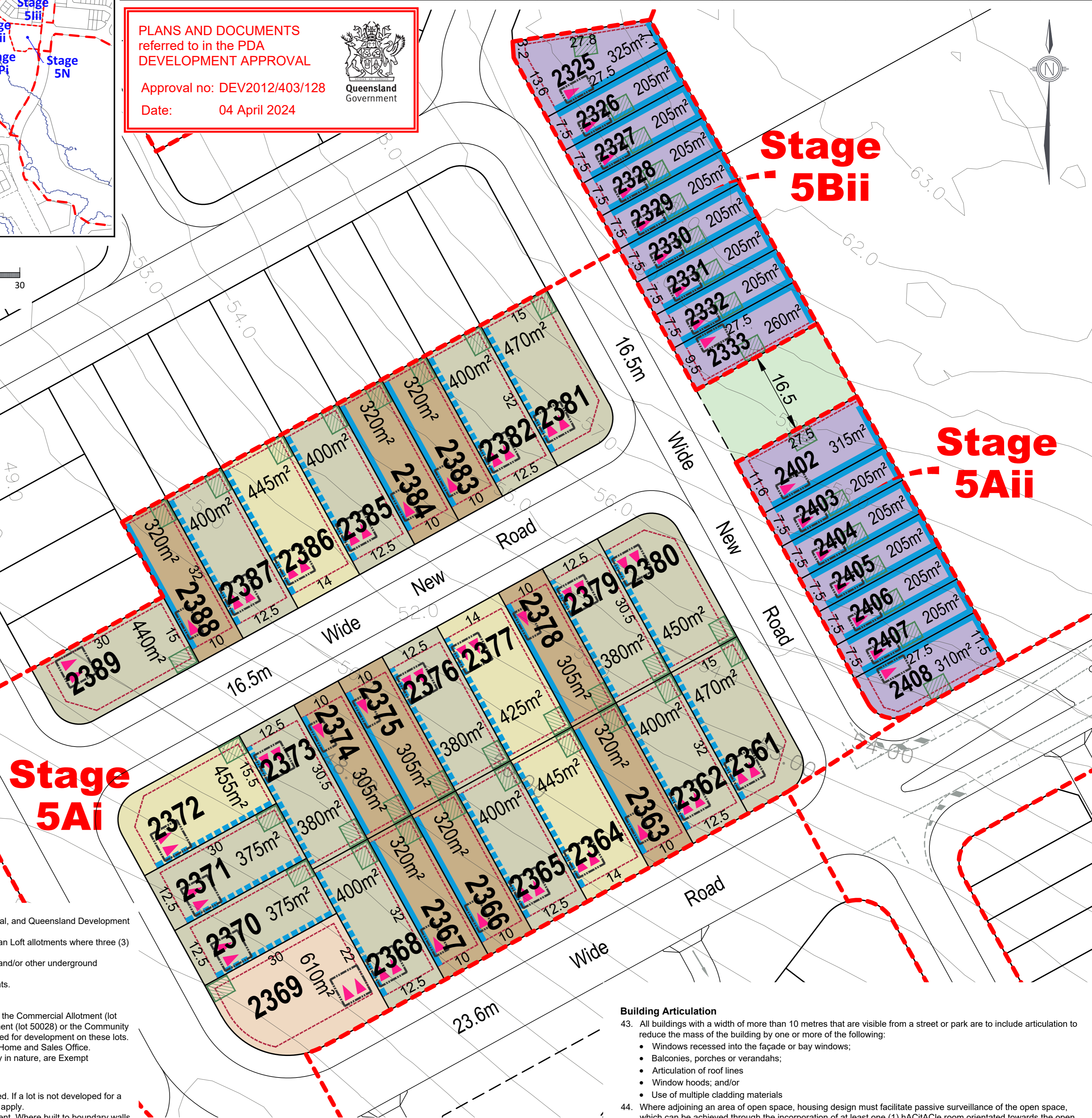
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Road line markings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.



- Legend**
- General**
- Site Boundary
  - Proposed Precinct Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
  - Possible Multiple Residential Allotment (Max. no. of dwellings)
- Open Space**
- Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
  - Maximum Building Location Envelope
  - Mandatory Built to Boundary Wall
  - Nominal Built to Boundary Wall
  - No Vehicle Access
  - Primary Frontage
  - 2m High Solid Timber Fence
  - Preferred Double Garage Location
  - Preferred Single Garage Location
  - Letterbox Location for Primary Dwelling (on a laneway)
  - Lot Impacted by Potential Acoustic Requirements

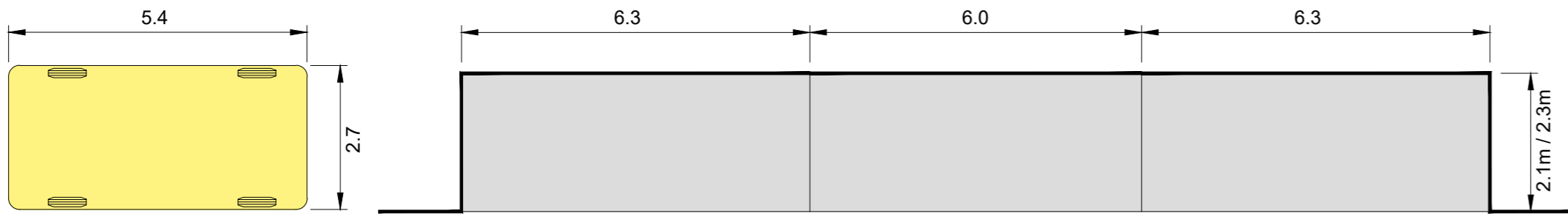
- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
  - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
  - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
  - All lots subject to an acoustic assessment to determine level of acoustic treatments.
  - Buildings shall be constructed in accordance with Bushfire AS3959.
  - Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
  - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
  - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
  - Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
  - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
  - Boundary setbacks are measured to the wall of the structure.
  - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
  - Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
  - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
  - If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
  - Lots 2501 - 2505 require a 2.5m rear setback.
  - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
  - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
  - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
    - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
    - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
  - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
    - 1 Bedroom / Studio - 5m<sup>2</sup> (minimum dimension of 1.2m);
    - 2 Bedroom - 9m<sup>2</sup> (minimum dimension of 2.4m);
    - 3+ Bedroom - 12m<sup>2</sup> (minimum dimension of 2.4m)
  - Private open space must be directly accessible from a living space.
- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
    - For lots up to 12.4 metres wide - 1 covered space per dwelling;
    - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
    - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
  - Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
    - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
    - The garage door:
      - Width must not exceed 4.8m
      - Must have a minimum 450mm eave above it
    - Must be setback a minimum of 240mm behind the pillar of the garage door, and



- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
    - Windows recessed into the façade or bay windows;
    - Balconies, porches or verandahs;
    - Articulation of roof lines
    - Window hoods; and/or
    - Use of multiple cladding materials
  - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACtIAcLe room orientated towards the open space.
  - Carparks and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
  - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
  - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
  - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
  - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
  - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
  - All dwellings must have a clearly identifiable front door, which is undercover.
  - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
  - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
  - Materials, detailing, colours and roof form are consistent with those of the primary house.
  - Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
  - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
  - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
  - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
  - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
  - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
  - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

<p><b>REVISION</b></p> <p>Y: 12/05/2022 Stage 5 Layout Change</p> <p>Z: 08/06/2022 Entry Statement Lease Areas</p> <p>AA: 16/06/2022 Temporary STF Notation</p> <p>AB: 20/09/2022 Stage 3 &amp; 5 Layout Changes</p> <p>AC: 14/11/2022 Stage 5 Boundary Changes</p> <p>AD: 10/01/2023 Stage 3 &amp; 4 Layout Changes</p> <p>AE: 24/02/2023 Stage 3 &amp; 5 Layout Changes</p> <p>AF: 20/03/2023 Stage 3 &amp; 5 Layout Changes</p> <p>AG: 13/04/2023 Stage 3 &amp; 5 Layout Changes</p> <p>AH: 25/07/2023 Stage 4 Layout Changes</p> <p>AI: 08/08/2023 Stage 5 Basin Change</p> <p>AJ: 12/02/2024 Stage 5R Layout Change</p>	<p><b>PROJECT</b></p> <p><b>Flagstone Precinct 1</b></p>		<p><b>CLIENT</b></p> <p><b>PEET</b></p>		<p>Scale: 1 : 500</p> <p>Sheet: A1</p> <p>Plan Ref: 110056 - 415</p> <p>Rev: AJ</p>
	<p>Job Ref. 110056</p> <p>Comp By. NF</p> <p>Chk'd By. MD</p> <p>Local Authority. Economic Development Queensland</p>	<p>Date. 12 February 2024</p> <p>DWG Name. Precinct 1 Stage 5</p> <p>Locality. Flagstone</p>	<p>Plan of Development</p> <p>Stage 5Ai, Aii &amp; Bii</p> <p>Residential Allotments</p>		
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/128

Date: 04 April 2024

**Parking Bay Diagram**  
Scale 1 : 100

**Typical Indented Parking Bay Arrangement**  
(In accordance with AS2890)  
Scale 1 : 100

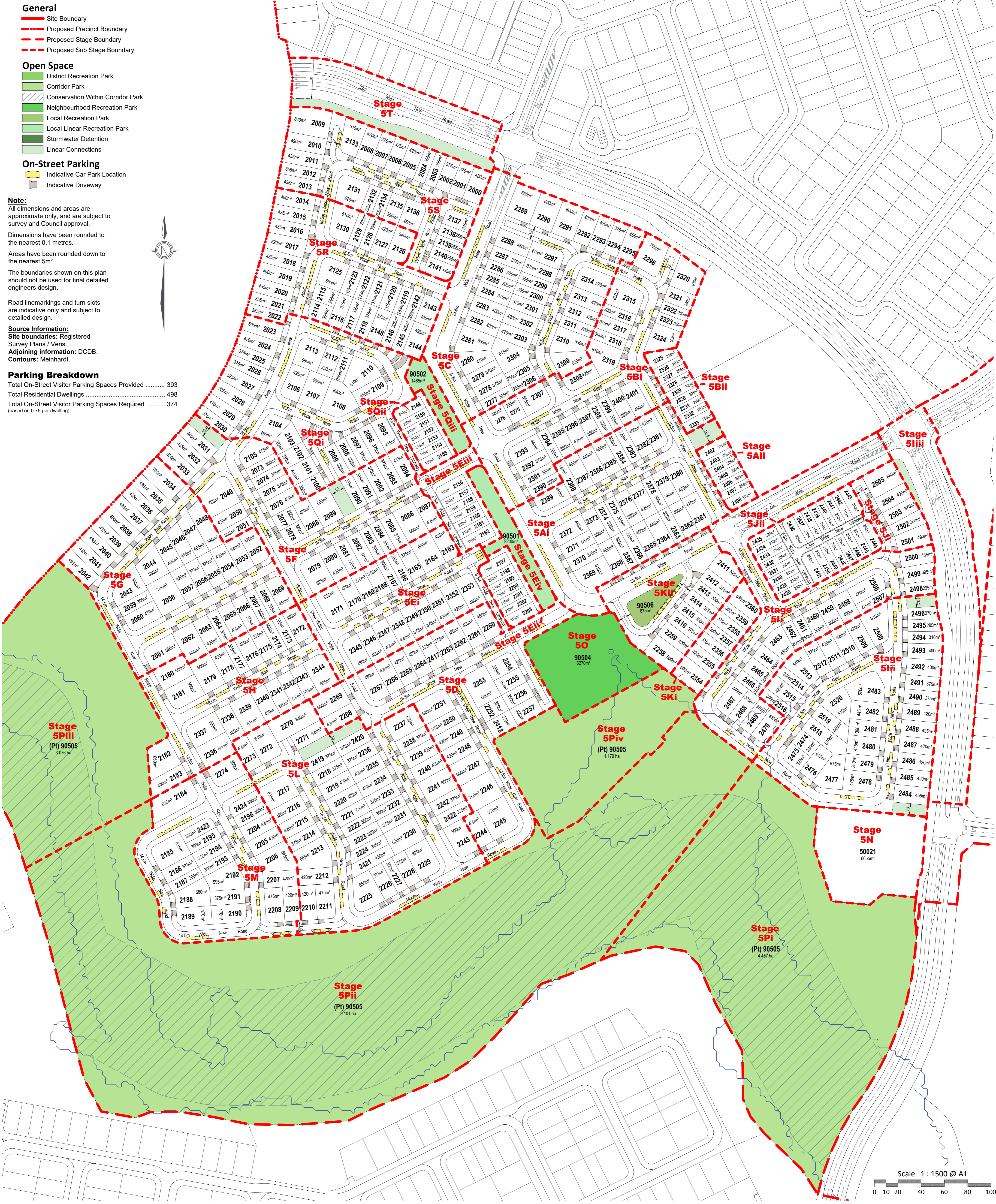
- Legend**
- General**
- Site Boundary
  - Proposed Precinct Boundary
  - Proposed Stage Boundary
  - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
  - Corridor Park
  - Conservation Within Corridor Park
  - Neighbourhood Recreation Park
  - Local Recreation Park
  - Local Linear Recreation Park
  - Stormwater Detention
  - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
  - Indicative Driveway

**Note:**  
All dimensions and areas are approximate only, and are subject to survey and Council approval.  
Dimensions have been rounded to the nearest 0.1 metres.  
Areas have been rounded down to the nearest 5m².  
The boundaries shown on this plan should not be used for final detailed engineers design.  
Road linemarkings and turn slots are indicative only and subject to detailed design.

**Source Information:**  
Site boundaries: Registered Survey Plans / Veris.  
Adjoining information: DCDB.  
Contours: Meinhardt.

**Parking Breakdown**

Total On-Street Visitor Parking Spaces Provided ..... 393  
Total Residential Dwellings ..... 498  
Total On-Street Visitor Parking Spaces Required ..... 374  
(based on 0.75 per dwelling)



Scale 1 : 1500 @ A1

REVISION
Y: 12/05/2022 Stage 5 Layout Change
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PROJECT		CLIENT	
<b>Flagstone Precinct 1</b>		<b>PEET</b>	
Job Ref. 110056	Date. 12 February 2024		
Comp By. NF	DWG Name. Precinct 1 Stage 5		
Chk'd By. MD	Locality. Flagstone		
Local Authority. Economic Development Queensland			

**PEET**

Plan of Development  
Stage 5 Overall  
Parking Management Plan

REVISION		PROJECT		CLIENT	
<b>Flagstone Precinct 1</b>		<b>PEET</b>		<b>rps</b>	
Scale 1 : 1500	Sheet A1	Plan Ref 110056 - 416	Rev AJ	URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com	