

PLANS AND DOCUMENTS referred to in the PDA **DEVELOPMENT APPROVAL** 

Approval no: DEV2012/403/128 04 April 2024 Date:



# Legend Site Boundary

- Proposed Stage Boundary

- --- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings) 1
- Entry Statements Lease
- Indicative Indented Bus Stop
- Indicative In-Line Bus Stop
- Bus Stop Catchment (400m)
- ---- Neighbourhood Park Catchment (400m)

#### Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m<sup>2</sup>.

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information: Site boundaries: Registered Survey Plans / Veris. Adjoining information: DCDB. Contours: Meinhardt.

490m² 2010

435m<sup>2</sup> 2011

2015

Land Budget	Stage 5		Yield B
	Ove	erall	Residential Allo
Land Use	Area	Area	
Area of Subject Site	52.172 ha	100.0%	Urban & Nano Allotments Product
Saleable Area			Urban Loft
Residential Allotments	19.984 ha	38.3%	Urban Allotments
Medium Density Allotment	0.666 ha	1.3%	Urban Terrace
Balance Super Allotments		0.0%	Subtotal
Total Area of Allotments	20.650 ha	39.6%	16m Deep Product
Road			Squat Allotment
Collector Road	3.529 ha	6.8%	Subtotal
Local Road	8.671 ha	16.6%	25m Deep Product
Linear Connections	0.429 ha	0.8%	Villa Allotment
Entry Statements		0.0%	Premium Villa Allotment
Total Area of New Road	12.629 ha	24.2%	Courtyard Allotment
Open Space			Premium Courtyard Allotment
Corridor Park	17.812 ha	34.1%	Premium Traditional Allotment
Conservation (Within Corridor Park)	_		Possible Multiple Residential Allotmen
District Recreation Park	_	0.0%	Subtotal
Neighbourhood Recreation Park	0.627 ha	1.2%	28m - 30m Deep Product
Local Recreation Park	0.088 ha	0.2%	Terrace 4.5m Allotment
Local Linear Recreation Park	0.366 ha	0.7%	Terrace 6.6m Allotment
Stormwater Detention	_	0.0%	Terrace 7.5m Allotment
Total Open Space	18.893 ha	36.2%	Terrace 9.5m Allotment

0.7%	Terrace 6.6m Allotment	6.6 x 28m	185m²		0.0%
0.0%	Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	33	6.6%
36.2%	Terrace 9.5m Allotment	9.5 x 28m	265m²	12	2.4%
-/- J.Ñ	Subtotal			45	9.0%
0.94	30m Deep Product				
	Villa Allotment	10 x 30m	300m <sup>2</sup>	72	14.5
0.64	Premium Villa Allotment	12.5 x 30m	375m²	123	24.7
	Courtyard Allotment	14 x 30m	420m <sup>2</sup>	124	24.9
	Traditional Allotment	20 x 30m	600m <sup>2</sup>	43	8.6%
AF	Premium Traditional Allotment	25 x 30m	720m²	2	0.4%
$\sum   $	Possible Multiple Residential Allotment	_	_	_	0.0%
	Subtotal			364	73.1
0.94.0	Total Residential Allotments			498	1009
	Residential Net Density			16.5	dw/ha
$\square$	Super Lots			L	ots
T Y	Medium Density Allotment				1
	Balance Super Allotments			-	_
	Sub Total				1
	Total Allotments			4	99
	Maximum Potential Residential Dwellin (Includes Multiple Residential Allotment	0		5	01
	Maximum Potential Net Residential Den	sity		16.6	dw/ha
$\searrow X / /$	<b>*</b>				

Yield Breakdown Stage 5

4.7 x 12.5m

7.5 x 16m

7.5 x 27.5m

14 x 16m

10 x 25m

12.5 x 25m

14 x 25m

16 x 25m

20 x 25m

\_

4.5 x 28m

Typical Size Typical Area

50m²

120m²

205m<sup>2</sup>

220m²

250m²

313m²

350m²

400m<sup>2</sup>

500m<sup>2</sup>

\_

126m<sup>2</sup>

Overall

—

\_\_\_\_

16

16

10

10

21

3

25

10

1

3

63

—

0.0%

0.0%

3.2%

3.2%

2.0%

2.0%

4.2%

0.6%

5.0%

2.0%

0.2%

0.6%

12.7%

0.0%

0.0%

6.6%

2.4%

9.0%

14.5%

24.7% 24.9%

8.6% 0.4% 0.0% 73.1%

100%

**Residential Allotments** 



2289

2290 2291 2292 2293

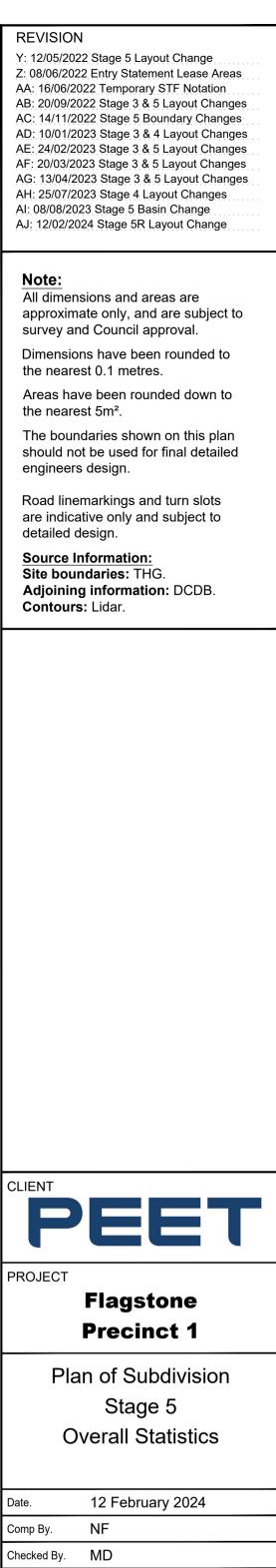
REVISION Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes	PROJECT	Flagstone Precinct 1	CLIENT	PEET		٢	52	JRBAN DESIGN Level 4 HQ South 20 Wickham Street PO Box 1559 e Valley QLD 4006 T +61 7 3539 9500
AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes	Job Ref. 110056	Date. 12 February 2024		Plan of Subdivision			v	W rpsgroup.com
AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes	Comp By. NF	DWG Name. Precinct 1 Stage 5				Unauthorised	GHT PROTECTS THIS PLAN reproduction or amendment not . Please contact the author.	
AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes	Chk'd By. MD	Locality. Flagstone		Stage 5 Overall	Scale	Sheet	Plan Ref	Rev
AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	Local Authority. Econon	nic Development Queensland		Allotment Layout	1 : 2000	A1	110056 – 403	AJ

															Yield	Break	<b>kdow</b> i	n Stag	ge 5																
Residential Allotn	ents																		-																
	Typical Size	Typical Area	Stage 5Ai	Stage 5Aii	Stage 5Bi	Stage 5Bii	Stage 5C	Stage 5D	Stage 5Ei	Stage 5Eii S	Stage 5Eiii St	tage 5F	Stage 5G S	Stage 5H	Stage 5li	Stage 5lii	Stage 5liii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	i Stage 5L	Stage 5M	Stage 5N	Stage 50	Stage 5Pi	Stage 5Pii	Stage 5Piii	Stage 5Piv	Stage 5Qi	Stage 5Qii	Stage 5R	Stage 5S	Stage 5T	Overall
ban & Nano Allotments Product					-1					I		I	I			I				-						I	I								
ban Loft	4.7 x 12.5m	50m²	_		_	_	_	_		_	_	_	_	_	_	_	_	_	_	_		_	_	_	_	_	_		_	_	_			_	_
rban Allotments	7.5 x 16m	120m <sup>2</sup>		_	_	_	_	_		_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_		_	_	_
rban Terrace	7.5 x 27.5m	205m <sup>2</sup>	_	7	_	9	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_		_	_	16
ubtotal				7	_	9	_	_		_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_		_	_	_		_	_	16
6m Deep Product																									<u> </u>	1									
Squat Allotment	14 x 16m	220m²			2	_	_	2		_	_	2	_	_	_	2	_	_	_	_	_		_	_	_	_	_		_	_	_	2		_	10
Subtotal				_	2	_		2	_		_	2		_	_	2	_	_			_		_			_	_			_	_	2		_	10
25m Deep Product																																	LL		
/illa Allotment	10 x 25m	250m²			2	_	2	_	_	_	_	_	_	_	5	2	_	_		_	_		_	_	_	_	_	_	_	2	_	3	5	_	21
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>							_		_		_			_				_						_					_	3		_	3
Courtyard Allotment	14 x 25m	350m <sup>2</sup>		_			1		_		_	_	1		6	2					_					_	_			<u> </u>		1		_	25
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>			2		I	4					1		1	5														4		I	4		10
Premium Coultyard Allotment	20 x 25m	400m <sup>2</sup>	—		Z	—	—	—	_	—	_	_	I	1	I	5		—	—	—	_	—	—	—	—		_	_		I	_	_	—	_	1
					—			—	_	—	_	_		I	_				—	—		—	_		—				_	-			-	_	
Possible Multiple Residential Allotment	—	_	_				-	-	_	—	_	_	_	_	-	_	—		—	—	_		_			_	_		_	1	—	1		_	3
Subtotal			-	_	6	-	3	4	_	-		-	2	1	12	9	_	-		—	_	-	-	-	-	-	-		-	8	_	8	10	-	63 <sup>2</sup>
28m - 30m Deep Product	4	400.0						1										1				1											T		
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>	—					—		—	_	_		_	—	_		—	—	—			—				_		—	_	_		—	_	
Terrace 6.6m Allotment	6.6 x 28m	185m²			—			—		—	-	—	_	—	—	_	—	—	—	—	—	—	—	—		_	_		—	_	—		—	—	_
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>		—		_	_	—	—	5	5	_	_	—	—	_	—	—	18	—	—		—	—		_	_		—	_	5			_	33
Terrace 9.5m Allotment	9.5 x 28m	265m²	_		—	_	_	—	_	2	2	—	_	—	—	_	—	—	6	—	—		—	—	_	_	_		—	_	2			_	12
Subtotal			_	_	_	_	_	—	_	7	7	_	_	_	_	_	_	—	24		_		_	—	_	_	—	_	—	_	7	—	<u> </u>	_	45
30m Deep Product																							1												
Villa Allotment	10 x 30m	300m²	9	_	7	_	6	—	2	—	—	7	4	3	—	3	—	1	—	2	2	5	6	—	_	—	—	_	—	5	—	7	3	—	72 <sup>2</sup>
Premium Villa Allotment	12.5 x 30m	375m²	15	—	9	_	12	3	5	—	—	9	11	4	5	7	—	1	—	3	4	14	3	_	_	_	_	—	—	5	—	7	6	—	123 2
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	4		1	_	11	11	9	—	—	7	12	6	1	14	—	2	—	1	1	15	10			—			—	7	—	7	5	—	124 2
Traditional Allotment	20 x 30m	600m²	1		2	_	3	4	2	_	_	4	4	7	_	_	_	1	_	1	1	8	3	_	_	_	_	_	_	1	_		1	_	43
Premium Traditional Allotment	25 x 30m	720m²			_	_	_	2			_	_	_			_		_		_		_	_	_	_	_	_	_		_				_	2
Possible Multiple Residential Allotment	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_		_	_	_		_	_	_
Subtotal			29	_	19	_	32	20	18	_	_	27	31	20	6	24	_	5	_	7	8	42	22	_	_	_	_	_	_	18	_	21	15	_	364 7
																							<u> </u>												
Total Residential Allotments			29	7	27	9	35	26	18	7	7	29	33	21	18	35	_	5	24	7	8	42	22	_	_	_	_	_	_	26	7	31	25	_	498
Residential Net Density				42.2 dw/ha	16.7 dw/ha	44.3 dw/ha				35.2 dw/ha	21.0 dw/ha 16						_	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha				_	_	_		_	14.0 dw/ha	36.1 dw/ha			_	16.5 dw/h
-																										I									
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots
Medium Density Allotment											_	_												1	_									_	1
Balance Super Allotments				_					_		_		_							_	_			· _		_				_	_			_	
Sub Total										_	_	_		_						_			_	1		_									
																								•										_	L
Fotal Allotments			29	7	27	0	25	26	18	7	7	29	33	21	10	35		5	24	7	0	40	22	1						26	7	31	25		499
I otal Anothents			29		21	9	35	20	10	1	1	29	33	21	18	35	_	5	24	1	0	42	22				—		—	20	1	J		_	499
Aximum Potential Residential Dwell	inge																																T T		1
			29	7	27	Q	35	26	18	7	7	29	33	21	18	35	_	5	24	7	8	42	22	_		_	_	_	_	27	7	32	26	_	501
Includes Multiple Residential Allotme	nte)		23	1	<b></b>	5		20	10			20	55	21	10	55		U U	27		0	42	LL			I				21	1	JZ	20	1	

															Laı	า <mark>d B</mark> u	dget	Stage	5																	
	Stage 5Ai	Stage 5Aii	Stage 5Bi	Stage 5Bii	Stage 50	Stage 5	D Stage 5Ei	i Stage 5Eii	Stage 5Eiii	Stage 5Eiv	Stage 5F	Stage 5G	Stage 5H	Stage 5li	Stage 5lii	Stage 5liii	Stage 5J	i Stage 5Ji	Stage 5K	Stage 5Kii	Stage 5L	Stage 5M	Stage 5N	Stage 50	Stage 5Pi	Stage 5Pii	Stage 5Piii	Stage 5Piv	Stage 5Qi	Stage 5Qii	Stage 5Qiii	Stage 5R	Stage 5S	Stage 5T	Ove	erall
Land Use	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
rea of Subject Site	1.853 ha	0.166 ha	1.821 ha	0.203 ha	2.354 ha	1.949 h	a 1.171 ha	0.199 ha	0.334 ha	0.220 ha	1.800 ha	2.042 ha	1.366 ha	1.725 ha	2.270 ha	1.205 ha	0.317 ha	0.633 ha	0.291 ha	0.827 ha	2.740 ha	1.648 ha	0.666 ha	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	1.863 ha	0.194 ha	0.146 ha	1.559 ha	1.385 ha	0.786 ha	52.172 ha	ı 100.0
aleable Area							·																										· · · ·			
tesidential Allotments	1.136 ha	0.166 ha	1.088 ha	0.203 ha	1.484 ha	1.208 ha	a 0.762 ha	0.167 ha	0.167 ha		1.198 ha	1.500 ha	0.990 ha	0.652 ha	1.481 ha	_	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.999 ha		_	_	_	_	_	1.137 ha	0.167 ha	_	1.201 ha	0.991 ha	_	19.984 ha	a 38.3
ledium Density Allotment	_	_	_	_	_	_	_	_	_		_	_			_	_	_		_	_			0.666 ha	_	—		_	_	_	_	_		_	_	0.666 ha	1.3%
alance Super Allotments	_	_	_	_	_	_	_	_	_		_	_	_	_	_	_	_			_				_	_		_	_	_	_	_		_	_	_	0.0%
otal Area of Allotments	1.136 ha	0.166 ha	1.088 ha	0.203 ha	1.484 ha	1.208 h	a 0.762 ha	0.167 ha	0.167 ha		1.198 ha	1.500 ha	0.990 ha	0.652 ha	1.481 ha	_	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.999 ha	0.666 ha	_	_		_	—	1.137 ha	0.167 ha	_	1.201 ha	0.991 ha	_	20.650 ha	a 39.6°
load																																				
collector Road	0.278 ha	_	0.201 ha	_	0.544 ha	_	_	_	_		_	_	_	0.451 ha	_	1.176 ha	_	_	_	0.257 ha	_	_		_	_	_	_	_	_	_	_	_	_	0.622 ha	3.529 ha	6.8%
ocal Road	0.394 ha	_	0.532 ha	_	0.326 ha	0.741 ha	a 0.409 ha	0.032 ha	0.167 ha		0.528 ha	0.542 ha	0.376 ha	0.622 ha	0.732 ha	_	0.087 ha	0.086 ha		0.155 ha	0.788 ha	0.649 ha		_	_	_	_	_	0.726 ha	0.027 ha	_	0.358 ha	0.394 ha	_	8.671 ha	16.6%
inear Connections	0.045 ha	_	_	_	_	_	_	_	_		0.074 ha	_	_	_	0.057 ha	0.029 ha	_	_	_	_	0.060 ha	_		_	_	_	_	_	_	_	_	_	_	0.164 ha	0.429 ha	0.8%
intry Statements	_	_	_	_	_	_	_	_	_		_	_	_	_		_	_	_	_	_	_	_	_	_	_		_	—	_	_	_		—	_	_	0.0%
otal Area of New Road	0.717 ha	_	0.733 ha	_	0.870 ha	0.741 h	a 0.409 ha	0.032 ha	0.167 ha		0.602 ha	0.542 ha	0.376 ha	1.073 ha	0.789 ha	1.205 ha	0.087 ha	0.086 ha	_	0.412 ha	0.848 ha	0.649 ha		_	_		_	—	0.726 ha	0.027 ha	_	0.358 ha	0.394 ha	0.786 ha	12.629 ha	a 24.2°
)pen Space																																				
Corridor Park	—	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	4.457 ha	9.101 ha	3.076 ha	1.179 ha	_	_	_	_	_	_	17.812 ha	a 34.1º
Conservation (Within Corridor Park)					_	_		_				_				_				_				_	_		_	_			_		_	_	_	0.0%
District Recreation Park	_	_	_	_	_	_	_	_	_		_	_	_	_	_	_	_	_	_	_			_	_	_		_	_	_	_	_		—	_	_	0.0%
leighbourhood Recreation Park	_	_	_	_	_	_	_	_	_		_	_	_	_		_	_	_	_	_	_	_		0.627 ha	_	_	_	_	_	_	_		_	_	0.627 ha	1.2%
ocal Recreation Park	_	_	_	_	_	_	_	_	_		_	_	_	_		_	_	_	_	0.088 ha	_	_	_	_	_		_	—	_	_	_		—	_	0.088 ha	0.2%
ocal Linear Recreation Park	_	_	_	_	_	_	_	_	_	0.220 ha	_	_	_	_		_	_	_		_	_	_		_	_	_	_	_	_	_	0.146 ha		_	_	0.366 ha	0.7%
tormwater Detention	_	_	_	_	_	_	_	_	_		_	_		_		_	_	_	_	_		_		_	_	_	_	_	_	_	_		_	_	_	0.0%
otal Open Space	_	_	_	_	_			_	_	0.220 ha	_	_	_	_		_	_	_	_	0.088 ha	_			0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	_	_	0.146 ha	_	_	_	18.893 ha	a 36.2°

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL ADDAL AT THOMS ADDAL ADDAL AT THOMS ADDAL ADDAL AT THOMS ADDAL AD

Approval no: DEV2012/403/128 04 April 2024



Checked By.	MD	
DWG Name.	Precinct 1 Sta	ge 5
Job Ref.	110056	
Local Authority.	Economic Development	Queensland
Locality.	Flagstone	
Scale		Sheet
N	TS	A1
Plan Ref		Rev

110056 – 404

URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com

AJ



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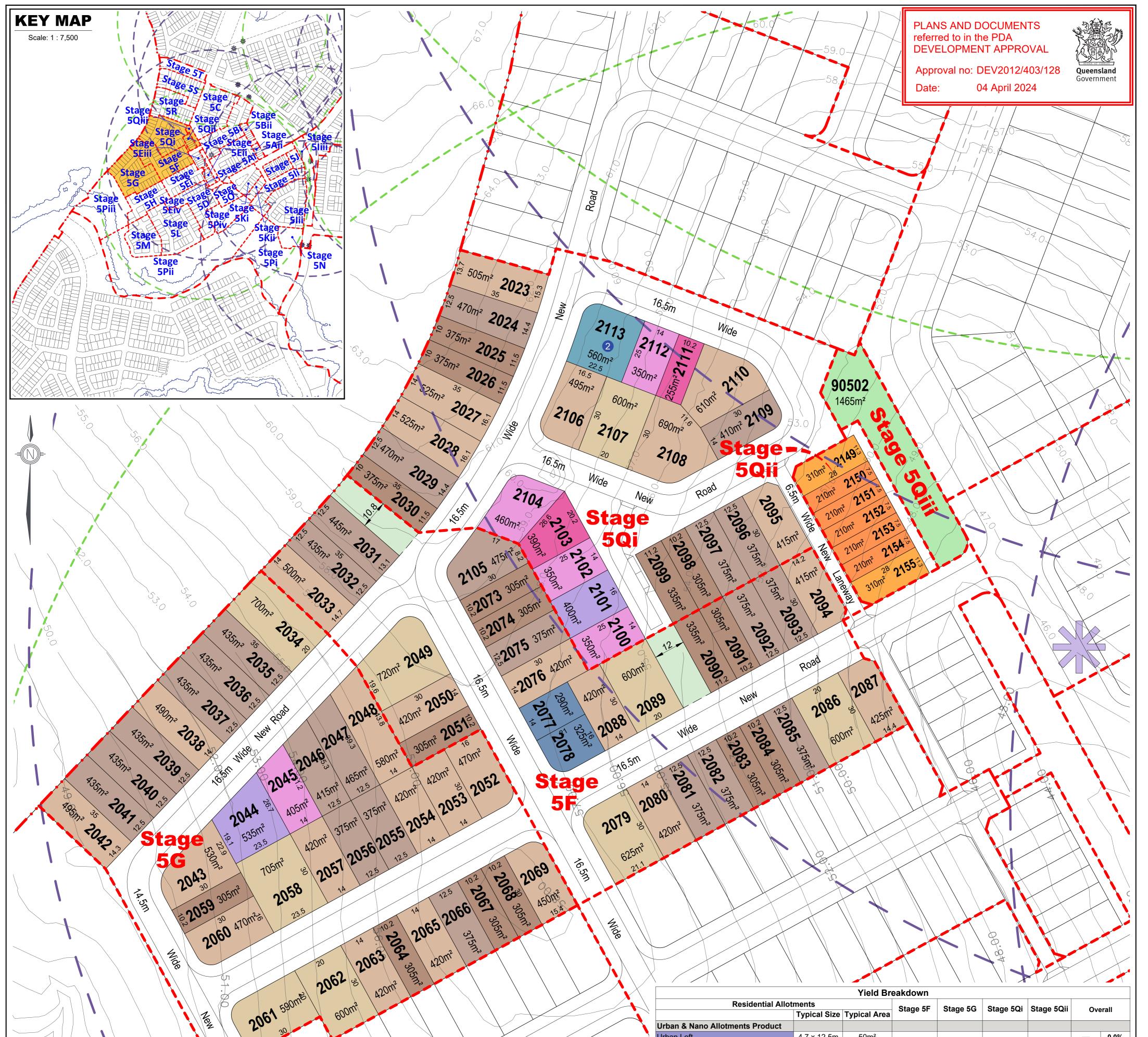


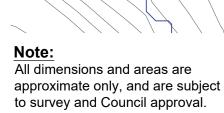
			Yiel	d Breakd	own							
Residential Alle		-	Stage 5D	Stage 5E	i Stage 5Eii	Stage 5Eiii	Stage 5H	Stage 5L	Stage 5M	0	verall	
	Typical Size	lypical Are	a		-							PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Urban & Nano Allotments Product		= 0 0									0.00/	referred to in the PDA
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>								-	0.0%	P
Urban Allotments	7.5 x 16m	120m <sup>2</sup>								-	0.0%	
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>								-	0.0%	2 Legend X / A Approval no: DEV2012/403/128 Queensland
Subtotal 16m Deep Product				-	_	-	-		_	_	0.0%	
Squat Allotment	14 x 16m	220m <sup>2</sup>	2							0	4 40/	Site Boundary Date: 04 April 2024
Subtotal	14 X 10111	220111-	2		—					2	1.4%	
25m Deep Product			2	_	_		_		_	2	1.4 /0	Proposed Sub Stage Boundary
Villa Allotment	10 x 25m	250m <sup>2</sup>	_	_				_		_	0.0%	Existing Q100
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>							_		0.0%	All dimensions and areas are approximate only, Road linemarkings and turn slots are indicative
Courtyard Allotment	14 x 25m	350m <sup>2</sup>	Δ	_							2.8%	(Max no of dwellings)
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>									0.0%	
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>					1			1	0.7%	Adjoining information: DCDB.
Possible Multiple Residential Allotmer										· -	0.0%	Location Contours: Meinhardt.
Subtotal			4				1			5	3.5%	- NV Indicative In-Line Rus Ston The boundaries shown on this plan should not be
28m - 30m Deep Product												- Bus Stop Catchment (400m)     Scale 1:1000 @ A1
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>		_		_	_	_	_	_	0.0%	
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>		_		_	_	_	_	_	0.0%	- Neighbourbood Park Catchment (100m)
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>		_	5	5	_		_	10	7.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>		_	2	2	_		_	4	2.8%	
Subtotal			_	_	7	7	_	_	_	14	9.8%	Land Use Stage 5D Stage 5Ei Stage 5Eii Stage 5Eiii Stage 5Eiv Stage 5H Stage 5L Stage 5M Overall
30m Deep Product											1	Area Area Area Area Area Area Area Area
Villa Allotment	10 x 30m	300m²		2	—	_	3	5	6	16	11.2%	
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	3	5		_	4	14	3	29	20.3%	
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	11	9		_	6	15	10	51	35.7%	Residential Allotments 1.208 ha 0.762 ha 0.167 ha 0.167 ha — 0.990 ha 1.892 ha 0.999 ha 6.185 ha 64.2%
Traditional Allotment	20 x 30m	600m²	4	2	—	—	7	8	3	24	16.8%	
Premium Traditional Allotment	25 x 30m	720m²	2				_		_	2	1.4%	
Possible Multiple Residential Allotmer	nt <u> </u>								_		0.0%	
Subtotal			20	18			20	42	22	122	85.3%	
												Collector Road         —         —         —         —         —         —         —         0.0%
Total Residential Allotments			26	18	7	7	21	42	22	143	100.0%	
Residential Net Density			13.3 dw/ha	15.4 dw/ha	a 35.2 dw/ha	21.0 dw/ha	15.4 dw/ha	15.3 dw/ha	13.3 dw/ha			Linear Connections — — — — — — — 0.060 ha — 0.060 ha 0.6%
												Entry Statements 0.0%
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	L	_ots	Total Area of New Road         0.741 ha         0.409 ha         0.032 ha         0.167 ha         —         0.376 ha         0.848 ha         0.649 ha         3.222 ha         33.5%
Medium Density Allotment			-			—					_	Open Space
Balance Super Allotments						—					_	Corridor Park         —         —         —         —         —         —         —         0.0%           Conservation (Within Corridor Park)         —         —         —         —         —         —         —         0.0%
Sub Total			-	-	_	—	_		_		_	
			00	40	-	-	04	40	00		4.4.2	
Total Allotments			26	18	7	7	21	42	22		143	
Maximum Potential Residential Dw	allings											Local Recreation Park         —         —         —         —         —         —         —         —         0.0%           Local Linear Recreation Park         —         —         —         —         —         —         —         —         0.0%
(Includes Multiple Residential Allot	•		26	18	7	7	21	42	22		143	
Maximum Potential Net Residential	· ·		13 3 dw/ba	15 / dw/b	a 35.2 dw/ha	21 0 dw/ba	15 4 dw/ba	15 3 dw/ba	13 3 dw/ba			Stormwater Detention              0.0%           Total Open Space            0.220 ha           0.220 ha          0.220 ha         2.3%
	Lonony		13.3 uw/11a	13.4 uw/fi	a 35.2 uw/11d	21.0 uw/11d	13.4 uw/11a	15.5 uw/lia	13.3 uw/11a			



		Sca	ale 1	: 100	0 @	A1	
0	5	10	20	30	40	50	60

REVISION Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes	PROJECT	Flagstone Precinct 1	CLIENT	PEET		ſ	<b>PCS</b> FC	URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 prtitude Valley QLD 4006
AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes	Job Ref. 110056	Date. 12 February 2024		Plan of Subdivision				T +61 7 3539 9500 W rpsgroup.com
AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes	Comp By. NF	DWG Name. Precinct 1 Stage 5				Unauthorised	OFT PROTECTS THIS PLAN reproduction or amendment not . Please contact the author.	
	Chk'd By. MD	Locality. Flagstone		Stage 5D, Ei, Eii, Eiii, Eiv, H, L & M	Scale	Sheet	Plan Ref	Rev
Al: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	Local Authority. Econon	nic Development Queensland		Allotment Layout	1 : 1000	A1	110056 – 40	5 AJ





Dimensions have been rounded to the nearest 0.1 metres.

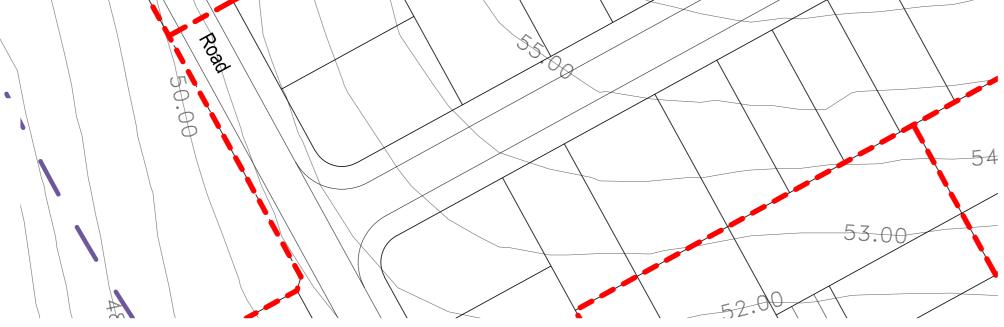
Areas have been rounded down to the nearest 5m<sup>2</sup>.

46.00

The boundaries shown on this plan should not be used for final detailed engineers design

Road linemarkings and turn slots

		Yield Br	eakdown					
Residential Allot			Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Ov	erall
	Typical Size	Typical Area			olugo ogi	otago ogn	00	eran
Urban & Nano Allotments Product								1
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>					—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>		—			—	0.0%
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>		—			—	0.0%
Subtotal						_	_	0.0%
16m Deep Product								1
Squat Allotment	14 x 16m	220m <sup>2</sup>	2				2	2.1%
Subtotal			2	—	—	—	2	2.1%
25m Deep Product								1
Villa Allotment	10 x 25m	250m <sup>2</sup>		—	2		2	2.1%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>	—	—			—	0.0%
Courtyard Allotment	14 x 25m	350m²		1	4		5	5.3%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>		1	1		2	2.1%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>		—			—	0.0%
Possible Multiple Residential Allotment	—			—	1		1	1.1%
Subtotal			_	2	8	_	10	10.5%
28m - 30m Deep Product								1
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>					—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m²	<u> </u>	<u> </u>	<u> </u>		_	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>				5	5	5.3%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>		<u> </u>		2	2	2.1%
Subtotal				—		7	7	7.4%
30m Deep Product								
Villa Allotment	10 x 30m	300m²	7	4	5		16	16.8%
Premium Villa Allotment	12.5 x 30m	375m²	9	11	5		25	26.3%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	7	12	7		26	27.4%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	4	4	1		9	9.5%
Premium Traditional Allotment	25 x 30m	720m²					—	0.0%
Possible Multiple Residential Allotment	—	—		—			—	0.0%
Subtotal			27	31	18	—	76	80.0%
Total Residential Allotments			29	33	26	7	95	100.0%
Residential Net Density			16.1 dw/ha	16.2 dw/ha	20 14.0 dw/ha	, 36.1 dw/ha	33	100.078
-								
Super Lots			Lots	Lots	Lots	Lots	L	ots
Medium Density Allotment				_				<b>_</b>
Balance Super Allotments			_	_			-	_
Sub Total					_		-	_
Total Allotments			29	33	26	7		95
			29	33	20	1	5	10
Maximum Potential Residential Dwel	•		29	33	27	7	c	96
(Includes Multiple Residential Allotm	•		-			-		
Maximum Potential Net Residential D	ensity		16.1 dw/ha	16.2 dw/ha	14.5 dw/ha	36.1 dw/ha		



600m2

New

are indicative only and subject to detailed design.

#### Source Information:

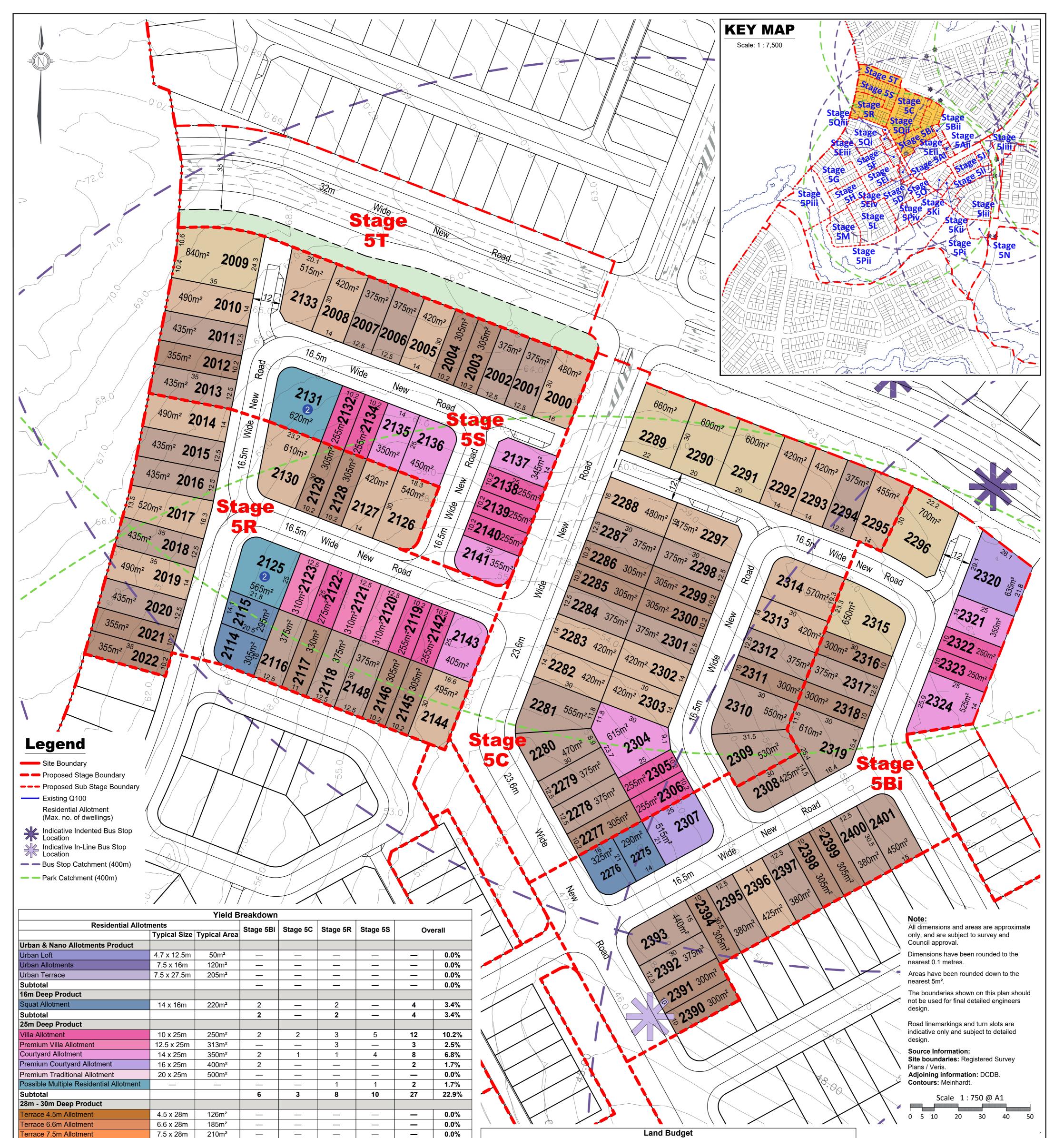
Site boundaries: Registered Survey Plans / Veris. Adjoining information: DCDB. Contours: Meinhardt.

# Legend

- Site Boundary
- Proposed Stage Boundary
- --- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location Indicative In-Line Bus Stop
- Bus Stop Catchment (400m)
- - Neighbourhood Park Catchment (400m)
- Scale 1:750@A1 0 5 10 20 40 50 30

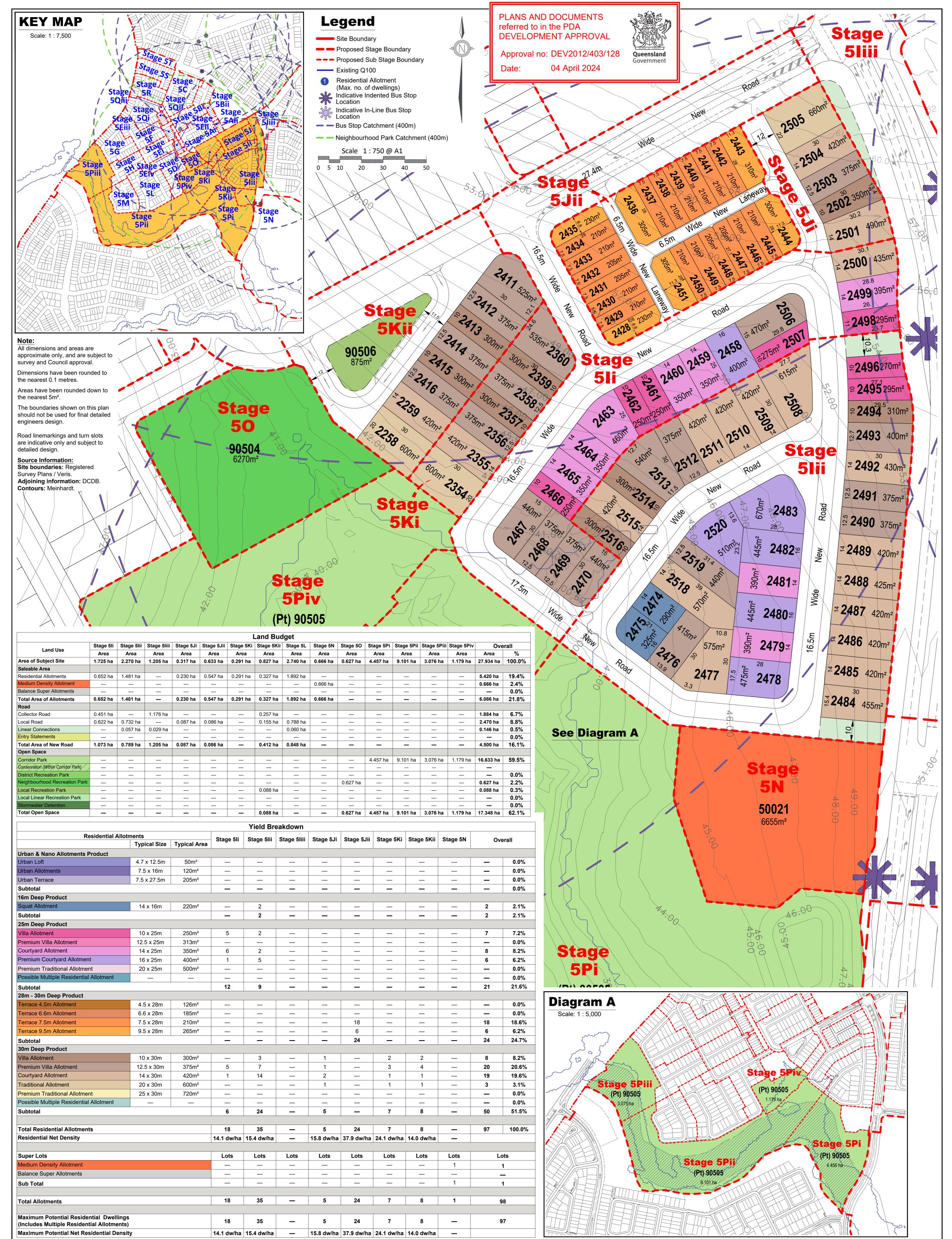
		Land I	Budget				
Land Use	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Stage 5Qiii	Ove	rall
Land Ose	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1.800 ha	2.042 ha	1.863 ha	0.194 ha	0.146 ha	6.045 ha	100.0%
Saleable Area							
Residential Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha		4.002 ha	66.2%
Medium Density Allotment	_	_		—		—	0.0%
Balance Super Allotments	_	_	_	—		—	0.0%
Total Area of Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha		4.002 ha	66.2%
Road							
Collector Road				—		—	0.0%
Local Road	0.528 ha	0.542 ha	0.726 ha	0.027 ha		1.823 ha	30.2%
Linear Connections	0.074 ha			_		0.074 ha	1.2%
Entry Statements				_		_	0.0%
Total Area of New Road	0.602 ha	0.542 ha	0.726 ha	0.027 ha	_	1.897 ha	31.4%
Open Space							
Corridor Park	_			—		—	0.0%
Conservation (Within Corridor Park)	_			—		—	0.0%
District Recreation Park	_	_	_	—		—	0.0%
Neighbourhood Recreation Park	_			_		_	0.0%
Local Recreation Park	_			_		_	0.0%
Local Linear Recreation Park	_			_	0.146 ha	0.146 ha	2.4%
Stormwater Detention	_			_	_	_	0.0%
Total Open Space	_	_	_	_	0.146 ha	0.146 ha	2.4%

REVISION Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes	PROJECT	Flagstone Precinct 1	CLIENT	PEET		ſ	Fortit	URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 tude Valley QLD 4006
AC: 14/11/2022 Stage 5 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes	Job Ref. 110056	Date. 12 February 2024		Plan of Subdivision				<b>T</b> +61 Ź 3539 9500 <b>W</b> rpsgroup.com
AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes	Comp By. NF	DWG Name. Precinct 1 Stage 5				Unauthorised	GHT PROTECTS THIS PLAN reproduction or amendment not . Please contact the author.	
AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes	Chk'd By. MD	Locality. Flagstone		Stage 5F, G, Qi, Qii & Qiii	Scale	Sheet	Plan Ref	Rev
Al: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	Local Authority. Econor	nic Development Queensland		Allotment Layout	1:750	A1	110056 – 406	AJ



	7.0 X 2011	210111						0.070				U						
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>			—		—	0.0%		Stage 5Bi	Stage 5C	Stage 5R	Stage 5S	Stage 5T	Ove	rall	i .	
Subtotal			_		_	_		0.0%	Land Use						010		i l	
30m Deep Product										Area	Area	Area	Area	Area	Area	%	i	
Villa Allotment	10 x 30m	300m²	7	6	7	3	23	19.5%	Area of Subject Site	1.821 ha	2.354 ha	1.559 ha	1.385 ha	0.786 ha	7.905 ha	100.0%	i .	
Premium Villa Allotment	12.5 x 30m	375m²	9	12	7	6	34	28.8%	Saleable Area								i l	
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	1	11	7	5	24	20.3%	Residential Allotments	1.088 ha	1.484 ha	1.201 ha	0.991 ha		4.764 ha	60.3%	l l	
Traditional Allotment	20 x 30m	600m <sup>2</sup>	2	3	—	1	6	5.1%	Medium Density Allotment	—	—		—		-	0.0%	ł	
Premium Traditional Allotment	25 x 30m	720m²	_	_	—	_	_	0.0%	Balance Super Allotments	—		—			—	0.0%	l l	
Possible Multiple Residential Allotment	_		_	_	_	_	_	0.0%	Total Area of Allotments	1.088 ha	1.484 ha	1.201 ha	0.991 ha	_	4.764 ha	60.3%	i -	
Subtotal			19	32	21	15	87	73.7%	Road								i l	
								•	Collector Road	0.201 ha	0.544 ha			0.622 ha	1.367 ha	17.3%	i l	
Total Residential Allotments			27	35	31	25	118	100.0%	Local Road	0.532 ha	0.326 ha	0.358 ha	0.394 ha		1.610 ha	20.4%	i l	
Residential Net Density			16.7 dw/ha	19.3 dw/ha	19.9 dw/ha	18.1 dw/ha	ı	•	Linear Connections	—				0.164 ha	0.164 ha	2.1%	i l	
									Entry Statements	—						0.0%	i l	
Super Lots			Lots	Lots	Lots	Lots	L	.ots	Total Area of New Road	0.733 ha	0.870 ha	0.358 ha	0.394 ha	0.786 ha	3.141 ha	39.7%	i .	
Medium Density Allotment			_	_	_	_		_	Open Space								i l	
Balance Super Allotments			_		_	_		_	Corridor Park	—				_	—	0.0%		
Sub Total					_	_		_	Conservation (Within Corridor Park)					_	—	0.0%	PLANS AND DOCUMENTS	12
									District Recreation Park	—	—	_	—	—	—	0.0%	referred to in the PDA	
Total Allotments			27	35	31	25	1	118	Neighbourhood Recreation Park		—		—	—	—	0.0%	DEVELOPMENT APPROVAL	15
									Local Recreation Park	_	—		—	—	—	0.0%		
Maximum Potential Residential Dwelling	ngs		27	35	32	26		120	Local Linear Recreation Park	—	—	—	—	—	—	0.0%	Approval no: DEV2012/403/128	Gov
(Includes Multiple Residential Allotmer	nts)		21	30	32	20	1	120	Stormwater Detention		—	—	—	—	—	0.0%	Date: 04 April 2024	500
Maximum Potential Net Residential De	nsitv		16.7 dw/ha	19.3 dw/ha	20.5 dw/ha	18.8 dw/ha			Total Open Space	_	_	_	_	_	_	0.0%	· •	

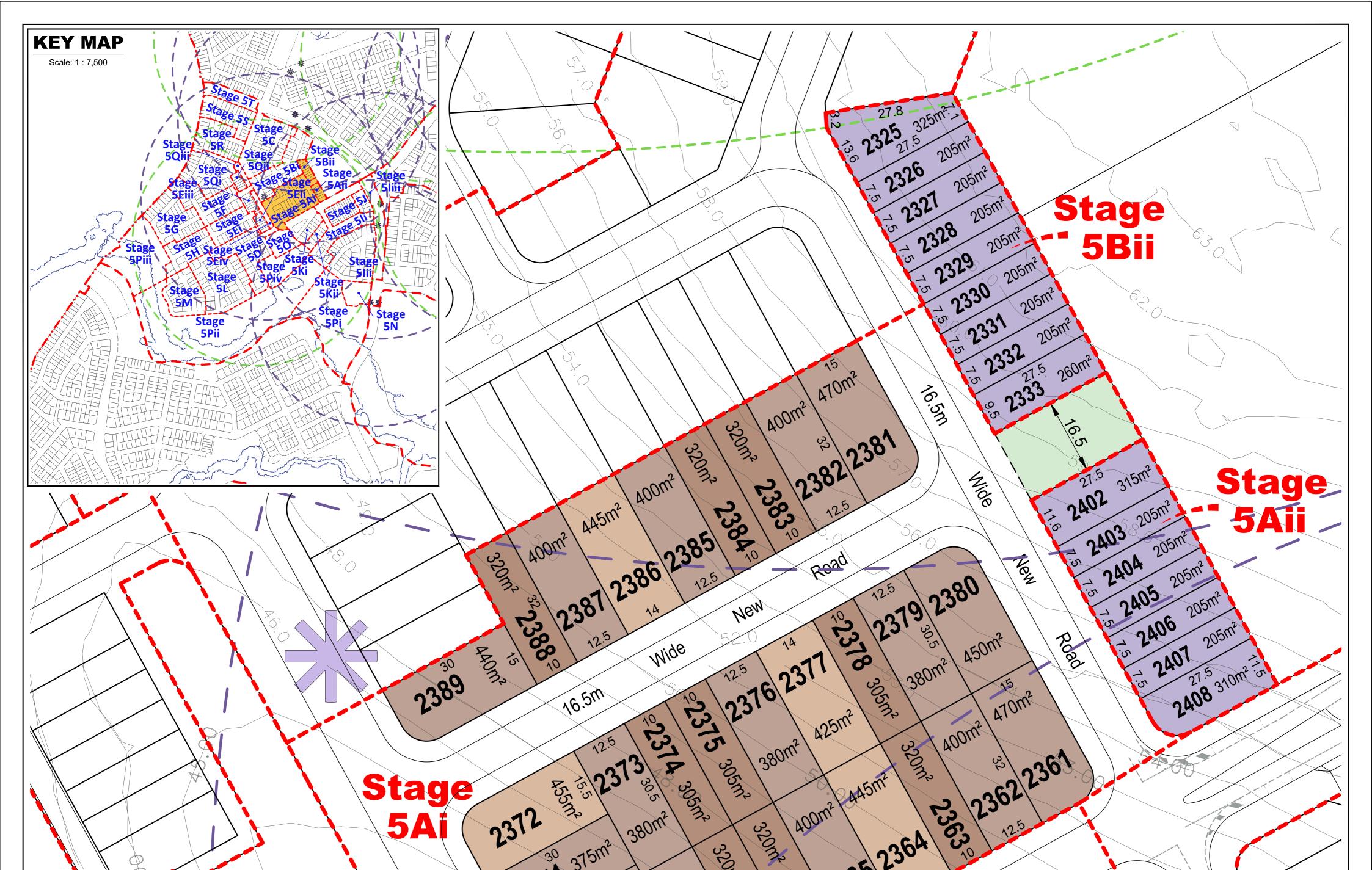
REVISION Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes	PROJECT	Flagstone Precinct 1	CLIENT	PEET		٢	Fortitue	URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 de Valley QLD 4006
AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes	Job Ref. 110056	Date. 12 February 2024		Plan of Subdivision				<b>T</b> +61 7 3539 9500 <b>W</b> rpsgroup.com
AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes	Comp By. NF	DWG Name. Precinct 1 Stage 5				Unauthorised I	HT PROTECTS THIS PLAN reproduction or amendment not Please contact the author.	
AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes	Chk'd By. MD	Locality. Flagstone		Stage 5Bi, C, R, S & T	Scale	Sheet	Plan Ref	Rev
AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	Local Authority. Econom	nic Development Queensland		Allotment Layout	1 : 750	A1	110056 – 407	AJ



	• /			/ /	/			-,								$\frown$
						L	and Buc	lget								
Law dillar	Stage 5li	Stage 5lii	Stage 5liii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5L	Stage 5N	Stage 50	Stage 5Pi	Stage 5Pii	Stage 5Piii	Stage 5Piv	Ove	erall
Land Use	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1.725 ha	2.270 ha	1.205 ha	0.317 ha	0.633 ha	0.291 ha	0.827 ha	2.740 ha	0.666 ha	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	27.934 ha	100.0%
Saleable Area																
Residential Allotments	0.652 ha	1.481 ha	_	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	_	_	—	_	-	_	5.420 ha	19.4%
Medium Density Allotment	_	_	_	_	_	_	_	—	0.666 ha	_	_	_	_	_	0.666 ha	2.4%
Balance Super Allotments	_	_	_	_	_	_	_	—	_	_	_	_	_	_	—	0.0%
Total Area of Allotments	0.652 ha	1.481 ha	_	0.230 ha	0.547 ha	0.291 ha	0.327 ha	1.892 ha	0.666 ha	_	_	_	_	_	6.086 ha	21.8%
Road																
Collector Road	0.451 ha	_	1.176 ha	_	_	_	0.257 ha	_	_	_	_	_	_	_	1.884 ha	6.7%
Local Road	0.622 ha	0.732 ha	_	0.087 ha	0.086 ha		0.155 ha	0.788 ha	_	_	_	_	_	_	2.470 ha	8.8%
Linear Connections	_	0.057 ha	0.029 ha	_	_	_	_	0.060 ha	_	_	_	_	_	_	0.146 ha	0.5%
Entry Statements	—	—	—	—	-	_	—	—	-	_	—	_	-	—	_	0.0%
Total Area of New Road	1.073 ha	0.789 ha	1.205 ha	0.087 ha	0.086 ha	_	0.412 ha	0.848 ha	_	_	_	_	-	_	4.500 ha	16.1%
Open Space																
Corridor Park	_	_	_	_	_	_	_	_	_	_	4.457 ha	9.101 ha	3.076 ha	1.179 ha	16.633 ha	59.5%
Conservation (Within Corridor Park)		_	_	_	_	_	_	_	_	_	_	_	_	_	_	
District Recreation Park	_	_	_	_	_	_	_	_	_	_	_	_	_	_	—	0.0%
Neighbourhood Recreation Park	_	_	_	_	_	_	_	_	_	0.627 ha	_	_	_	_	0.627 ha	2.2%
Local Recreation Park	_	_	_	_	_	_	0.088 ha	_	_	_	_	_	_	_	0.088 ha	0.3%
Local Linear Recreation Park	_	_	_	_	_	_	_	_	_	_	_	_	_	_	_	0.0%
Stormwater Detention	_		_	_	_			_	_	_		_	_	_	—	0.0%
Total Open Space	_	_	_	_	_	_	0.088 ha	_	_	0.627 ha	4.457 ha	9.101 ha	3.076 ha	1.179 ha	17.348 ha	62.1%

				Yield Bro	eakdown							
Residential Allot			Stage 5li	Stage 5lii	Stage 5liii	Stage 5Ji	Stage 5Jii	Stage 5Ki	Stage 5Kii	Stage 5N	Ov	erall
	Typical Size	Typical Area	j		<b>j</b>	g			<u>-</u>			
Urban & Nano Allotments Product		1	Γ	1	Γ		1	T	1			
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>								—	—	0.0%
Urban Allotments	7.5 x 16m	120m <sup>2</sup>				_			—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>		—		—	_		—	—	—	0.0%
Subtotal			_	_	_	_	-	_	-	_	_	0.0%
16m Deep Product				1			1	1	1			
Squat Allotment	14 x 16m	220m <sup>2</sup>		2					—	—	2	2.1%
Subtotal				2			_	_	—	—	2	2.1%
25m Deep Product	_						1	1				
Villa Allotment	10 x 25m	250m <sup>2</sup>	5	2					_	_	7	7.2%
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>		_		_	_	_	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	6	2		—	_	_	—	—	8	8.2%
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>	1	5		—	—	—	—	—	6	6.2%
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>	—	_	_	—	_	_	_	—	—	0.0%
Possible Multiple Residential Allotment	_	—	_	_	_	—	_	_	—	—	_	0.0%
Subtotal			12	9	_	—	_	_	—	_	21	21.6%
28m - 30m Deep Product												
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>		_	_	_	_	_	_	_	_	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>		_		_	_	_	_	_	_	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>	_	_	_	_	18	_	_	_	18	18.6%
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	_	_	_	—	6	_	_	_	6	6.2%
Subtotal			_	_	_	_	24	_	_	_	24	24.7%
30m Deep Product			<u> </u>	1	1	<u> </u>	1	1		I		1
Villa Allotment	10 x 30m	300m <sup>2</sup>	_	3	_	1	_	2	2	_	8	8.2%
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	5	7	_	1	_	3	4	_	20	20.6%
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	1	14	_	2	_	1	1	_	19	19.6%
Traditional Allotment	20 x 30m	600m <sup>2</sup>	_	_	_	1	_	1	1	_	3	3.1%
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	_	_	_	_	_	_	_	_	_	0.0%
Possible Multiple Residential Allotment	-		_	_	_	_	_	_	_	_	_	0.0%
Subtotal			6	24	_	5	_	7	8	_	50	51.5%
				1			1	1				1
Total Residential Allotments			18	35	_	5	24	7	8	_	97	100.0%
Residential Net Density			14.1 dw/ha	15.4 dw/ha	_	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	_		
				1	1		1	1				
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	L	ots
Medium Density Allotment				_			_	_	_	1		1
Balance Super Allotments			_	_		_	_	_	_	_		_
Sub Total				_		_	_			1		1
				1			1	1				-
Total Allotments			18	35	_	5	24	7	8	1		98
						-			-	-		
Maximum Potential Residential Dwelling	5		40	25		-	04	-	0			07
(Includes Multiple Residential Allotments			18	35	_	5	24	7	8	_		97
Maximum Potential Net Residential Densi	ty		14.1 dw/ha	15.4 dw/ha	_	15.8 dw/ha	37.9 dw/ha	24.1 dw/ha	14.0 dw/ha	—		

REVISION Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes	PROJECT	Flagstone Precinct 1	CLIENT	PEET		٢	05	URBAN DES Level 4 HQ S 520 Wickham S PO Box Fortitude Valley QLD	2 South 5 Street 5 X 1559 D 4006
AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes	Job Ref. 110056	Date. 12 February 2024		Plan of Subdivision				<b>T</b> +61 7 3539 9 <b>W</b> rpsgroup	ip.com
AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes	Comp By. NF	DWG Name. Precinct 1 Stage 5				Unauthorised	GHT PROTECTS THIS PLAN d reproduction or amendment not d. Please contact the author.		
AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes	Chk'd By. MD	Locality. Flagstone		Stage 5li, lii, liii, Ji, Jii, K, N, O & P	Scale	Sheet	Plan Ref	Rev	
AI: 08/08/2023 Stage 5 Basin Change AJ: 12/02/2024 Stage 5R Layout Change	Local Authority. Econom	nic Development Queensland		Allotment Layout	1:750	A1	110056 – 4	08 A.	J



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13 2371 375m<sup>2</sup>

1 12 2370 375m<sup>2</sup>

		Yield Breakd	own	1								$\leq$ /			
Residential All			Stage 5Ai	Stage 5Aii	Stage 5Bii	c	Overall					/			
	Typical Size	Typical Area	<b>.</b>		<b>.</b>						$\prec$ /	/ / `		$\langle \cdot \rangle = \langle \cdot \rangle $	
Urban & Nano Allotments Product										$\rightarrow$				$\boldsymbol{X}$	
Urban Loft	4.7 x 12.5m	50m <sup>2</sup>		<u> </u>			0.0%				$\sim$ $\checkmark$	$\sim$			
Urban Allotments	7.5 x 16m	120m <sup>2</sup>		<u> </u>			0.0%								
Urban Terrace	7.5 x 27.5m	205m <sup>2</sup>		7	9	16	35.6%							$\times$	
Subtotal				7	9	16	35.6%								
16m Deep Product							- 1								
Squat Allotment	14 x 16m	220m <sup>2</sup>					0.0%				$\checkmark$ $\sim$				
Subtotal							0.0%		$\rightarrow$		• 0	$\bigcirc$		$\mathbf{X} \rightarrow \mathbf{X}$	
25m Deep Product												×			
Villa Allotment	10 x 25m	250m <sup>2</sup>		<u> </u>			0.0%								
Premium Villa Allotment	12.5 x 25m	313m <sup>2</sup>					0.0%								
Courtyard Allotment	14 x 25m	350m <sup>2</sup>		<u> </u>			0.0%	$\langle \rangle$		<					
Premium Courtyard Allotment	16 x 25m	400m <sup>2</sup>					0.0%		$\langle \rangle $						
Premium Traditional Allotment	20 x 25m	500m <sup>2</sup>		<u> </u>			0.0%								
Possible Multiple Residential Allotment							0.0%	/							
Subtotal							0.0%								
28m - 30m Deep Product								]	$\langle \leq$						
Terrace 4.5m Allotment	4.5 x 28m	126m <sup>2</sup>					0.0%	 			×			PLANS AND DOCUMENTS	
Terrace 6.6m Allotment	6.6 x 28m	185m <sup>2</sup>			—		0.0%		Land	Budget				referred to in the PDA	
Terrace 7.5m Allotment	7.5 x 28m	210m <sup>2</sup>		_	_	—	0.0%				Stage 5Bii	0	arall	DEVELOPMENT APPROVAL	
Terrace 9.5m Allotment	9.5 x 28m	265m <sup>2</sup>	—		—		0.0%	Land Use	Staye SAI	Staye SAII	Staye SDI		erall		
Subtotal			_		_		0.0%		Area	Area	Area	Area	%	Approval no: DEV2012/403/128	
30m Deep Product								Area of Subject Site	1.853 ha	0.166 ha	0.203 ha	2.222 ha	100.0%		Government
Villa Allotment	10 x 30m	300m <sup>2</sup>	9		_	9	20.0%	Saleable Area						Date: 04 April 2024	
Premium Villa Allotment	12.5 x 30m	375m <sup>2</sup>	15	—	_	15	33.3%	Residential Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha	67.7%		
Courtyard Allotment	14 x 30m	420m <sup>2</sup>	4	—	_	4	8.9%	Medium Density Allotment		—	—	—	0.0%		
Traditional Allotment	20 x 30m	600m <sup>2</sup>	1		_	1	2.2%	Balance Super Allotments		—	—	_	0.0%	Logond	
Premium Traditional Allotment	25 x 30m	720m <sup>2</sup>	_		_	_	0.0%	Total Area of Allotments	1.136 ha	0.166 ha	0.203 ha	1.505 ha	67.7%	Legend	Note: All dimensions and areas are
Possible Multiple Residential Allotment	_	_	_	_	_	_	0.0%	Road						Site Boundary	approximate only, and are subject to
Subtotal			29		_	29	64.4%	Collector Road	0.278 ha	—	—	0.278 ha	12.5%		survey and Council approval.
								Local Road	0.394 ha		—	0.394 ha	17.7%	Proposed Stage Boundary	Dimensions have been rounded to
Total Residential Allotments			29	7	9	45	100.0%	Linear Connections	0.045 ha			0.045 ha	2.0%	Proposed Sub Stage Boundary	the nearest 0.1 metres.
Residential Net Density			18.4 dw/ha	42.2 dw/ha	44.3 dw/ha			Entry Statements	_				0.0%	Existing Q100	Areas have been rounded down to
								Total Area of New Road	0.717 ha			0.717 ha	32.3%	Residential Allotment	the nearest 5m².
Super Lots			Lots	Lots	Lots		Lots	Open Space						(Max. no. of dwellings)	The boundaries shown on this plan
Medium Density Allotment			-		_		_	Corridor Park					0.0%	Indicative Indented Bus Stop	should not be used for final detailed
Balance Super Allotments							—	Conservation (Within Corridor Park)	_	—	—		0.0%	Location	engineers design.
Sub Total			—	—	—		—	District Recreation Park	_	_	_	_	0.0%	Indicative In-Line Bus Stop	Road linemarkings and turn slots
														- Bus Stop Catchment (400m)	are indicative only and subject to
Total Allotments			29	7	9		45	Neighbourhood Recreation Park	—				0.0%		detailed design.
								Local Recreation Park				<b>—</b>	0.0%	— — Neighbourhood Park Catchment (400m)	Source Information:
Maximum Potential Residential Dwell	•		29	7	9		45	Local Linear Recreation Park					0.0%	Scale 1:500 @ A1	Site boundaries: Registered Survey Plans / Veris.
(Includes Multiple Residential Allotme	-			'			<b>ч</b> ч	Stormwater Detention	—	—			0.0%		Survey Plans / Veris. Adjoining information: DCDB.
Maximum Potential Net Residential De	ensity		18.4 dw/ha	42.2 dw/ha	44.3 dw/ha			Total Open Space	—	—	—	_	0.0%	0 5 10 15 20 25 30	Contours: Meinhardt.
	1														
REVISION	PROJECT		Fland	stone			CLIENT								URBAN DESIGN
Y: 12/05/2022 Stage 5 Layout Change								PE							Level 4 HQ South 520 Wickham Street
Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation			Preci	nct 1											PO Box 1559 Fortitude Valley QLD 4006
AB: 20/09/2022 Stage 3 & 5 Layout Changes		1												╡╶╴╴╴╸╸╸╸	Fortitude Valley QLD 4006 T +61 7 3539 9500
AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes	Job Ref. 1100	056	Date.	12 Februa	ary 2024				f Curra	i, dalara					W rpsgroup.com
AE: 24/02/2023 Stage 3 & 5 Layout Changes			DWG Name.	Drocinct 1	Stage F			Pian o	of Subd	IVISION				© COPYRIGHT PROTI Unauthorised reproduction	
AF: 20/03/2023 Stage 3 & 5 Layout Changes	Comp By. NF		DAME MAILIE.	Precinct 1	Slaye S			anet2	5Ai, A	ii & Rii				permitted. Please cor	
AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes	Chk'd By. MD		Locality.	Flagstone				•						Scale Sheet Plan	n Ref Rev
AI: 08/08/2023 Stage 5 Basin Change	-			-		—		Allotr	ment La	avout					
AJ: 12/02/2024 Stage 5R Layout Change	Local Authority.	Economic D	evelopmen	it Queensla	and			,						1 : 500   A1   <b>1</b>	10056 – 409 AJ
	<u>I</u>					1									I

1400m<sup>2</sup> h

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23.6m

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Wide

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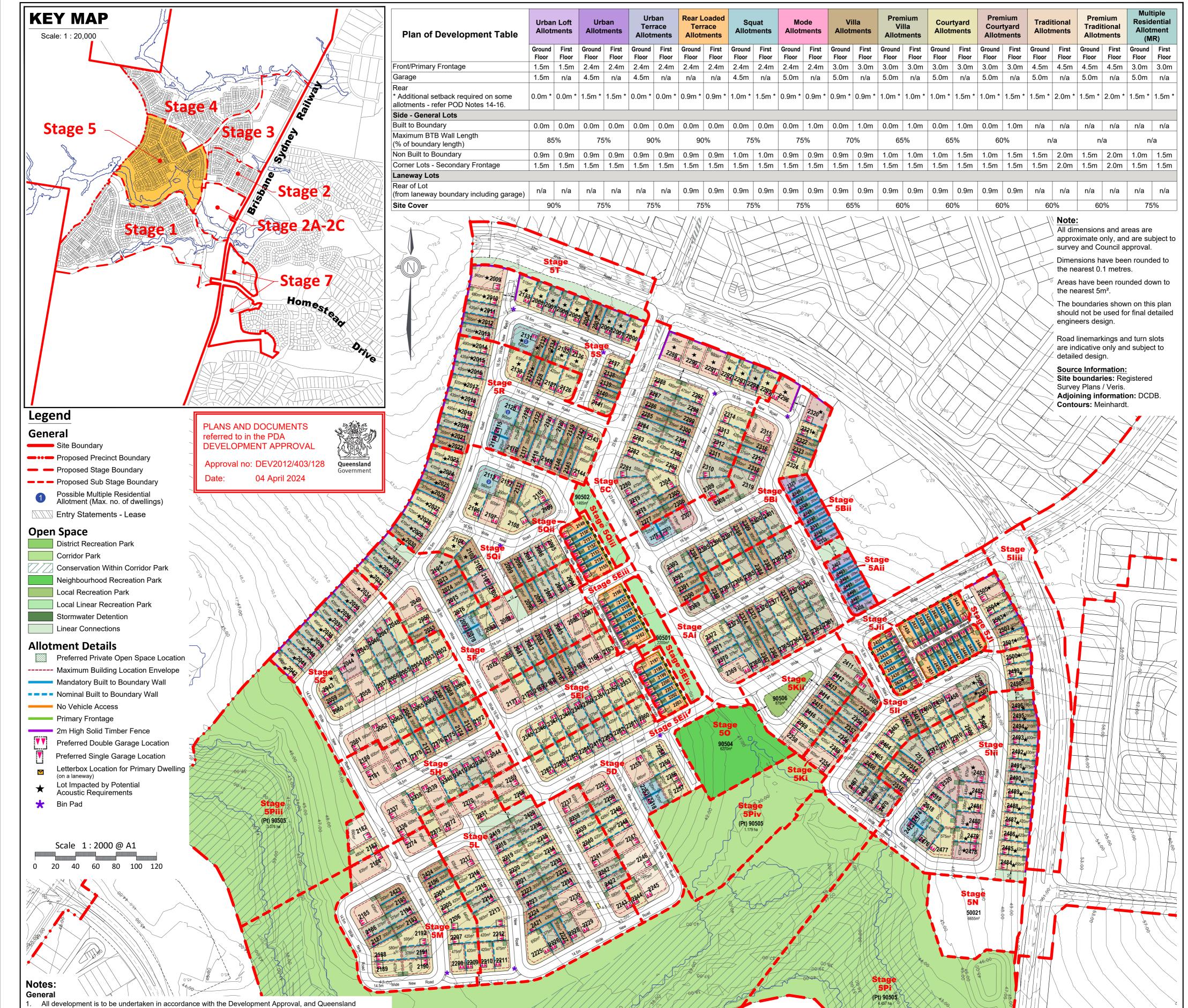
2368

12.5

12.5

Road

×9



- Development Code (QDC), except as varied below.
- 2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground 3. services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959. 5.
- Secondary dwellings are not permitted on lots less than 400m<sup>2</sup> 6.
- 7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- 9. Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

#### Setbacks

- 10. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- 11. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- 12. Boundary setbacks are measured to the wall of the structure.
- 13. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- 14. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- 15. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- 16. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.

- 25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
  - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - b. The garage door:
  - i. Width must not exceed 4.8m
  - ii. Must have a minimum 450mm eave above it
  - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
  - iv. Must have a sectional, tilt or roller door.
  - c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the followina:
  - i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
  - ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
  - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
  - d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- 26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- 27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- 28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- 29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.

#### **Building Articulation**

- 43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
- 44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACitACle room orientated towards the open space
- 45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- 46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- 47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- 48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - 49. Screened drying and rubbish bins area must be behind the main face of the dwelling.
  - 50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

#### Slope and Building Footings

- 51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- 52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.

- 17. Lots 2501 2505 require a 2.5m rear setback.
- 18. For lots 814 833, Class 10 buildings or structures may be located within the 6m rear setback.
- 19. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- 20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

## **Private Open Space**

- 21. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- 22. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom 9m<sup>2</sup> (minimum dimension on 2.4m);
- 3+ Bedroom 12m<sup>2</sup> (minimum dimension of 2.4m)
- 23. Private open space must be directly accessible from a living space.

## On-site car parking and driveways

- 24. On-site car parking is to be provided in accordance with the following minimum requirements:
  - For lots up to 12.4 metres wide 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

- 30. Maximum of one driveway per dwelling unless it is a MR lot.
- 31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- 32. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath. 33. Driveways must be completed prior to occupation of the dwelling.

## Fencing

- 34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- 35. Fencing on all park or street frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- 36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- 37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- 38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- 39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

## **Retaining Walls**

- 40. For retaining walls not constructed by the developer:
  - a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
- b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- 41. No timber retaining walls over 1.0m or adjoining parks or public streets.
- 42. Walls over 1.0m require RPEQ certification

53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

#### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

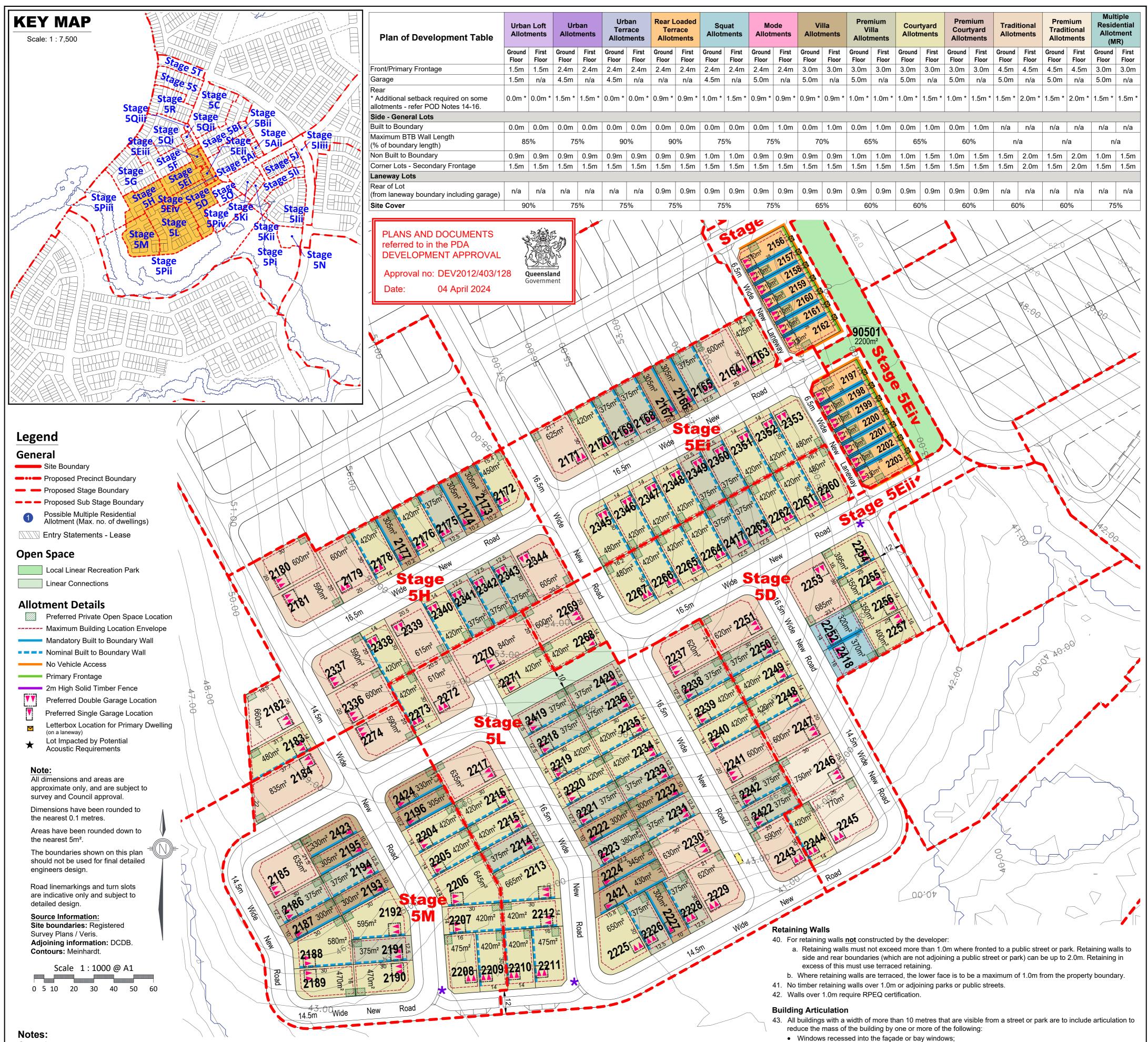
- 54. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 55. All dwellings must have a clearly identifiable front door, which is undercover.
- 56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- 57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

## Additional Criteria for Secondary Dwellings

- 58. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- 59. Materials, detailing, colours and roof form are consistent with those of the primary house.
- 60. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
- 61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- 62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- 63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- 64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- 65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- 66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

## Definitions

| REVISION<br>Y: 12/05/2022 Stage 5 Layout Change<br>Z: 08/06/2022 Entry Statement Lease Areas<br>AA: 16/06/2022 Temporary STF Notation<br>AB: 20/09/2022 Stage 3 & 5 Layout Changes | PROJECT                                 | Flagstone<br>Precinct 1                           | CLIENT | PEET                                      |                   | ٢           | Fortitud                                                                                    | URBAN DESIGN<br>Level 4 HQ South<br>520 Wickham Street<br>PO Box 1559<br>ide Valley QLD 4006 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|---------------------------------------------------|--------|-------------------------------------------|-------------------|-------------|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| AC: 14/11/2022 Stage 5 Boundary Changes<br>AD: 10/01/2023 Stage 3 & 4 Layout Changes<br>AE: 24/02/2023 Stage 3 & 5 Layout Changes<br>AF: 20/03/2023 Stage 3 & 5 Layout Changes     | Job Ref. 110056<br>Comp By. NF          | Date.12 February 2024DWG Name.Precinct 1 Stage 5  |        | Plan of Development                       |                   | Unauthorise | IGHT PROTECTS THIS PLAN<br>d reproduction or amendment not<br>d. Please contact the author. | T +61 7 3539 9500<br>W rpsgroup.com                                                          |
| AG: 13/04/2023 Stage 3 & 5 Layout Changes<br>AH: 25/07/2023 Stage 4 Layout Changes<br>AI: 08/08/2023 Stage 5 Basin Change<br>AJ: 12/02/2024 Stage 5R Layout Change                 | Chk'd By. MD<br>Local Authority. Econom | Locality. Flagstone<br>nic Development Queensland |        | Stage 5 Overall<br>Residential Allotments | Scale<br>1 : 2000 | Sheet<br>A1 | Plan Ref<br><b>110056 - 410</b>                                                             | Rev<br>AJ                                                                                    |



#### General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three 2. (3) storeys are acceptable.
- 3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments. 4.
- Buildings shall be constructed in accordance with Bushfire AS3959. 5.
- Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>. 6.
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 7. 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

#### Setbacks

- 10. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- 11. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- 12. Boundary setbacks are measured to the wall of the structure.
- 13. Front verandah and covered areas to the front door are permitted to extend into the front setback on the

#### On-site car parking and driveways

- 24. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide 1 covered space per dwelling;
- For lots 12.5 metres wide or greater 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered)
- 25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
  - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - b. The garage door:
  - i. Width must not exceed 4.8m
  - ii. Must have a minimum 450mm eave above it
  - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
  - iv. Must have a sectional, tilt or roller door.
  - c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
  - i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
  - ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
  - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
- space. 45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space,

which can be achieved through the incorporation of at least one (1) hACitACle room orientated towards the open

- 46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- 47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- 48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- 49. Screened drying and rubbish bins area must be behind the main face of the dwelling.
- 50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

#### Slope and Building Footings

Balconies, porches or verandahs;

· Use of multiple cladding materials

Articulation of roof lines

Window hoods; and/or

- 51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- 52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- 14. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- 15. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted
- 16. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- 17. Lots 2501 2505 require a 2.5m rear setback.
- 18. For lots 814 833, Class 10 buildings or structures may be located within the 6m rear setback.
- 19. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- 20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
- In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
- In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

## Private Open Space

- 21. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- 22. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom 9m<sup>2</sup> (minimum dimension on 2.4m);
  - 3+ Bedroom 12m<sup>2</sup> (minimum dimension of 2.4m)
- 23. Private open space must be directly accessible from a living space.

- d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- 26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- 27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- 28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- 29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- 30. Maximum of one driveway per dwelling unless it is a MR lot.
- 31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- 32. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- 33. Driveways must be completed prior to occupation of the dwelling.

## Fencing

- 34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- 35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- 36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- 37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- 38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- 39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

## Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

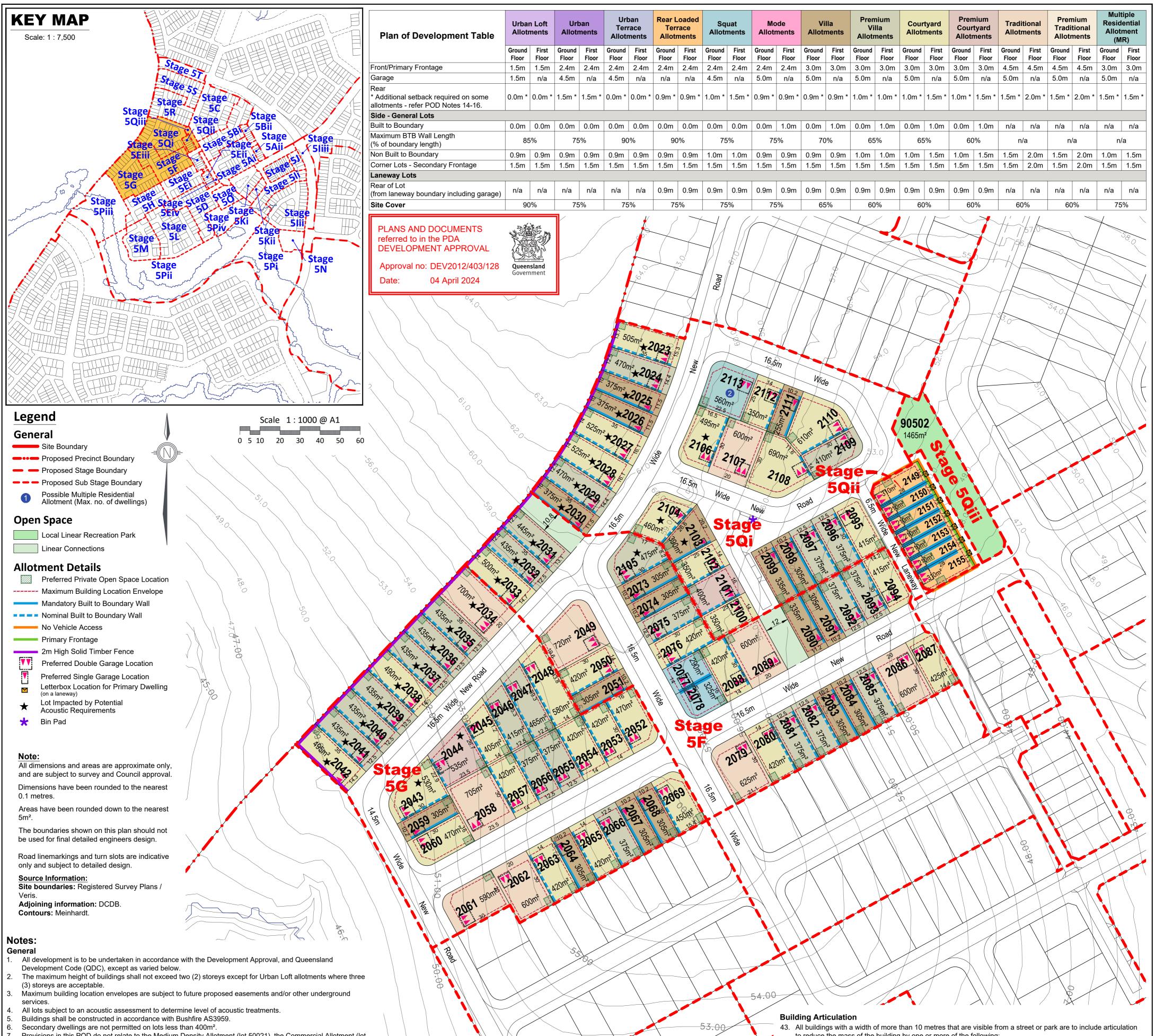
- 54. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 55. All dwellings must have a clearly identifiable front door, which is undercover.
- 56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- 57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

## Additional Criteria for Secondary Dwellings

- 58. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- 59. Materials, detailing, colours and roof form are consistent with those of the primary house.
- 60. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
- 61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- 62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- 63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- 64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- 65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- 66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

## Definitions

| REVISION<br>Y: 12/05/2022 Stage 5 Layout Change<br>Z: 08/06/2022 Entry Statement Lease Areas<br>AA: 16/06/2022 Temporary STF Notation<br>AB: 20/09/2022 Stage 3 & 5 Layout Changes | PROJECT                 | Flagstone<br>Precinct 1      | CLIENT | PEET                              |          | ſ            | 52<br>Fortitude                                                                         | JRBAN DESIGN<br>Level 4 HQ South<br>20 Wickham Street<br>PO Box 1559<br>le Valley QLD 4006 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|------------------------------|--------|-----------------------------------|----------|--------------|-----------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
| AC: 14/11/2022 Stage 5 Boundary Changes<br>AD: 10/01/2023 Stage 3 & 4 Layout Changes                                                                                               | Job Ref. 110056         | Date. 12 February 2024       |        | Plan of Development               |          |              |                                                                                         | <b>T</b> +61 7 3539 9500<br><b>W</b> rpsgroup.com                                          |
| AE: 24/02/2023 Stage 3 & 5 Layout Changes<br>AF: 20/03/2023 Stage 3 & 5 Layout Changes                                                                                             | Comp By. NF             | DWG Name. Precinct 1 Stage 5 |        | •                                 |          | Unauthorised | GHT PROTECTS THIS PLAN<br>reproduction or amendment not<br>. Please contact the author. |                                                                                            |
| AG: 13/04/2023 Stage 3 & 5 Layout Changes<br>AH: 25/07/2023 Stage 4 Layout Changes                                                                                                 | Chk'd By. MD            | Locality. Flagstone          |        | Stage 5D, Ei, Eii, Eiii, H, L & M | Scale    | Sheet        | Plan Ref                                                                                | Rev                                                                                        |
| AI: 08/08/2023 Stage 5 Basin Change<br>AJ: 12/02/2024 Stage 5R Layout Change                                                                                                       | Local Authority. Econom | ic Development Queensland    |        | Residential Allotments            | 1 : 1000 | A1           | 110056 – 411                                                                            | AJ                                                                                         |



- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

#### Setbacks

- 10. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- 11. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- 12. Boundary setbacks are measured to the wall of the structure.
- 13. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- 14. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary
- 15. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- 16. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- 17. Lots 2501 2505 require a 2.5m rear setback.
- 18. For lots 814 833, Class 10 buildings or structures may be located within the 6m rear setback.
- 19. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and

## b. The garage door:

- i. Width must not exceed 4.8m
- ii. Must have a minimum 450mm eave above it
- iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
- iv. Must have a sectional, tilt or roller door.
- c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
- i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
- ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
- iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours. d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- 26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- 27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- 28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- 29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle. 30. Maximum of one driveway per dwelling unless it is a MR lot. 31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed. 32. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.

- to reduce the mass of the building by one or more of the following:
- Windows recessed into the façade or bay windows;
- · Balconies, porches or verandahs;
- Articulation of roof lines
- Window hoods; and/or
- Use of multiple cladding materials
- 44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACitACle room orientated towards the open space.
- 45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- 46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- 47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- 48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
  - 49. Screened drying and rubbish bins area must be behind the main face of the dwelling
  - 50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

#### Slope and Building Footings

- 51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- 52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.

- therefore in these cases a secondary frontage setback does not apply.
- 20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtvard, Premium Courtvard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

#### **Private Open Space**

- 21. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- 22. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom 9m<sup>2</sup> (minimum dimension on 2.4m):
- 3+ Bedroom 12m<sup>2</sup> (minimum dimension of 2.4m)
- 23. Private open space must be directly accessible from a living space.

## On-site car parking and driveways

- 24. On-site car parking is to be provided in accordance with the following minimum requirements:
  - For lots up to 12.4 metres wide 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater 2 covered spaces per dwelling;
  - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- 25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
  - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m

33. Driveways must be completed prior to occupation of the dwelling.

## Fencing

- 34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- 35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- 36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- 37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- 38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- 39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

## **Retaining Walls**

- 40. For retaining walls **not** constructed by the developer:
  - a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
  - b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- 41. No timber retaining walls over 1.0m or adjoining parks or public streets.
- 42. Walls over 1.0m require RPEQ certification.

53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

## Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- 54. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 55. All dwellings must have a clearly identifiable front door, which is undercover.
- 56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- 57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

## Additional Criteria for Secondary Dwellings

- 58. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- 59. Materials, detailing, colours and roof form are consistent with those of the primary house.
- 60. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
- 61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- 62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- 63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- 64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- 65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- 66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

## Definitions

| REVISION<br>Y: 12/05/2022 Stage 5 Layout Change<br>Z: 08/06/2022 Entry Statement Lease Areas<br>AA: 16/06/2022 Temporary STF Notation<br>AB: 20/09/2022 Stage 3 & 5 Layout Changes | PROJECT                                 | Flagstone<br>Precinct 1                           | CLIENT | PEET                                            |                   | <b>FOS</b>                                                                                                            | URBAN DESIGN<br>Level 4 HQ South<br>520 Wickham Street<br>PO Box 1559<br>tude Valley QLD 4006 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|---------------------------------------------------|--------|-------------------------------------------------|-------------------|-----------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|
| AC: 14/11/2022 Stage 5 & 5 Layout Changes<br>AD: 10/01/2023 Stage 3 & 4 Layout Changes<br>AE: 24/02/2023 Stage 3 & 5 Layout Changes<br>AF: 20/03/2023 Stage 3 & 5 Layout Changes   | Job Ref. 110056<br>Comp By. NF          | Date.12 February 2024DWG Name.Precinct 1 Stage 5  |        | Plan of Development                             |                   | © COPYRIGHT PROTECTS THIS PLAN<br>Unauthorised reproduction or amendment not<br>permitted. Please contact the author. | T +61 7 3539 9500<br>W rpsgroup.com                                                           |
| AG: 13/04/2023 Stage 3 & 5 Layout Changes<br>AH: 25/07/2023 Stage 4 Layout Changes<br>AI: 08/08/2023 Stage 5 Basin Change<br>AJ: 12/02/2024 Stage 5R Layout Change                 | Chk'd By. MD<br>Local Authority. Econor | Locality. Flagstone<br>nic Development Queensland |        | Stage 5F, G, Qi & Qii<br>Residential Allotments | Scale<br>1 : 1000 | Sheet         Plan Ref           A1 <b>110056 - 412</b>                                                               | Rev<br>AJ                                                                                     |

| Plan of Development Table                                                    | Urban Loft<br>Allotments                                                                  | Urban<br>Allotments         | Allotments                                                               | Rear Loaded<br>Terrace<br>Allotments    | Allotments                                         | Mode<br>Allotments                    | Villa<br>Allotments         | Premium<br>Villa<br>Allotments | Courtyard<br>Allotments     | Premium<br>Courtyard<br>Allotments | Traditional<br>Allotments                                                                                                                                                     | Premium<br>Traditional<br>Allotments                                                                                                          | Multiple<br>Residential<br>Allotment<br>(MR)                                                     | Scale: 1 : 7,500                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|-----------------------------|--------------------------------------------------------------------------|-----------------------------------------|----------------------------------------------------|---------------------------------------|-----------------------------|--------------------------------|-----------------------------|------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                              | Ground First<br>Floor Floor                                                               | Ground First<br>Floor Floor |                                                                          | Ground First<br>Floor Floor             | Ground First<br>Floor Floor                        | Ground First<br>Floor Floor           | Ground First<br>Floor Floor | Ground First<br>Floor Floor    | Ground First<br>Floor Floor |                                    | Ground First<br>Floor Floor                                                                                                                                                   | Ground First<br>Floor Floor                                                                                                                   | Ground First<br>Floor Floor                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| ont/Primary Frontage                                                         |                                                                                           | 2.4m 2.4n                   |                                                                          |                                         |                                                    |                                       |                             |                                |                             | 3.0m 3.0m                          |                                                                                                                                                                               | 4.5m 4.5m                                                                                                                                     |                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| arage                                                                        | 1.5m n/a                                                                                  | 4.5m n/a                    | 1 4.5m n/a                                                               | n/a n/a                                 | 4.5m n/a                                           | 5.0m n/a                              | 5.0m n/a                    | 5.0m n/a                       | 5.0m n/a                    | 5.0m n/a                           | 5.0m n/a                                                                                                                                                                      | 5.0m n/a                                                                                                                                      | 5.0m n/a                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| ar<br>dditional setback required on some<br>otments - refer POD Notes 14-16. | 0.0m * 0.0m *                                                                             | 1.5m * 1.5m                 | n * 0.0m * 0.0m *                                                        | * 0.9m * 0.9m *                         | 1.0m * 1.5m *                                      | 0.9m * 0.9m *                         | 0.9m * 0.9m *               | 1.0m * 1.0m *                  | 1.0m * 1.5m *               | * 1.0m * 1.5m *                    | 1.5m * 2.0m *                                                                                                                                                                 | 1.5m * 2.0m *                                                                                                                                 | 1.5m * 1.5m *                                                                                    | Stage Stage                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| e - General Lots                                                             | 1 1                                                                                       |                             |                                                                          |                                         |                                                    |                                       |                             |                                |                             | 1 1                                |                                                                                                                                                                               |                                                                                                                                               |                                                                                                  | Stage 5R Stage Stage                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| t to Boundary<br>rimum BTB Wall Length                                       | 0.0m 0.0m                                                                                 | 0.0m 0.0n                   | <u>1 0.0m 0.0m</u>                                                       | 0.0m 0.0m                               | 0.0m 0.0m                                          | 0.0m 1.0m                             | 0.0m 1.0m                   | 0.0m 1.0m                      | 0.0m 1.0m                   | 0.0m 1.0m                          | n/a n/a                                                                                                                                                                       | n/a n/a                                                                                                                                       | n/a n/a                                                                                          | - South Sout |
| of boundary length)                                                          | 85%                                                                                       | 75%                         | 90%                                                                      | 90%                                     | 75%                                                | 75%                                   | 70%                         | 65%                            | 65%                         | 60%                                | n/a                                                                                                                                                                           | n/a                                                                                                                                           | n/a                                                                                              | Stage SQi Stage Stage Stage Stage Stage                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| n Built to Boundary                                                          | 0.9m 0.9m                                                                                 | 0.9m 0.9r                   | m 0.9m 0.9m                                                              | 0.9m 0.9m                               | 1.0m 1.0m                                          | 0.9m 0.9m                             | 0.9m 0.9m                   | 1.0m 1.0m                      | 1.0m 1.5m                   | 1.0m 1.5m                          | 1.5m 2.0m                                                                                                                                                                     | 1.5m 2.0m                                                                                                                                     | 1.0m 1.5m                                                                                        | SFUL SEU                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| ner Lots - Secondary Frontage                                                | 1.5m 1.5m                                                                                 | 1.5m 1.5r                   | n 1.5m 1.5m                                                              | 1.5m 1.5m                               | 1.5m 1.5m                                          | 1.5m 1.5m                             | 1.5m 1.5m                   | 1.5m 1.5m                      | 1.5m 1.5m                   | 1.5m 1.5m                          | 1.5m 2.0m                                                                                                                                                                     | 1.5m 2.0m                                                                                                                                     | 1.5m 1.5m                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| reway Lots                                                                   |                                                                                           |                             |                                                                          |                                         |                                                    |                                       |                             |                                |                             |                                    |                                                                                                                                                                               |                                                                                                                                               |                                                                                                  | Stage Stag                                                                                                                                                                                                                                             |
| ar of Lot<br>m laneway boundary including garage)                            | n/a n/a                                                                                   | n/a n/a                     | n n/a n/a                                                                | 0.9m 0.9m                               | 0.9m 0.9m                                          | 0.9m 0.9m                             | 0.9m 0.9m                   | 0.9m 0.9m                      | 0.9m 0.9m                   | 0.9m 0.9m                          | n/a n/a                                                                                                                                                                       | n/a n/a                                                                                                                                       | n/a n/a                                                                                          | SG ST SEL STEPTE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| e Cover                                                                      | 90%                                                                                       | 75%                         | 75%                                                                      | 75%                                     | 75%                                                | 75%                                   | 65%                         | 60%                            | 60%                         | 60%                                | 60%                                                                                                                                                                           | 60%                                                                                                                                           | 75%                                                                                              | Stage Stag                                                                                                                                                                                                                                             |
| - 1 /                                                                        | · <u> </u>                                                                                |                             |                                                                          |                                         |                                                    |                                       |                             |                                |                             | · /                                |                                                                                                                                                                               |                                                                                                                                               |                                                                                                  | Stage Stage Stage Stage                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 490<br>435m                                                                  | 40m <sup>2</sup> × 200<br>36<br>0m <sup>2</sup> × 2011<br>m <sup>2</sup> × 2011<br>× 2012 |                             | 20.7<br>515m2<br>2133<br>16.5n                                           | 420m <sup>2</sup><br>2008 200<br>14 125 | 75m <sup>2</sup> 375m<br>772006<br>12.5            | 420m2<br>420m2<br>* * * * * *         | 003* 305m2                  | 75m <sup>2</sup> 375m          | 2 480m <sup>2</sup>         |                                    | nearest 0.1 r<br>Areas have to<br>nearest 5m <sup>2</sup> .<br>The boundar<br>not be used to<br>design.<br>Road linema<br>indicative on<br><u>Source Infor</u><br>Site bounda | been rounded de<br>ies shown on th<br>for final detailed<br>rkings and turn<br>y and subject to<br><b>rmation:</b><br><b>ries:</b> Registered | own to the<br>his plan should<br>d engineers<br>slots are<br>o detailed design<br>d Survey Plans | ign.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 435m²                                                                        | 2013                                                                                      | R<br>R                      | 2134                                                                     | Wide                                    | New                                                |                                       | 10.2 12.5                   | 22001                          |                             |                                    |                                                                                                                                                                               |                                                                                                                                               |                                                                                                  | PLANS AND DOCUMENTS                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
| 435m <sup>2</sup><br>68.0<br>490m <sup>2</sup> ★2<br>435m <sup>2</sup> ★20   | 2014<br>015 N                                                                             | 16.5m Wide, New             | 2131<br>*2<br>620m <sup>2</sup><br>232<br>610m <sup>2</sup><br>*2<br>130 | 05m2 255m22325                          | New<br>102<br>14<br>2135<br>*<br>350m <sup>2</sup> | Road<br>2136<br>*<br>50m <sup>2</sup> | tage<br>55*                 | 2137                           | € ★<br>2000<br>To           | 5 60.<br>2280<br>2287<br>2287      | 660m <sup>2</sup><br>*<br>2289<br>22                                                                                                                                          | 600m <sup>2</sup><br>* *<br>2290<br>20                                                                                                        | 600m2<br>*<br>2297                                                                               | referred to in the PDA<br>DEVELOPMENT APPROVAL<br>Approval no: DEV2012/403/128 Queenslar                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |

2285 305m<sup>2</sup> 305m<sup>2</sup> 2300

375m2 230

420m2 2302

305m² 2299 r

#### Notes: General

All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below

435m<sup>2</sup>★2020

355m<sup>2</sup> × 2021

355m² ★2022

15

- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire 5. AS3959.
- 6. Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
- 7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based 8. Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display 9. home/village and temporary in nature, are Exempt Development.

#### Setbacks

- 10. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- 11. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- 12. Boundary setbacks are measured to the wall of the structure.
- 13. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- 14. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- 15. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- 16. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- 17. Lots 2501 2505 require a 2.5m rear setback. 18. For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- 19. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.

Stage 2280

С 5

23.60

405m-

16.6 495m2 23.6m

Wide

2284

420m2///

1 420m2

420m2/

2283

555m2

2279

New

Road

Nide

2282

#### On-site car parking and driveways 24. On-site car parking is to be provided in accordance with the

- following minimum requirements:
- For lots up to 12.4 metres wide 1 covered space per dwelling;
- For lots 12.5 metres wide or greater 2 covered spaces per dwelling;
- · For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- 25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
  - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - b. The garage door:
  - i. Width must not exceed 4.8m
  - ii. Must have a minimum 450mm eave above it iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
  - iv. Must have a sectional, tilt or roller door.
  - c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
  - i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
  - A front verandah, portico or porch located over the front
- Fencing
  - 34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
  - 35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
  - 36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
  - 37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas 38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence). 39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- 44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACitACle room orientated towards the open space.
- 45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- Legend General Site Boundary Proposed Precinct Boundary Proposed Stage Boundary --- Proposed Sub Stage Boundary **Possible Multiple Residential** Allotment (Max. no. of dwellings) **Open Space** Local Linear Recreation Park Allotment Details ----- Maximum Building Location Envelope Mandatory Built to Boundary Wall Mominal Built to Boundary Wall No Vehicle Access Primary Frontage 2m High Solid Timber Fence Preferred Double Garage Location Preferred Single Garage Location (on a laneway) Lot Impacted by Potential Acoustic Requirements Bin Pad Scale 1:750@A1 0 5 10 20 30 40
- 56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- 57. Maximum number of dwellings on each multiple residential lot is
- Preferred Private Open Space Location Letterbox Location for Primary Dwelling

4322 250m

2323 250m

 $\bigcirc$ 

New Wide 2391 16.50

 $\mathcal{N}_{\Theta W}$ 

Wide

16.5m

AOM

375m

300m

2393

Road

 $\bigcirc$ 

· 530m

\$31

550m2 /

2311

2310

31.5

2309

2314 570m2

420m3

2312 375m2 375m2

300m3 300m2

610m2

650m2

231F

300m2 3

2319

040 2400

1380m

450m

Stage

**5B** 

- 55. All dwellings must have a clearly identifiable front door, which is undercover
- annotated on the Plan of Development.

- 20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
  - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
  - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

#### **Private Open Space**

- 21. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- 22. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom 9m<sup>2</sup> (minimum dimension on 2.4m):
  - 3+ Bedroom 12m<sup>2</sup> (minimum dimension of 2.4m)
- 23. Private open space must be directly accessible from a living space.

- entrance, which extends a minimum of 1600mm forward of the entrance door
- iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
- d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- 26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwellina.
- 27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- 28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- 29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- 30. Maximum of one driveway per dwelling unless it is a MR lot.
- 31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- 32. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- 33. Driveways must be completed prior to occupation of the dwelling.

#### **Retaining Walls**

- 40. For retaining walls not constructed by the developer:
  - a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
- b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- 41. No timber retaining walls over 1.0m or adjoining parks or public streets.
- 42. Walls over 1.0m require RPEQ certification.

#### **Building Articulation**

- 43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
- Articulation of roof lines
- Window hoods; and/or
- · Use of multiple cladding materials

- 46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- 47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- 48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- 49. Screened drying and rubbish bins area must be behind the main face of the dwelling.
- 50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

#### Slope and Building Footings

- 51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- 52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- 53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

## Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

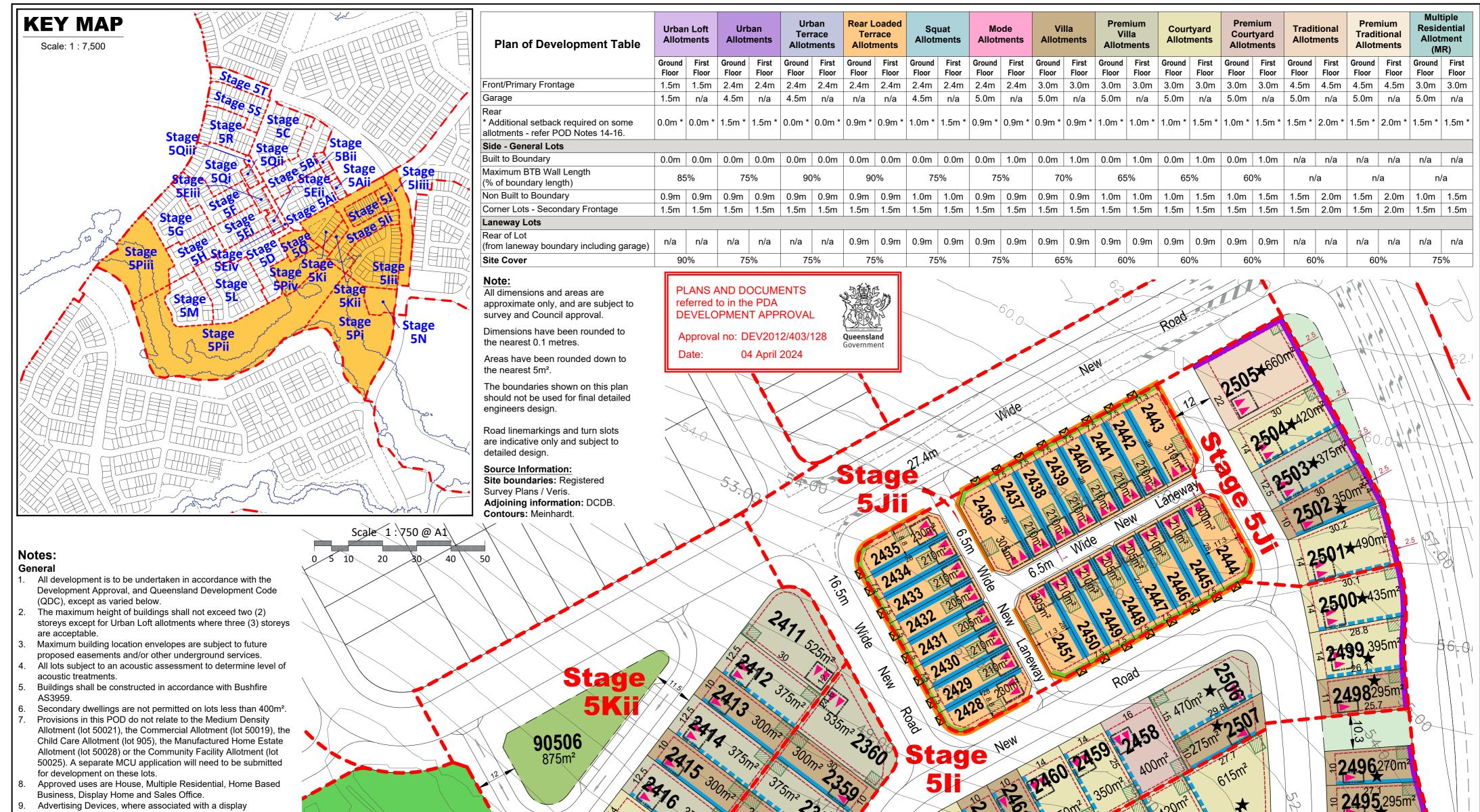
54. Buildings must address all street frontages with driveways, pedestrian entries or both.

#### Additional Criteria for Secondary Dwellings

- 58. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- 59. Materials, detailing, colours and roof form are consistent with those of the primary house.
- 60. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
- 61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- 62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- 63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- 64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- 65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- 66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

#### Definitions

| REVISION<br>Y: 12/05/2022 Stage 5 Layout Change<br>Z: 08/06/2022 Entry Statement Lease Areas<br>AA: 16/06/2022 Temporary STF Notation<br>AB: 20/09/2022 Stage 3 & 5 Layout Changes | PROJECT                 | Flagstone<br>Precinct 1      | CLIENT | PEET                   |         | ٢            | 05                                                                                      | URBAN DESIGN<br>Level 4 HQ South<br>520 Wickham Street<br>PO Box 1559<br>Fortitude Valley QLD 4006<br>T +61 7 3539 9500 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|------------------------------|--------|------------------------|---------|--------------|-----------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| AC: 14/11/2022 Stage 5 Boundary Changes<br>AD: 10/01/2023 Stage 3 & 4 Layout Changes                                                                                               | Job Ref. 110056         | Date. 12 February 2024       |        | Plan of Development    |         |              |                                                                                         | W rpsgroup.com                                                                                                          |
|                                                                                                                                                                                    | Comp By. NF             | DWG Name. Precinct 1 Stage 5 |        | •                      |         | Unauthorised | GHT PROTECTS THIS PLAN<br>reproduction or amendment not<br>. Please contact the author. |                                                                                                                         |
| AG: 13/04/2023 Stage 3 & 5 Layout Changes<br>AH: 25/07/2023 Stage 4 Layout Changes                                                                                                 | Chk'd By. MD            | Locality. Flagstone          |        | Stage 5Bi, C, R, S & T | Scale   | Sheet        | Plan Ref                                                                                | Rev                                                                                                                     |
| Al: 08/08/2023 Stage 5 Basin Change<br>AJ: 12/02/2024 Stage 5R Layout Change                                                                                                       | Local Authority. Econon | nic Development Queensland   |        | Residential Allotments | 1 : 750 | A1           | 110056 –                                                                                | 413   AJ                                                                                                                |



- Business, Display Home and Sales Office.
- Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

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- 2 Bedroom 9m<sup>2</sup> (minimum dimension on 2.4m);
- 3+ Bedroom 12m<sup>2</sup> (minimum dimension of 2.4m)
- 23. Private open space must be directly accessible from a living space.

#### On-site car parking and driveways

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  - For lots 12.5 metres wide or greater 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- 25. Garages for any single storey dwelling on a Lot between 10.0m

- 29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
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- 33. Driveways must be completed prior to occupation of the dwelling.
- 45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials
- 56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and
- --- Proposed Sub Stage Boundary

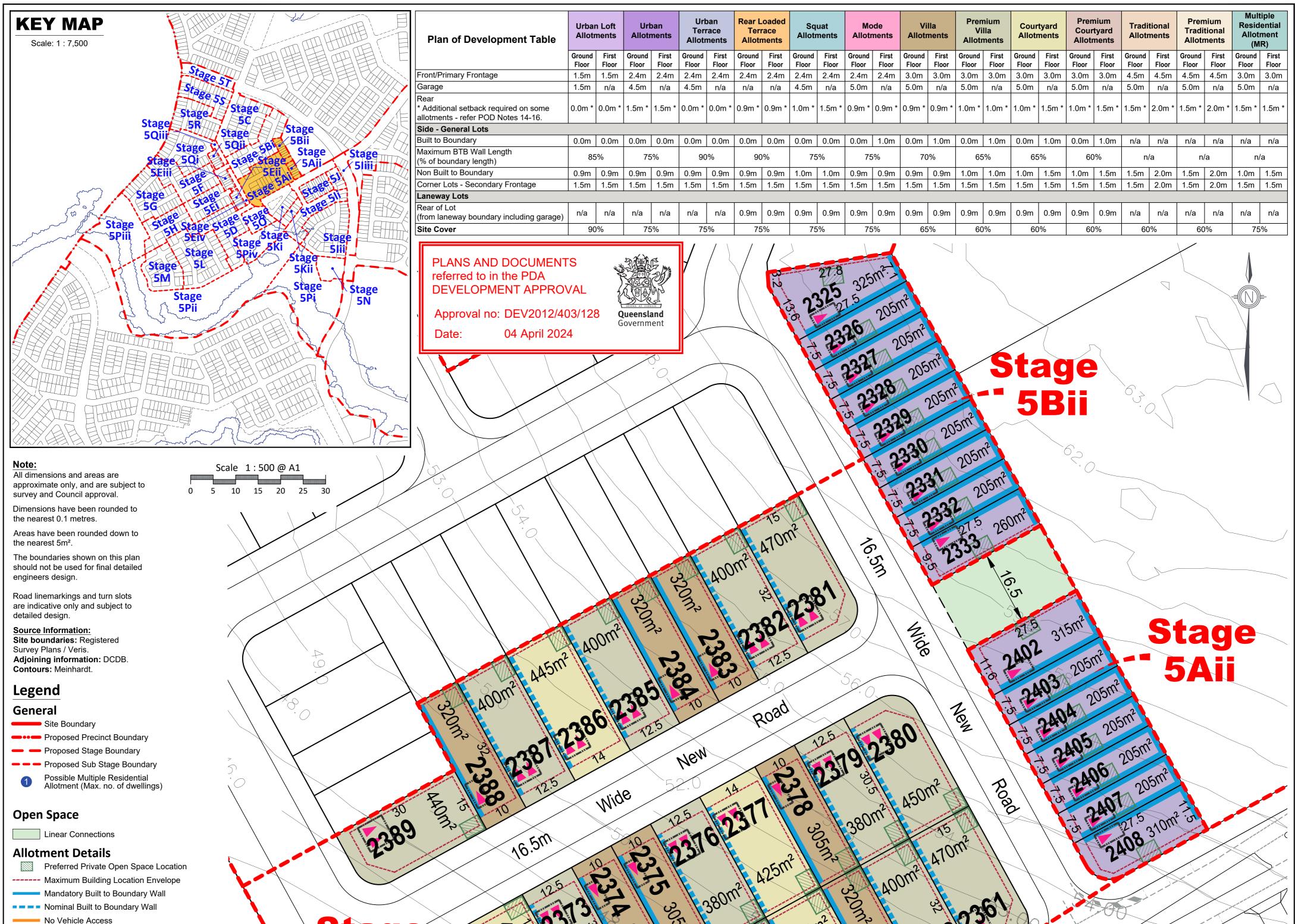
- Proposed Stage Boundary

12259 A20m2 Stage 2463 50 N. O 2358 GOOME 2493 400m<sup>2</sup> \$20m2 2 12464 Stage 90504 540m 6270m<sup>2</sup> Road 2492\_430r 600m2 2354 **5**Ni C.S. 5573 New 2491 375m<sup>2</sup> Stage 670m<sup>2</sup> Road 2483 hille 5Ki 2490\_375m 2520 445m 10. 10. New **2489** 420 5 Stage 77.5m Wide **5Piv** Wide 420m (Pt) 90505 1.179 ha New 16.5m 2486 420m<sup>2</sup> Road हू**\*2478 2484**455m 10 Stage **Building Articulation 5N** 43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the φ mass of the building by one or more of the following: .00 .00 50021 · Windows recessed into the façade or bay windows; Balconies, porches or verandahs; 6655m<sup>2</sup> Articulation of roof lines Window hoods; and/or Legend Use of multiple cladding materials 44. Where adjoining an area of open space, housing design must General facilitate passive surveillance of the open space, which can be Site Boundary achieved through the incorporation of at least one (1) hACitACle 55. All dwellings must have a clearly identifiable front door, which is Proposed Precinct Boundary room orientated towards the open space. undercover

| and 12.49m in width must adhere to the following design criteria:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | Fencing                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | and colours.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | park frontages.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Proposed Sub Stage Boundary                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <ol> <li>Fencing erected by Peet must not be altered, modified or<br/>removed without prior written approval from Peet.</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <ol> <li>All building materials must be suitably coloured, stained or<br/>painted, including retaining, fences, walls and roofs. Untreated</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                         | <ol> <li>Maximum number of dwellings on each multiple residential lot is<br/>annotated on the Plan of Development.</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                  | 1 Possible Multiple Residential<br>Allotment (Max. no. of dwellings)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <ul> <li>b. The garage door:</li> <li>i. Width must not exceed 4.8m</li> <li>ii. Must have a minimum 450mm eave above it</li> <li>iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and</li> <li>iv. Must have a sectional, tilt or roller door.</li> <li>c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:</li> </ul>                                                                                                                                                                                                                                                                     | <ul> <li>35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.</li> <li>36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.</li> <li>37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.</li> </ul>                                                                             | <ul> <li>materials, such as zinc coated steel, bare metal, concrete block<br/>or masonry panels are not permitted.</li> <li>47. Air-conditioners, gas bottles, hot water systems, clothes lines<br/>and other household services must be screened and/or located<br/>to minimise visual impact to public streets or parks.</li> <li>48. Homes must include a clearly identifiable and addressed front<br/>door and undercover point of entry.</li> <li>49. Screened drying and rubbish bins area must be behind the main<br/>face of the dwelling.</li> </ul> | <ul> <li>Additional Criteria for Secondary Dwellings</li> <li>58. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.</li> <li>59. Materials, detailing, colours and roof form are consistent with those of the primary house.</li> <li>60. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.</li> <li>61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling</li> </ul>    | Open SpaceConservation ParkCorridor ParkNeighbourhood Recreation ParkLocal Recreation ParkLinear Connections                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <ul> <li>i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.</li> <li>ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door</li> </ul>                                                                                                                                                                                                                                                                                                                   | <ul> <li>38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).</li> <li>39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.</li> </ul>                                                                                                                                                                                                                                      | <ul> <li>50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.</li> <li>Slope and Building Footings</li> <li>51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.</li> <li>52. If the nominated pad level is not provided, the pad level is to be</li> </ul>                                                                                                            | <ul> <li>62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.</li> <li>63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.</li> </ul>                                                                                                                                                                                                                                  | Allotment Details  Allotment Details  Allotment Details  Maximum Building Location Envelope  Mandatory Built to Boundary Wall  Nominal Built to Boundary Wall                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <ul> <li>iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.</li> <li>d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."</li> <li>26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.</li> <li>27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.</li> <li>28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0</li> </ul> | <ul> <li>Retaining Walls</li> <li>40. For retaining walls <u>not</u> constructed by the developer: <ul> <li>a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.</li> <li>b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.</li> </ul> </li> <li>41. No timber retaining walls over 1.0m or adjoining parks or public streets.</li> </ul> | <ul> <li>assumed as the average of the four corners of the adjacent block, using the as constructed levels.</li> <li>53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.</li> <li>Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)</li> </ul>                            | <ul> <li>64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.</li> <li>65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.</li> <li>66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.</li> <li>Definitions</li> </ul> | No Vehicle Access         Primary Frontage         2m High Solid Timber Fence         Image: Preferred Double Garage Location         Image: Preferred Single Garage Location |
| metres for a lot with a single car width garage.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | 42. Walls over 1.0m require RPEQ certification.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | <ol> <li>Buildings must address all street frontages with driveways,<br/>pedestrian entries or both.</li> </ol>                                                                                                                                                                                                                                                                                                                                                                                                                                               | Laneway Allotment - Allotments serviced by a laneway.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | 🖈 🛛 Bin Pad                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |

42. Walls over 1.0m require RPEQ certification.

| REVISION<br>Y: 12/05/2022 Stage 5 Layout Change<br>Z: 08/06/2022 Entry Statement Lease Areas<br>AA: 16/06/2022 Temporary STF Notation<br>AB: 20/09/2022 Stage 3 & 5 Layout Changes | PROJECT                                                        | Flagstone<br>Precinct 1      | CLIENT PEET            |                                      |                                                                                     | URBAN DESIGN<br>Level 4 HQ South<br>520 Wickham Street<br>PO Box 1559<br>Fortitude Valley QLD 4006 |          |     |  |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------|------------------------------|------------------------|--------------------------------------|-------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------|----------|-----|--|--|
| AC: 14/11/2022 Stage 5 Boundary Changes<br>AD: 10/01/2023 Stage 3 & 4 Layout Changes                                                                                               | Job Ref.         110056         Date.         12 February 2024 |                              | Plan of Development    |                                      | © COPYRIGHT PROTECTS THIS PLAN                                                      |                                                                                                    |          |     |  |  |
| AE: 24/02/2023 Stage 3 & 5 Layout Changes<br>AF: 20/03/2023 Stage 3 & 5 Layout Changes                                                                                             | Comp By. NF                                                    | DWG Name. Precinct 1 Stage 5 |                        | Stage 5li, lii, Ji, Jii, K, N, O & P | Unauthorised reproduction or amendment not<br>permitted. Please contact the author. |                                                                                                    |          |     |  |  |
| AG: 13/04/2023 Stage 3 & 5 Layout Change<br>AH: 25/07/2023 Stage 4 Layout Changes                                                                                                  | Chk'd By. MD                                                   | Locality. Flagstone          |                        |                                      | Scale                                                                               | Sheet                                                                                              | Plan Ref | Rev |  |  |
| Al: 08/08/2023 Stage 5 Basin Change<br>AJ: 12/02/2024 Stage 5R Layout Change                                                                                                       | Local Authority. Economic Development Queensland               |                              | Residential Allotments |                                      | A1                                                                                  | 110056 – 414                                                                                       | AJ       |     |  |  |



- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements

## Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) 2. storeys are acceptable
- Maximum building location envelopes are subject to future proposed easements and/or other underground services
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959
- Secondary dwellings are not permitted on lots less than 400m<sup>2</sup>.
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- 9. Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.

#### Setbacks

- 10. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- 11. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- 12. Boundary setbacks are measured to the wall of the structure.
- 13. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line
- 14. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- 15. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- 16. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- 17. Lots 2501 2505 require a 2.5m rear setback.
- 18. For lots 814 833, Class 10 buildings or structures may be located within the 6m rear setback.
- 19. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- 20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:

320m2 305m2 455m **Stage** 305mz 320m2 375m2 320m2 Road 375mi Wide

23.611

#### **Building Articulation**

- 43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
  - · Windows recessed into the façade or bay windows;
  - Balconies, porches or verandahs;
  - Articulation of roof lines
  - Window hoods; and/or
  - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) hACitACle room orientated towards the open space
- 45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- 46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- 47. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- 48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- 49. Screened drying and rubbish bins area must be behind the main face of the dwelling.
- 50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

#### Slope and Building Footings

- 51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- 52. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.

#### iv. Must have a sectional, tilt or roller door

- c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
- i. A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
- ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
- iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
- d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."
- 26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- 27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- 28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- 29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Ve 30. Maximum of one driveway per dwelling unless it is a MR lot. 31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
- In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

#### **Private Open Space**

- 21. Private open space must measure a minimum of 10m<sup>2</sup> with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- 22. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
  - 1 Bedroom / Studio 5m<sup>2</sup> (minimum dimension of 1.2m);
  - 2 Bedroom 9m<sup>2</sup> (minimum dimension on 2.4m);
- 3+ Bedroom 12m<sup>2</sup> (minimum dimension of 2.4m)
- 23. Private open space must be directly accessible from a living space.

## On-site car parking and driveways

- 24. On-site car parking is to be provided in accordance with the following minimum requirements:
  - For lots up to 12.4 metres wide 1 covered space per dwelling;
  - For lots 12.5 metres wide or greater 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- 25. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
  - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
  - b. The garage door:
  - i. Width must not exceed 4.8m
  - ii. Must have a minimum 450mm eave above it
  - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and

32. Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath. 33. Driveways must be completed prior to occupation of the dwelling.

## Fencing

- 34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- 35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- 36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- 37. Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas
- 38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence)
- 39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

## Retaining Walls

- 40. For retaining walls **not** constructed by the developer:
  - a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
  - b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- 41. No timber retaining walls over 1.0m or adjoining parks or public streets.
- 42. Walls over 1.0m require RPEQ certification.

Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

#### Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

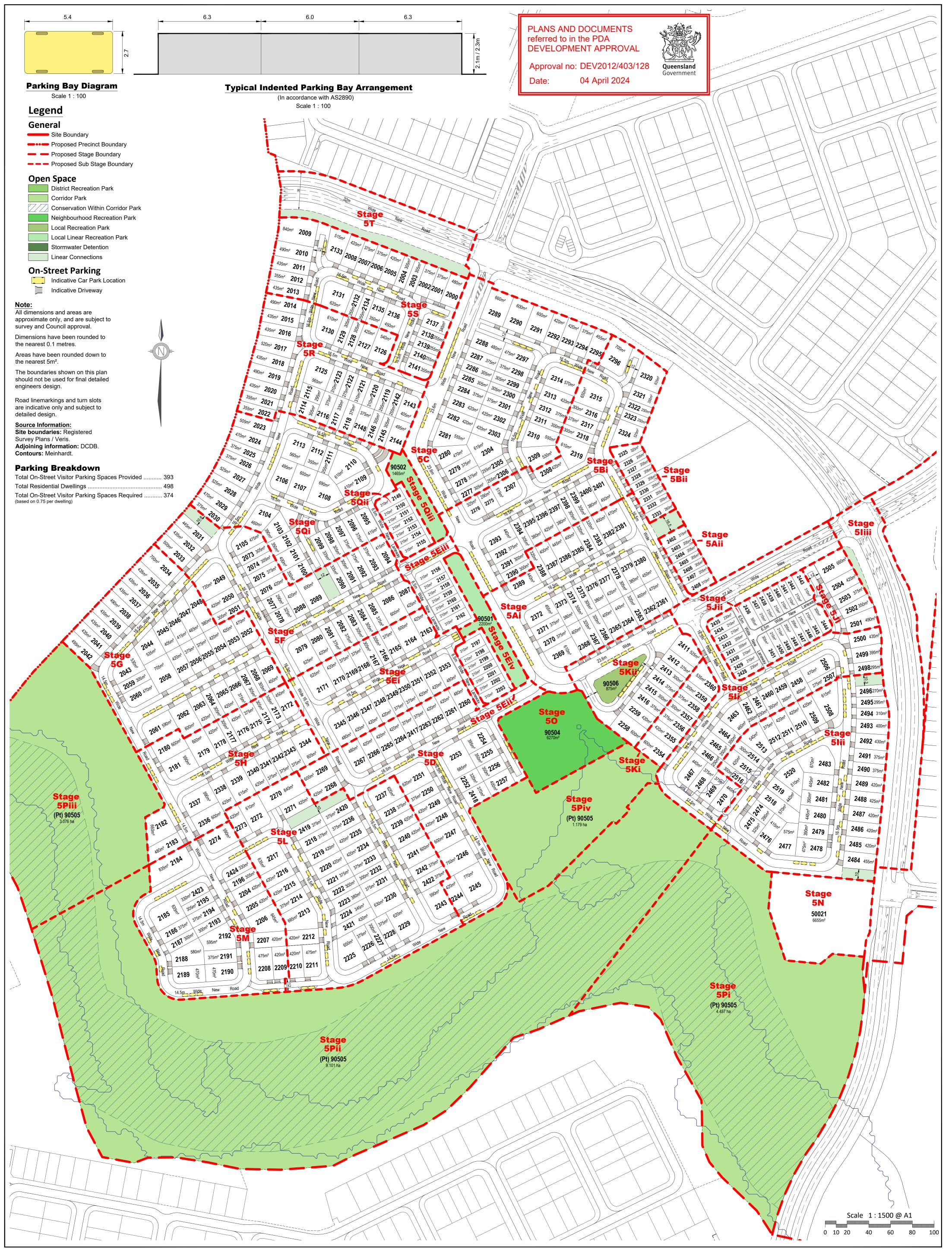
- 54. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 55. All dwellings must have a clearly identifiable front door, which is undercover.
- 56. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- 57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

## Additional Criteria for Secondary Dwellings

- 58. Floor area must be between a minimum of 30m<sup>2</sup> and 75m<sup>2</sup>.
- 59. Materials, detailing, colours and roof form are consistent with those of the primary house.
- 60. Outdoor living space must measure a minimum of 9m<sup>2</sup> with a minimum dimension in any direction of 3 metres.
- 61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- 62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- 63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- 64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- 65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- 66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

## Definitions

| REVISION<br>Y: 12/05/2022 Stage 5 Layout Change<br>Z: 08/06/2022 Entry Statement Lease Areas<br>AA: 16/06/2022 Temporary STF Notation<br>AB: 20/09/2022 Stage 3 & 5 Layout Changes | PROJECT                                 | Flagstone<br>Precinct 1                           | CLIENT | PEET                                                                  |                                                                                                                       | ſ           | 52<br>Fortitude                 | RBAN DESIGN<br>Level 4 HQ South<br>20 Wickham Street<br>PO Box 1559<br>e Valley QLD 4006 |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------|---------------------------------------------------|--------|-----------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|-------------|---------------------------------|------------------------------------------------------------------------------------------|--|
| AC: 14/11/2022 Stage 5 Boundary Changes<br>AD: 10/01/2023 Stage 3 & 4 Layout Changes<br>AE: 24/02/2023 Stage 3 & 5 Layout Changes<br>AF: 20/03/2023 Stage 3 & 5 Layout Changes     | Job Ref. 110056<br>Comp By. NF          | Date.12 February 2024DWG Name.Precinct 1 Stage 5  |        | Plan of Development<br>Stage 5Ai, Aii & Bii<br>Residential Allotments | © COPYRIGHT PROTECTS THIS PLAN<br>Unauthorised reproduction or amendment not<br>permitted. Please contact the author. |             |                                 |                                                                                          |  |
| AG: 13/04/2023 Stage 3 & 5 Layout Changes<br>AH: 25/07/2023 Stage 4 Layout Changes<br>AI: 08/08/2023 Stage 5 Basin Change<br>AJ: 12/02/2024 Stage 5R Layout Change                 | Chk'd By. MD<br>Local Authority. Econom | Locality. Flagstone<br>nic Development Queensland |        |                                                                       | Scale<br>1 : 500                                                                                                      | Sheet<br>A1 | Plan Ref<br><b>110056 – 415</b> | Rev<br>AJ                                                                                |  |



| REVISION<br>Y: 12/05/2022 Stage 5 Layout Change<br>Z: 08/06/2022 Entry Statement Lease Areas<br>AA: 16/06/2022 Temporary STF Notation<br>AB: 20/09/2022 Stage 3 & 5 Layout Changes | PROJECT                 | Flagstone<br>Precinct 1      | CLIENT | PEET                                   |          | ٢                                                                                   | <b>'0</b> 5                    | URBAN DESIGN<br>Level 4 HQ South<br>520 Wickham Street<br>PO Box 1559<br>Fortitude Valley QLD 4006<br>T +61 7 3539 9500 |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------|------------------------------|--------|----------------------------------------|----------|-------------------------------------------------------------------------------------|--------------------------------|-------------------------------------------------------------------------------------------------------------------------|--|
| AC: 14/11/2022 Stage 5 Boundary Changes<br>AD: 10/01/2023 Stage 3 & 4 Layout Changes                                                                                               | Job Ref. 110056         | Date. 12 February 2024       |        | Plan of Development<br>Stage 5 Overall |          | © COPYRIGHT PROTECTS THIS PLAN                                                      |                                |                                                                                                                         |  |
| AE: 24/02/2023 Stage 3 & 5 Layout Changes<br>AF: 20/03/2023 Stage 3 & 5 Layout Changes                                                                                             | Comp By. NF             | DWG Name. Precinct 1 Stage 5 |        |                                        |          | Unauthorised reproduction or amendment not<br>permitted. Please contact the author. |                                |                                                                                                                         |  |
| AG: 13/04/2023 Stage 3 & 5 Layout Changes<br>AH: 25/07/2023 Stage 4 Layout Changes                                                                                                 | Chk'd By. MD            | Locality. Flagstone          |        | C                                      | Scale    | Sheet                                                                               | Plan Ref                       | Rev                                                                                                                     |  |
| Al: 08/08/2023 Stage 5 Basin Change<br>AJ: 12/02/2024 Stage 5R Layout Change                                                                                                       | Local Authority. Econon | nic Development Queensland   |        | Parking Management Plan                | 1 : 1500 | A1                                                                                  | <b>110056 – 4</b> <sup>2</sup> | 16 AJ                                                                                                                   |  |